

AGENDA
CASCADE CHARTER TOWNSHIP PLANNING COMMISSION
MONDAY, June 3, 2024
7:00 PM
2870 JACKSMITH AVE SE

Public may access the meeting via video conference software Zoom

Webinar ID: 841 0379 0598

<https://us02web.zoom.us/j/84103790598>

- ARTICLE 1. Call the meeting to order. Record the attendance.**
- ARTICLE 2. Pledge of Allegiance to the Flag**
- ARTICLE 3. Approve the current Agenda**
- ARTICLE 4. Disclose any Conflict of Interest**
- ARTICLE 5. Approve the Minutes of the May 20, 2024 Meeting**
- ARTICLE 6. Acknowledge visitors and those wishing to speak.**
(Comments are limited to five minutes per speaker)
- ARTICLE 7. Case #24-3844 Public Hearing**
2024 Master Plan Public Comment Review & Recommendation
Applicant: Cascade Charter Township
Requested Action: Recommend Adoption of Master Plan
by Township Board
- ARTICLE 8. Case #24-3830**
Applicant: Mollers North America, Jon Frego
Property Address: 5215 52nd St SE
Parcel Number: 41-19-30-400-009
Requested Action: Site Plan Review for expanding an
existing warehouse 5,515sqft and adding a driveway
entrance.
- ARTICLE 9. Case #24-3834**
Applicant: FCC, Inc., Byrne Harmon
Property Address: 5725 & 5755 52nd St SE
Parcel Number: 41-19-29-300-019, 41-19-29-300-029
Requested Action: Site Plan Review for a new 110,000 sf industrial building.
- ARTICLE 10. Case #24-3838 - Public Hearing**
Chapter 14 Text Amendment
Applicant: Cascade Charter Township
Requested Action: To consider text amendments to Chapter 14 of the
Zoning Ordinance – AC (Airport Commerce) District, Overlay Districts
- ARTICLE 11. Acknowledge visitors and those wishing to speak.**
(Comments are limited to five minutes per speaker)
- ARTICLE 12. Other Business**

ARTICLE 13. Adjourn

Meeting format

1. **Staff Presentation** *Staff report and recommendation*
2. **Project Presentation-** *Applicant presentation and explanation of project*
 - a. **PUBLIC HEARINGS**
 - i. *Open Public Hearing.*
Comments are limited to five minutes per speaker; exception may be granted by the chair for representative speakers and applicants
 - ii. *Close Public Hearing*
3. **Commission Discussion** – *May ask for clarification from applicant, staff or public*
4. **Commission Decision - Options**
 - a. *Postpone the decision*
 - b. *Deny*
 - c. *Approve*
 - d. *Approve with conditions*
 - e. *Recommendation to Township Board*

**CASCADE CHARTER TOWNSHIP
PLANNING COMMISSION**

**MONDAY, June 3, 2024
7:00 PM**

ARTICLE 5.

Approve the Minutes of the
May 20, 2024, Meeting

Minutes
Cascade Charter Township Planning Commission
Monday, May 20, 2024
7:00 P.M.
2870 Jacksmith Ave SE

ARTICLE 1. Chair Moxley called the meeting to order at 7:01 pm.
Members Present: Noordhoek, Richardson, Bruneau, Moxley, Rissi, Noordyke, Rowland
Members Absent: All Present

Others present: Planning Director Andrea Hendrick, Zoning Administrator (ZA) Madison Smith-Jacoby, and Legal Counsel Leslie Abdoo-Dickinson attended via zoom.

ARTICLE 2. Pledge of Allegiance to the Flag

ARTICLE 3. Approve the current Agenda

Member Noordyke recommended moving Article 9 to occur before Article 7.

Motion was made by Member Bruneau to approve the current agenda. Supported by Member Rissi.

ARTICLE 4. Disclose any conflicts of interest

Member Bruneau disclosed they were close enough to the applicant to receive the notice of being within 300 feet of applicant. They stated they have the same issues with the deer and that they know the applicant but are not currently a neighbor. They do not have a vested interest in the applicant's orchard and if it is a money maker or not, saying he could be impartial and that he and most members of the community have the same issues.

Members recognized the discloser, and none had concerns related to it.

ARTICLE 5. Approve the Minutes of the May 6, 2024 Meeting

Minutes were approved with amendment to Article 9.

Motion was made by Member Rissi to approve the meeting minutes from May 6, 2024 with the proposed changes. Supported by Member Bruneau. Motion carried 7 to 0.

ARTICLE 6. Acknowledge visitors and those wishing to speak

There was no one wishing to speak.

ARTICLE 7: Case #24-3836

Applicant: Green Castle Properties, LLC, Colin Schiefler

Property Address: 6151, 6157, and 6161 28th

Parcel Number: 41-19-08-451-029, 41-19-08-451-026 & 41-19-08-451-030

Requested Action: Basic Site Plan Review

Planning Director-Hendrick mentioned staff has gone back and forth with applicant to amend PUD 33 or PUD 63 the existing Fox Motors just West of subject parcel. This site plan review is to allow the applicant to provide minimal details to see if the Planning Commission would have the appetite for them moving forward.

Member Rissi asked for clarification if staff was asking for a vote on any actions. Planning Director Hendrick stated that they are not looking for a vote as it is just a basic site plan review, but the applicant would be looking for feedback to determine if they should move forward with an application.

Member Noordyke asked staff if, due to the site being a PUD, if a member of the Planning Commission or as a whole does not have an appetite for an additional car dealership, is the township is under any obligation to approve?

Planning Director Hendrick responded saying that no they are not under any obligation but felt that everyone has a right to denial.

Applicant is proposing enfolding the property of PUD-33 into PUD-67 as well as small portion of PUD 58 into PUD 67. He stated he believed the proposed commercial use would include what the master plan envisioned, such as cross access easements, attractive signage, high quality site design, and buildings with high quality materials used. The appropriate zoning district designation would still be PUD and they would only be seeking to amend the PUD and by incorporating it into PUD 67.

Member Noordhoek stated that he has received quite a few residents concerned about another car dealership and not in favor of it. He asked the applicant to explain what community benefit this would provide.

Mr. Schiefler responded that this would incorporate and keep these car dealerships consolidated into one PUD.

Member Bruneau stated that he had received comments on the displacement of a few small businesses that the community relies on. He mentioned that he would like the applicant to consider providing community benefits through investing in parks.

Trustee Nordhoek would like to see clear community benefits with the request.

Director Hendrick referenced the requirements of PUD approval.

Access to Charlivoux Drive was discussed

Multiple Planning Commissioners expressed concern about displacing current businesses.

Member Rowland stated that, as presented, he would not be in favor of this proposal.

Member Bruneau put forward the idea of possible green space offset or finding other opportunities to provide greater community benefits.

Member Rissi mentioned that this year this was the most comments received from the public on a proposed idea of another dealership with negative feedback being the majority of it along with worry about the displaced businesses.

The Planning Commissioners provided general feedback to the applicant for moving forward.

Member Moxley suggested moving on to case #24-3837

ARTICLE 8. Case #24-3837

Applicant: West Michigan Brick & Stone, Tony Bonnema Property

Address: 6103 60th Street

Parcel Number: 41-19-32-400-018

Requested Action: Basic Site Plan Review

Staff brought up the recommendation to make changes to the future land use of the zoning that would allow for approval for the applicant if they went forward after recommendations from the board.

Member Bruneau brought up that the board had worked on overlays for this area with member Richardson's idea that Industrial development should be Craft West and that this would start to move Industrial to the East.

Member Rissi reinforced the comments by member Bruneau that it was changed to be just Airport use to prevent the creep of industrial use to the East.

Applicant Stated that their business is has outgrown their current location at 4196 Thornapple River Drive and that the current property owner would likely want to use the property fully going into the future.

Member Rissi questioned what the applicants use would fall under as this use would fall what the applicant is proposing is that the use would fall under private contractor storage and service yard. PC Hendrick replied that the zoning ordinance was not clear enough on the intended use of storage yards. To which Member Rissi stated that the township had taken the stance in the past from discussion with former planning directors that a storage yard use and specifically this parcel would be something for example Consumers Energy storing its trucks or a cable company not for commerce of this type.

Member Rowland brought up the fact that the increased traffic, weight and size of vehicles would increase wear and tear on the road.

Member Noordhoek asked staff if they can even approve it with a current lawsuit related to the airport and zoning. Staff responded that they did not believe this would be related to it.

Member Bruneau brought up that this parcel is within the utility service boundary of the township and that it also is within the airport safety zone.

Member Rissi mentioned that the utilities and service boundary is different than where the utilities currently are constructed and that they may need to be extended at the cost of the applicant.

Member Bruneau voiced that members of the board had spent the better part of 18 months determining that industrial use should be West of Craft. Along with mentioning that approving this would be likely exposing the township to the lawsuit in the fact that the township cannot make up its mind.

Member Rissi also mentioned that the township would be going against precedent that was previously set in request for this site specifically.

ARTICLE 9.

Case #24-3824

Public Hearing Applicant: Mary Hollister Sturges

Property Address: 2303 Thornapple River Drive

Parcel Number: 41-19-09-276-001

Requested Action: Special Use Permit for a fence in the front yard that exceeds 4 feet in height.

Zoning Administrator (ZA) Smith-Jacoby presented the applicants request to increase the fence on her property to 8ft fence that is 40 feet by 20 feet her house it set back 300ft and the fence would be around just the trees and the fence would be 200ft away from Thorn Apple River Drive.

The applicant Mary presented that she's lived there for 40 yrs and that she had split the lot previously to set her back from neighbors for privacy reasons.

Member Bruneau commented about splitting the lot and electing to build a brand new 300ft setback with no back yard. Referring to the ZBA and the idea called self-infliction, creating the situation where the request is needed instead of creating a farm with a large orchard behind that is fencible.

ZA Smith-Jacoby brought up that the Planning staff is seeing this as a reoccurring issue and that it is being brought up with upcoming zoning amendments to reflect that this is a pattern we are seeing.

Member Bruneau questioned if this is the right solution to the pattern and referring to vocal residents mentioning using a possible cull for this issue along with the studies currently being done by Kent and Ottawa County related to the deer population. Also making mention that they felt approval would open a big can of worms for the Township.

Member Rissi stated that it was a well put together application and that the 200ft setback provided enough distance along with only being a few trees allowing them to be more open minded to the approval. Also stating also that residents are currently able to build a 6ft fence in the front yard closer to the road.

Trustee Noordhoek mentioned that a nearby nursery treats their trees with a repellent product and asked if the applicant had tried these methods to which applicant Mary said she didn't.

Member Noordyke stated the applicant had a nice fence and that driving by the property that he did not believe driving by you would even see the fence. Saying they were very supportive of the fence.

Member Richardson asked if there were any comments from neighbors on the fence.

ZA Smith-Jacoby state that she had two neighbors come forward asking what the applicant was asking for and that they replied that the deer are terrible, and the applicant should get her fence.

Member Rissi made a motion to go to public hearing on the matter. Supported by Noordyke. The motion passed 7-0.

Member Noordyke made a motion to close the public hearing. Supported by Member Rissi.

Member Noordyke made a motion to approve case 24-3824 with the following Conditions:

- 1. The application and plans submitted by the applicant shall constitute the approved plans, except if plan elements are amended in this resolution.**
- 2. That the use shall operate according to this application and per the testimony of the applicant.**
- 3. That any future expansion of the approved Special Use requires an additional review and approval by the Planning Commission.**

Motion Passe: 5-2

ARTICLE 10.

Case #23-3826 Public Hearing

Applicant: James Rabaut

Property Address: 2020 Devonwood Lane

Parcel Number: 41-19-08-100-038

Requested Action: Special Use Permit for the expansion of an accessory building that exceeds 832 sf

PD presented staff review of the residential property of 46 acres stating it has four accessory buildings three of which were permitted by right and the fourth that received a variance in 2012 to proposed addition would be 8100sqft and it would bring the total square footage of the accessory building being 15,990sqft. Doing analysis of previously approved accessory buildings lot coverage they average 1.4% of a property. This proposed building would be 0.76% of the 46-acre lot, adding all the existing buildings and the proposed addition would bring the coverage to 1.59%. The biggest factors in the staff's decision on recommendation for approval was the topography and vegetation of the site.

Mr. Rabaut mentioned that this 46-acre parcel is part of a 166-acre estate that is vacant land and makes it very unlikely to see the expansion. Also, that the previous variance for a 4th building and would not be seeking a modification of the 2012 variance. In relation to possible business use due to conference rooms in the plans they are for family residential use.

Motion was made by Member Noordyke to open public hearing. Supported by Member Rissi. Motion carried 7 to 0.

There was no one wishing to speak.

Motion was made by Member Rissi to close public hearing. Supported by Member Noordyke. Motion carried 7 to 0.

Motion Made by Member Noordyke to Approve with the following conditions:

1. All outdoor lighting adheres to Cascade Township Zoning Ordinance standards.
2. The accessory building may not be used for a dwelling.

Supported by Member Rissi Motion carried 6-1.

ARTICLE 11. Acknowledge visitors and those wishing to speak

There was no one wishing to speak.

ARTICLE 12. Other Business

Member Rissi asked for clarity on resolutions and Roberts Rules procedures.

Member Bruneau asked for clarity on best practices in variances.

Legal Council Genovich provided guidance and clarification.

The Planning Commission discussed appropriate processes for Zoning Administration and approval.

Chair Moxley asked for an update on Farmland Preservation

Director Hendrick stated the next meeting would be mid-late June.

The Planning Commission requested legal documentation.

Member Bruneau asked for an update on 5441 36th Street Site Plan Review application.

Director Hendrick provided an update on the status.

Member Rowland expressed significant concern about the Whitneyville Road turn from Cascade Road.

Member Rissi expressed concern over Kent County Road Commission development process.

ARTICLE 13. Adjournment

Motion was made by Member Rissi to adjourn the meeting. Supported by Member Noordyke. The motion passed 7 to 0.

**CASCADE CHARTER TOWNSHIP
PLANNING COMMISSION**

**MONDAY, June 3, 2024
7:00 PM**

ARTICLE 7.

2024 Master Plan

Applicant: Cascade Charter Township

Requested Action: Recommend Adoption of Master Plan by
Township Board

See Additional Documents



Memorandum

TO: Cascade Township Planning Commission
FROM: Danielle Bouchard, AICP
SUBJECT: **Master Plan Highlights**
DATE: June 3, 2024

Cascade Township has completed the 63-day comment period for the draft 2024 Master Plan. The driving motivation for the Master Plan rewrite is to have a useable policy guiding document that accurately reflects and articulates the desired direction for preservation and targeted development.

Once approved, the Master Plan will serve as the primary foundation for future decision making. These decisions relate to appropriate land uses for specific zoning districts, mechanisms for rural and greenspace preservation, parameters on new development and redevelopment, and other important topics.

KEY HIGHLIGHTS

Some of the notable features of the 2024 Cascade Township Master Plan include:

- A printable document format.
- Action Plan oriented to the beginning of the document.
- A robust zoning plan including:
 - Recommendations and mechanisms for farmland and rural preservation
 - Recommendations for neighborhood design
 - Recommendations for redevelopment of hotels and other similar land uses with higher nuisance potential
 - Priorities for density bonuses
 - General priority areas for parks, open space, and trails
- A development review checklist to ensure that all new development (and redevelopment) proposals are consistent with the goals of the Township Master Plan.
- Updated demographics, consistent with the 2020 Census and ACS 5-Year Estimates.
- An updated Future Land Use Plan noting:
 - Boundaries for Cascade Village
 - Redevelopment and mixed-use areas:
 - Along 28th Street
 - Cascade Office Park
 - Centennial Office Park
 - Southwest Cascade Township (previously referred as the “4 corners” area)
 - Arboretum area
 - A defined utility service area boundary.



- Targeted Farmland Preservation land uses.
- Targeted Rural Preservation land uses.

GOALS & OBJECTIVES

Goal: Preserve and strengthen residential neighborhoods.

Objectives:

- Maintain a community of desirable and attractive residential neighborhoods.
- Ensure new residential developments meet high standards of visual attractiveness, health and safety, and environmental sensitivity.

Goal: Preserve open space and natural areas.

Objectives:

- Adopt policies and programs that maximize the preservation of open spaces, natural areas, other undeveloped areas, and agricultural land uses in the Township.
- Conserve wetlands, floodplains, and other water retention areas.
- Preserve, protect, and maintain the Thornapple River and Cascade Dam.
- Link open spaces and natural areas into a network of continuous greenways throughout the Township.
- Preserve greenbelts, open spaces and natural areas and create pathways by the use of planned unit development or other suitable zoning strategies for new residential developments.

Goal: Enhance the viability of township businesses.

Objectives:

- Upgrade and enhance commercial areas.
- Develop Cascade Village.
- Improve the attractiveness of the Township's entrances and transportation corridors.
- Promote economic development.

Goal: Maintain and expand a diverse park & trails system.

Objectives:

- Continue to expand the Cascade Township parks and recreational system to meet the recreational needs of residents.
- Develop and support Cascade Township park and recreation programming that is diverse, widely distributed, fiscally responsible, and represents community needs.

Goal: Maintain and enhance public services.

Objectives:

- Ensure that any future development is consistent with the Township's present or planned capacity for sewage treatment, public water, and other utility systems.
- Maintain police, fire, and ambulance service to all areas of the community.
- Use land use policies to assist the public school districts which are a valued community asset that contribute to make Cascade Township a desirable place to live.



Goal: Provide and support an efficient, safe, and environmentally sensitive road, pedestrian, and bike network.

Objectives:

- Evaluate the existing network and identify improvements including safety, environment, aesthetics, and traffic congestion that can be solved at acceptable cost.
- Support the Township's Complete Streets Ordinance.
- Expand and improve the Pedestrian/Bicycle Pathway Plan.

Goal: Promote efficient and sustainable growth principles.

Objectives:

- Maintain open spaces and natural features in suburban and rural areas of the Township.
- Define an urban services district to promote walkable community development and dynamic community improvement through redevelopment.
- Implement sustainable energy and environmental practices throughout the Township utilizing the most current best practices.
- Continue to develop Township policies that limit sprawl and support greenspace preservation.
- Prepare and implement a redevelopment strategy.

NEXT STEPS

The following are the remaining steps in the Master Plan process:

- **June 3, 2024:** Planning Commission holds public hearing
- **June 3, 2024:** Planning Commission approves Resolution of Adoption, and forwards recommendation of adoption to the Township Board
- **June 12, 2024:** Township Board considers adoption
- **June 13, 2024:** Notice of adoption is sent to required entities



May 14, 2024

Via Regular Mail and e-mail: ahendrick@cascadetwp.com

Cascade Township Planning Commission
5920 Tahoe Dr. SE
Grand Rapids, MI 49546

Ms. Andrea Hendrick
Community Planning & Development Director
Cascade Charter Township
5920 Tahoe Drive SE
Grand Rapids, Michigan 49546

RE: Proposed 2024 Master Plan

Dear Planning Commission and Ms. Hendrick,

I am writing to you today on behalf of the Gerald R. Ford International Airport Authority to respectfully express the Airport Authority's concerns regarding the Township's proposed 2024 Master Plan (the "2024 Plan").

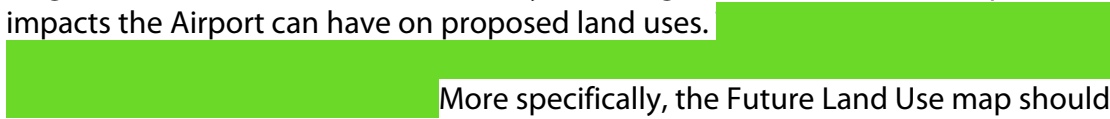
In reviewing the 2024 Plan, we did not see the Airport Authority's airport layout plan and airport approach plan incorporated. Section 203(2) of the Zoning Enabling Act requires a local unit of government to incorporate into its master plan any airport layout plan and airport approach plan filed with the local unit of government. In this case, the Airport Authority has filed a copy of its Airport Layout Plan and Airport Approach Plan (also identified as Airport Zoning Plans) with the Township as recently as May 25, 2023.

There are also several inconsistencies between the 2024 Plan and the Airport Authority's Airport Layout Plan (ALP) and Airport Approach Plan, including the following:






- The description of the Airport future land use category includes language limiting the development of Airport Authority property. As a National Plan of Integrated Airport Systems (NPIAS) designated airport that accepts federal funding from the FAA, including administered airport financial assistance programs, the Airport Authority is legally obligated to comply at all times with the FAA's 39 distinct grant assurances required of airport sponsors (i.e. owners) and covering a range of topics. Per federal grant assurance #24 – Fee and Rental Structure, the Airport Authority must maintain economic self-sufficiency. [REDACTED]



- The proximity of airport approach surfaces, the presence of aircraft overflights, and height restrictions within the community warrant greater awareness of the potential impacts the Airport can have on proposed land uses.



More specifically, the Future Land Use map should include the following or reference as an attachment (as indicated in the Airport Authority's most recent Master Plan/ALP Update):

- o 
- o 
 - RPZs must be kept clear of obstacles and avoid development and congregations of people as described in FAA AC 150/5190-4B.
- o 
 - This federal regulation requires an evaluation of proposed structure heights to determine whether a notice of alteration or construction is required.
- o 
 - ial uses within noise contours are incompatible land uses. Therefore, no residential land uses should be allowed within the 65 DNL contour and above, as shown on Page 6 of Airport Zoning Plans.



- Regarding the Golf Course or Open Space Future Land Use Designation:






- FAA AC 150/5190-4B describes incompatible land use as “those that conflict with or are impacted by operations at local public-use airports.” This includes “land uses that attract birds and other wildlife hazards to the airport and its immediate environs.” Wildlife strikes pose a hazard to human health and safety.
- Additionally, FAA AC 150/5190-4B describes how residential uses within noise contours are incompatible land uses. Although the majority of this area is located outside of the Airport’s noise contours, aviation noise effects can still affect the quality of life for nearby residents.


○ 

○ 


○ Additionally, for property located within the Airport’s RPZs, airport sponsors are required to comply with FAA grant assurances to take appropriate measures to protect against, remove, or mitigate land uses that introduce incompatible development within RPZs. 



- The description of the Thornapple Crescent Greenway indicates the area between the Airport, I-96, and M-6 should be preserved as a natural area with opportunities for passive recreation. Portions of this property is Airport Authority property. This proposed idea raises a few concerns:

○ As mentioned previously, FAA AC 150/5190-4B includes “land uses that attract birds and other wildlife hazards to the Airport and its immediate environs” as an incompatible land use. 



○ Given recent changes in FAA policy that focus on regulation of airport land use and property compliance, 



[Redacted]

- As previously noted, to avoid potential conflicts with incompatible land uses and wildlife attractants, [Redacted]

- [Redacted]

As such, airport land is subject to the authority and review of a number of decision-makers, particularly the FAA, and beholden to multiple layers of controls at both the state and federal levels.

- The Urban Services District/Utility Service Boundary delineated on the Draft Future Land Use Map (pg. 57 of the 2024 Plan) currently traverses the Airport's interior rather than encircling its perimeter, leaving several acres of property in the southeastern corner of GRR's property inaccessible to utilities. This placement significantly limits the Airport Authority's capacity to capture development opportunities requiring essential water and sewer services in this area. [Redacted]

[Redacted]

- [Redacted]

- [Redacted]

While not specifically a zoning matter, the 2024 Master Plan provides a foundation for future zoning, as a zoning ordinance must be based upon a valid master plan. See Section 203(1) of the Zoning Enabling Act. In addition, a zoning ordinance cannot increase any inconsistency between the zoning ordinance and any airport zoning regulations, airport layout plan or airport approach plan. See Section 203(4) of the Zoning Enabling Act.

[REDACTED] If the Township moves forward with approving the 2024 Plan as currently drafted, it will not be a valid plan for zoning purposes. In addition, if the inconsistencies identified above are not corrected, then any zoning ordinances implementing those portions of the 2024 Plan will be contrary to Section 203(4) of the Zoning Enabling Act.

In addition, the 2024 Plan appears to assert zoning authority over Airport Authority property based on the Airport Authorities Act and a distinction between aeronautical and non-aeronautical uses applied in caselaw interpreting the Airport Authorities Act (see pg. 52 of the 2024 Plan). [REDACTED]

Based on the above, we request that the Township revise the 2024 Plan to incorporate the Airport Authority's Airport Layout Plan and Airport Approach Plan and remove the inconsistencies described above.¹ We are willing to assist the Township in this process.

Thank you for your attention to this matter. The Airport Authority appreciates the Township's dedication to responsible land use planning and its commitment to considering the concerns of all stakeholders. Should you require any additional information or wish to discuss this matter further, please do not hesitate to contact me.

Sincerely,



Casey Ries, P.E.
Engineering and Planning Director

¹ It is important to clarify that the Airport Authority's comments are focused solely on sound land use planning in the vicinity of the Airport and should not be interpreted to suggest that local zoning regulation applies to the Airport or its Airport facilities, or that local zoning regulation may conflict with the Airport Authority's Airport Layout Plan or Airport Approach Plan.

Comment from Glenn A turek, CCIM
SVN/Silervi Company
2959 Lucerne Dr.
May 22, 2024

Please see the attachment that contains a survey of the subject vacant development site containing 7.06 acres that my wife and I have owned since 1995. Also, this attachment contains the proposed high-density, multi-family development project that Cascade Township officials rushed to shut down last year before we could present it to the Planning Commission. The "Overlay Zoning Ordinance" of Centennial Park permitted the proposed project with a density of 35 units per acre, however, Cascade Township officials saw this density as a threat to its "sleepy town" image and called a special meeting last August to change the "Overlay Zoning Ordinance" from allowing residential use of "greater than 12 units per acre" to limiting density to only "12 units per acre".

Since 1984, my profession has been as a local commercial real estate broker, property manager and developer. Our companies are called SVN / Silveri Company and Silveri Management Company. Our office is located across the street from the Cascade Township office building on Tahoe Drive at the corner of Lucerne Drive.

My wife and I have about 35 years of real estate history in Cascade Township. In 1989, we started the development of a 12-lot, residential subdivision in Cascade Township on a parcel located off Thornapple River Drive. We named the development Mooring Heights. In 1990, we partnered with BDR, to build a high-end home at the entry of Mooring Heights to set the tone of the residential development. We entered the home in the 1991 Parade of Homes to help kickoff the new subdivision. Unfortunately, our timing was very bad, as the economy entered a major recession. Even Amway, one of our largest local companies, let go over 100 employees. Most home builders lost their vacant lots to the banks. No one was buying lots or building homes at this time. We could not sell the Parade Home we built or any of the lots we developed. The business arrangement with BDR was that if the home did not sell within 12 months of completion that we would buy out BDR. In 1992, we bought out BDR and my family moved into the new Parade Home. We actually still live in this home today after raising our four children there. Luckily, we built a home that would fit our family...crazy story...my life has been "Plan B".

When we moved from Ada Township to Cascade Township in 1992, we noticed the lack of connectivity between the neighborhoods and we promptly began a personal campaign to promote sidewalks and paths to connect the various Cascade Township residential neighborhoods. This mindset has since flourished and we now enjoy wonderful connectivity in Cascade Township!

We have also been active in promoting recreational parks in Cascade...Burton Street Park several years ago and the most recent, Wycliffe Trailhead Park, which was dedicated this past Saturday morning.

We are ringing the bell again about what Cascade Township is lacking and that is high density, multi-family, rental housing. This is needed primarily for our young professionals and retired seniors.

Dr. Mark Campbell's oncology practice is the largest medical office business in Centennial Park and his location is adjacent to our site. Dr. Campbell was a vocal supporter of the proposed project on

our site. He said that the young doctors and physician assistants that work for him would appreciate having an option to live close to their work.

Last November, our management firm hired a 24-year old, professional, property manager. She was very disappointed that she could not find a one-bedroom apartment in Cascade Township. She is currently driving across town from Grandville which is a 25-30 minute commute. She said she would be very excited to live in the proposed project if it existed. As a single person she said the amenities would provide opportunities to meet other single professionals.

When my wife and I retire we want to continue to live in Cascade Township near our children and grandchildren, but we will not choose to live in a condominium because it becomes an anchor when you want to move on with your life....remember my Parade of Homes story when the economy turned badly! When we retire we want to live a simple renter's life where everything is taken care of for us. We especially want to live in a vibrant community that has other retired residents and that has upscale amenities like a pool, fitness center and recreation center where we can meet and make new friends.

In 1995, we purchased the subject property. It was originally 11.5 acres. In 2005, we sold 4.5 acres to Sunrise Senior Living after a lengthy, 2-year, rezoning process with Cascade Township.

The remaining 7.06 acres of our land is the largest, vacant, development site in Centennial Park and probably the only site that would warrant this type of development density in all of Cascade Township. This site has all the credentials for sustaining high density:

1. Five ingress/egress points - Kraft Avenue, Thornhills Drive and three points on 28th Street
2. Walkability to stores, shops, restaurants and service businesses
3. Minutes from Interstate I-96 and M-6
4. Minutes from big box retailers like Meijer, Walmart, Costco, Target, Dick's
5. Minutes from numerous hotels when entertaining out-of-town guests
6. Minutes from the airport (young professionals and retirees use the airport frequently)

We need your help to educate the decision-makers in our "sleepy" Cascade Township that this proposed project (or something like it) is lacking and is definitely needed. Please help us inject into the Master Plan process the ability to develop something like the proposed project. Incidentally, my wife and I are leaving tomorrow for Boulder, Colorado, to visit two of our children who are living in the "sleepy suburb" known as Superior, Colorado. This town reminds us so much of Cascade Township, except that it has the most incredible, vibrant, downtown area which contains several developments like the one that was proposed on our site.

Finally, Kevin Einfeld of BDR, is currently interested in our site for a high-density, multi-family, residential development. His company has developed numerous million dollar homes in Cascade Township over the last 35 years and his clientele are now asking him for alternative housing to support their changing lifestyles (travel / social / low maintenance). Kevin has responded by turning his company's sights on high-density, multi-family, residential development. High-density is necessary to be able to support the high quality amenities that people want. As you heard, Jade Smith met with Kevin Einfeld, Kevin Lipke (my business partner) and me, last Friday to discuss this project and the Master Plan process. Please call me when you get back to town to discuss the Master Plan process and how we should inject ourselves in this process. Please help us bring this missing housing alternative to our Cascade Township! Thank you...Glenn.

May 20, 2024

Dear Cascade Township Planning Commission & Township Board,

Cascade Township in Grand Rapids, Michigan, and the metro area are facing a severe housing shortage, with the Grand Rapids area lacking around 35,000 housing units, especially market-rate housing for higher incomes. To address this crisis the communities that make up Kent County need to plan for more residential housing. Housing that is smart, well thought out, and likely higher density than the past.

It is critical for our communities nationwide to provide zoning to allow for more housing. The supply of available building lots is at a low. The continued shortage of lots, especially multifamily, is putting a “tax” on the younger generation seeking housing. If we can increase the supply of lots, our communities can help lessen the burden of housing and shelter costs.

High High-density multifamily housing, such as low-rise apartments, offers several advantages. It can provide much-needed housing at a relatively affordable cost compared to single-family homes, which cater to the needs of young professionals, small families, and downsizing empty-nesters. This type of housing also promotes efficient land use, reducing sprawl and preserving open spaces while still offering a suburban lifestyle. The seven-acre parcel in Centennial Park is a perfect example of an opportunity to increase density to the Centennial Park community & Cascade Township, along with the greater Grand Rapids community.

Please see attached images of fresh new multifamily housing for around the county. These examples of design & density allow for a viable economy that will be an asset to the community.



4-Story Buildings



Five 4-Story Buildings - 216 Units

The Centennial parcel is a unique site. It is bound by offices and roads on all sides. There are options that allow for better designed sites and higher density.

Examples are storing stormwater in engineered systems under the parking lot. This technology allows for a better-looking site than a stormwater retention area that can often look unkempt. Another option for this site is to have parking below the building. This allows for more green, more density, and a customer preference.

Historical density zoning did not consider this in the past. I would encourage Cascade Township to increase density significantly in this unique and insulated parcel

Sincerely,

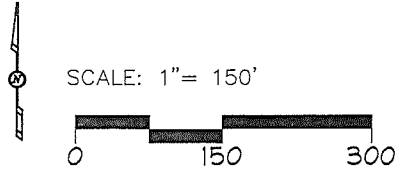
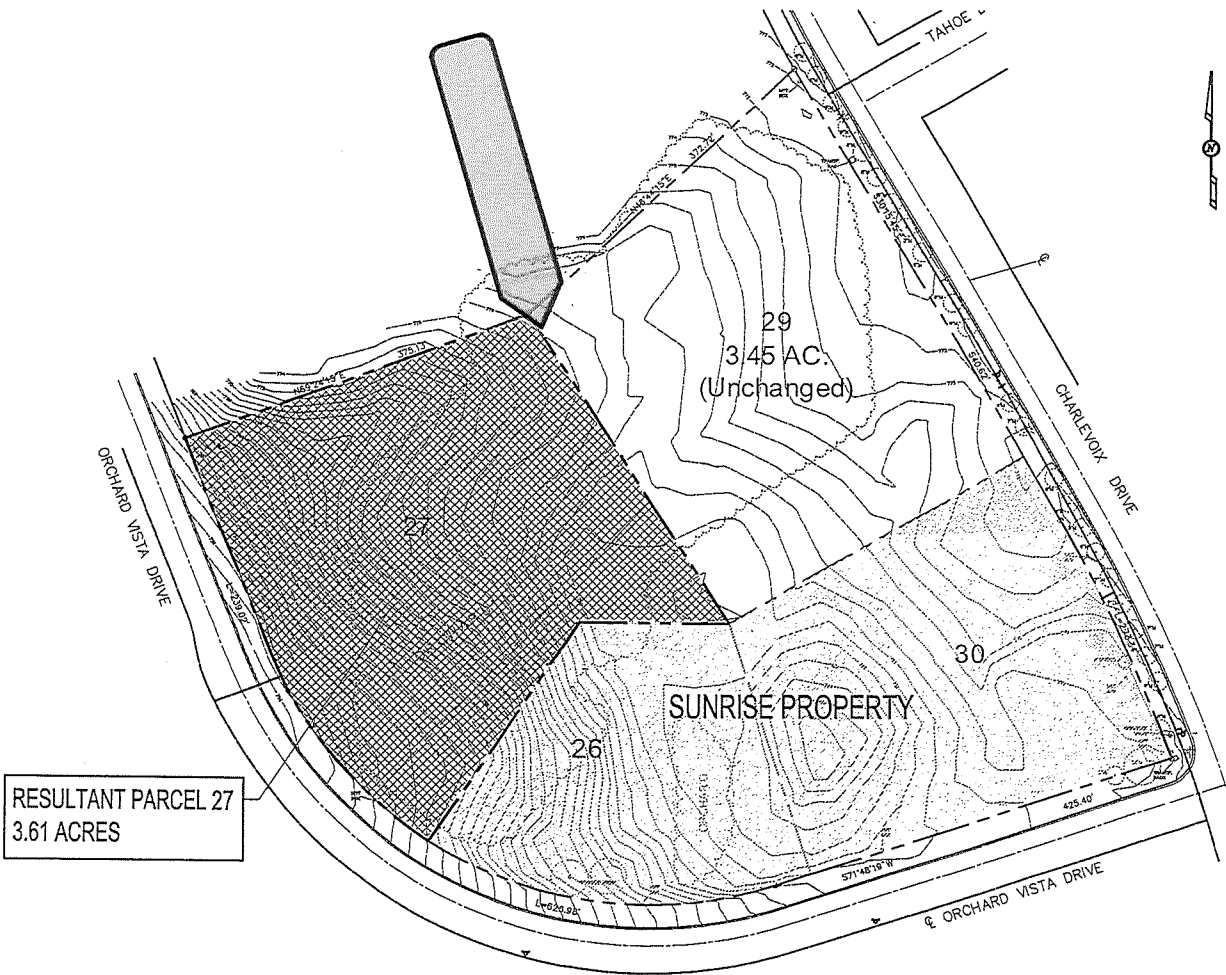
A handwritten signature in blue ink, appearing to read 'Kevin Einfeld'.

Kevin Einfeld

Developer Watermark Country Club

Developer Bridle Trail

Developer 6275 28th SE (Bekin's Location)



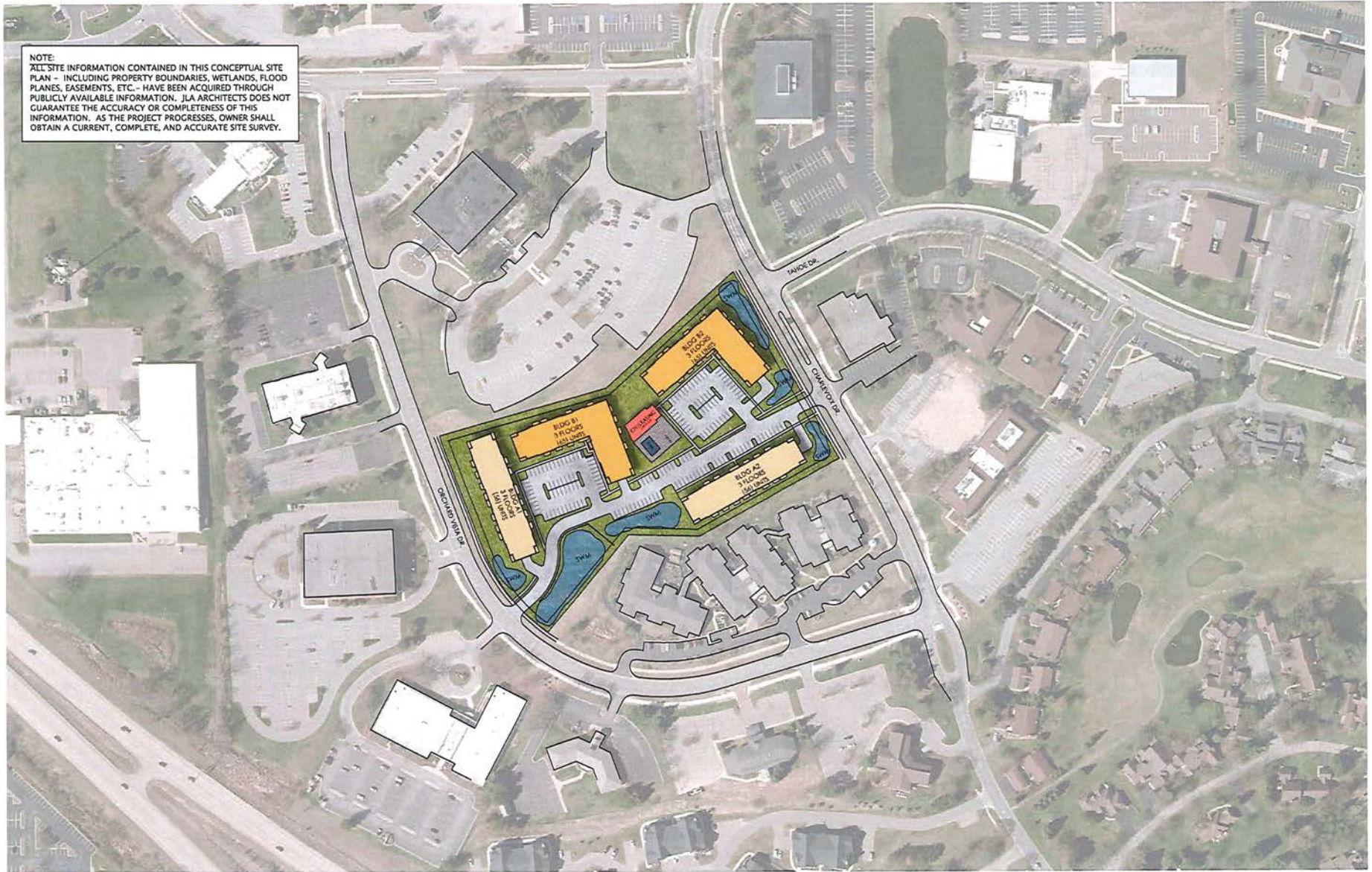
RESULTANT LOT 27
DESCRIPTION OF PROPERTY
 Located in Section 17, T. 6 N., R. 10 W.
 Cascade Township, Kent County, Michigan

Lot 27 and part of Lot 26, Foremost Centennial Park No. 2, located in Section 17, T. 6 N., R. 10 W., Cascade Township, Kent County, Michigan, as recorded in Liber 76 of Plats on Page 13, Kent County Records, and being more particularly described as follows: Lot 27 and that part of Lot 26 of said Plat described as: Beginning at the Southwesterly corner of Lot 26; thence North 42°-24'-15" East along the Westerly line of Lot 26, 419.58 feet to the most Northerly corner of Lot 26; thence South 32°-45'-45" East along the Easterly line of Lot 26, 152.00 feet to the Northwesterly corner of Lot 30 of said Plat; thence North 89°-29'-31" West, 154.10 feet; thence South 33°-49'-29" West, 274.34 feet to the Southerly line of Lot 26; thence Northwesterly thereon 73.53 feet along a curve to the right with a radius of 419.67 feet and a chord bearing North 52°-40'-00" West, 73.44 feet to the place of beginning.

Containing 3.61 Acres.

January 6, 2006

NOTE:
ALL SITE INFORMATION CONTAINED IN THIS CONCEPTUAL SITE PLAN - INCLUDING PROPERTY BOUNDARIES, WETLANDS, FLOOD PLANES, EASEMENTS, ETC. - HAVE BEEN ACQUIRED THROUGH PUBLICLY AVAILABLE INFORMATION. JLA ARCHITECTS DOES NOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THIS INFORMATION. AS THE PROJECT PROGRESSES, OWNER SHALL OBTAIN A CURRENT, COMPLETE, AND ACCURATE SITE SURVEY.



JLA
ARCHITECTS

GRAND RAPIDS - URBAN STREET
CONTEXTUAL MASTERPLAN

JUNE 20, 2023
1"=200' @ 11x17





CONCEPT DATA

BLDG.	BUILDING USE	BUILDING HEIGHT	AREA (G.S.F.)	RESIDENTIAL UNITS						PARKING PROVIDED			
				ST	1BR	1BR+	2BR	TOTAL	BEDS	COVERED	SURFACE	TOTAL	RATIO
A1	APARTMENTS	3 STORIES	52,000	9	29	9	9	56	65	43	34	77	1.18 / BR
A2	APARTMENTS	3 STORIES	52,000	9	29	9	9	56	65	43	34	77	1.18 / BR
B1	APARTMENTS	3 STORIES	62,300	9	35	9	12	65	77	61	41	102	1.32 / BR
B2	APARTMENTS	3 STORIES	62,300	9	35	9	12	65	77	61	41	102	1.32 / BR
CH	CLUBHOUSE	1 STORY	3k-5k							0	15	15	
T.				36	128	36	42	242	284	208	165	373	1.26 / BR
				15%	53%	15%	17%						1.48 / U



Andrea Hendrick

From: Madison Smith-Jacoby
Sent: Monday, May 13, 2024 8:16 AM
To: Andrea Hendrick; Jade Smith; Grace Lesperance
Cc: Danielle Bouchard
Subject: FW: Greenhouse Wedding Venue Zoning

Follow Up Flag: Flag for follow up
Flag Status: Flagged

Hello,

I am passing along some public comment on the Master Plan and subsequent zoning amendments regarding agri-tourism.

This comment could impact the zoning district/future land use area considered Farm Preservation so I thought I should submit this over to you all.

This is a great example of supplementary uses for farmland that the Farmland Preservation subcommittee began researching. All those proposed uses have been passed onto Danielle and Andrea to review when this chapter of the zoning ordinance is up for amendments.

Let me know if you have any questions.

Thanks!



Madison Smith-Jacoby
Zoning Administrator
Cascade Charter Township
5920 Tahoe Dr. SE | Grand Rapids, MI 49546
Phone 616.285-2327

From: Christian VanDeBurg <christianvdb3@gmail.com>
Sent: Friday, May 10, 2024 4:36 PM
To: Madison Smith-Jacoby <MSmith-Jacoby@cascadetwp.com>
Subject: Greenhouse Wedding Venue Zoning

Hello Madison,

My name is Christian Vandeburg, I am the owner of Snow Avenue Greenhouse in Cascade. I have recently taken over the family greenhouse and I was looking for ways to better utilize it during the off-season when we're closed. Generally it sits idle and empty from September to the second week of January and even then we only use a small portion of it until the spring. I have a background working for wedding venues and I believe the greenhouse is ideal for these types of events. Not only would

this be a good idea unto itself but it would also be a great marketing tool for the greenhouse, attracting customers for when we open in the spring.

I understand that there are a few hurdles to realizing this, I've consulted an architect, Travis Williams, and he advised that my plan would fall under the category of Agri-tourism and that my parcel is currently zoned as "Agricultural Rural Conservation" which currently doesn't have an allowed use (normal or special use) that would align with how I would like to use the greenhouse for events. We think that terms like Agri-tourism, Barn Venue, or Barn Assembly Venue might be close to describing the spirit of what we envision for the greenhouse in the future. Therefore, since the proposed Master Plan for Cascade Township is currently in it's public comment period and since the zoning ordinance will likely be revised soon in order to match up with the proposed master plan, I wanted to reach out and communicate our hopes for the proposed uses that may be available to us as part of the revised master plan. We noticed in the master plan that "agri-tourism" is a proposed new potential land use for the "farm preservation" land use category. The corresponding zoning district for that land use is also called "farm preservation" and the parcel directly to our south is zoned as that district. Our hope would be that for the ARC zone district and the Rural Preservation land use category, an agri-tourism type of use could potentially be an option - even if it's only as a "special land use" for the ARC district. My understanding is that a special land use (since it is adjacent to a parcel to a district that would allow agri-tourism) could then be a way to get approval for the type of use we are imagining. Or, potentially we may be interested in trying to rezone my parcel to farmland preservation which could provide a path to an agri-tourism use. Travis said that you would be the best person to contact to communicate our hopes for how we can utilize our parcel in the future.

--

Thank you,
Christian VanDeBurg

Andrea Hendrick

From: Lee Scott <leehscott@yahoo.com>
Sent: Thursday, May 23, 2024 4:34 PM
To: Andrea Hendrick
Subject: Thoughts

Good afternoon

Have been a resident of cascade for over 60 years. A couple of things... The cemetery is a mess we should honor our deceased neighbors and friends in a better way. How about some weed killer and a way to water it? Other communities do a much better job. The cascade cemetery is a mess... The township logo says "two rivers" yet there is limited access to the thornapple and what is the other river?

How about some more wetland preservation? Or parks on the lake out by the old deer run golf or the big swamp between 28th and 33rd. Before more businesses surround it.

Just asking....

Sent from my iPhone

Andrea Hendrick

From: MaryAnn P <prisichenko@gmail.com>
Sent: Tuesday, April 16, 2024 4:32 PM
To: Andrea Hendrick
Subject: Pathways

I would like to highly recommend that the walking pathway from Buttrick and 36th street be extended up to Snow Ave off 36th St. Those of us who pay Cascade taxes (Lowell school district) can't access the path safely. People continue to walk on 36th to get to the path and risk being hit by cars traveling the posted speed which is 50 mph. Also, access to Quail Ridge golf course could also be accessed if a path was in place.

In addition, we know that you work with the Kent County Road commission on joint partnerships. It was obvious again, 36th street was newly paved ONLY until the Forest Hills School line at Buttrick. Why wasn't it paved to Snow since the road is in worse shape? The remainder of 36th street was ignored. It is patched again and again and makes the road unsafe. Especially, because the Quail Ridge Golf Course has so much traffic.

Walking paths are only beneficial to those that can access them.

Sincerely,
MaryAnn Prisichenko

Andrea Hendrick

From: John Said <jsaid@adatownshipmi.com>
Sent: Friday, April 12, 2024 3:48 PM
To: Andrea Hendrick
Subject: Cascade Township Master Plan

Follow Up Flag: Follow up
Flag Status: Flagged

Hey Andrea!

Really enjoyed the opportunity to meet and chat yesterday over lunch! As you suggested, the idea of doing so periodically is a great idea, so let's look to do so again in May!

Given all the conversation we had (which was great), we never ended up chatting much about the Cascade Draft Master Plan. That's okay, but I just wanted to mention a few things briefly from the Draft Plan, as follows:

- In the area to the east and southeast of the Airport, between the Airport and M-6, it does not seem logical for this area to be designated as farmland preservation, with a rural residential orientation. In my view, as both a Cascade Township resident and a professional planner, this area would be better suited for business uses oriented to airport-related operations. These could be small distribution businesses, airline support facilities, etc. etc., as can be seen around many other airports such as O'Hare and Detroit Metro. My suspicion is that the proximity to the Airport and M-6 does not lend itself to the rural/residential focus as is noted in the Future Land Use Plan, especially due to the noise and other significant externalities associated with airports and expressways. I would further offer that providing for such uses in this strategic location between the Airport and the expressway would help enhance the Township's tax base.
- I'm very appreciative of the aspirational approach to the "Cascade Village" area (i.e. 28th Street/Cascade Road area), although the presence of a high-traffic arterial (i.e. Cascade Road) going through this area obviously presents a significant challenge to unifying the areas on either side of the street. As a parallel here, while much of the Ada Central Business District ("Ada Village" area) is located south of Fulton Street, we face constant challenges to our thinking about trying to traverse Fulton Street for enhanced connectivity for non-motorized travel.

Overall, I think it's great that McKenna is doing the Plan for Cascade. I worked with Chris and Danielle when they did the Holland Charter Township Master Plan, and was very happy with their work! We had Progressive AE do the Ada Master Plan, which I was also happy with (you can see copy through our website if you're interested). I was especially happy with their ongoing attention to gaining public input, along with their efforts to draw out – and even challenge – public thinking on housing alternatives. That will be something I'll work to address as part of the Zoning Ordinance update (even though the rewrite will be primarily a reorganization of our existing requirements, with a few tweaks here and there, but not a significant redo!).

Feel free to check in at any time with any comments and questions, and yes even criticisms!

Have a great weekend!

John D. Said, AICP

**Cascade Township, Kent County, Michigan
2024 Master Plan
RESOLUTION of ADOPTION**

WHEREAS the Michigan Planning Enabling Act (Public Act 33 of 2008), as amended, provides for a Township Planning Commission to prepare and adopt a Master Plan for physical development of the community; and

WHEREAS the Cascade Township Planning Commission has prepared such a Master Plan for the Township's physical development in compliance with the Michigan Planning Enabling Act, including relevant charts, maps and text; and

WHEREAS the Cascade Township Planning Commission has provided multiple opportunities for public participation in the planning process; and

WHEREAS the Cascade Township Board approved the draft Plan for distribution, and subsequently the Master Plan was so distributed for review by surrounding communities and other public agencies as required by the Michigan Planning Enabling Act; and

WHEREAS the Cascade Township Planning Commission held a formal public hearing on the draft Master Plan on June 3, 2024 in order to provide additional opportunity for public comment; and

WHEREAS all comments received during the planning process have been carefully considered and the Planning Commission is satisfied that the Master Plan is ready for adoption.

NOW THEREFORE BE IT RESOLVED that the Cascade Township Planning Commission hereby adopts and forwards an adoption recommendation to the Cascade Township Board, of the Cascade Township 2024 Master Plan, as presented at the public meeting held on June 3, 2024, subject to incorporation of the following revisions (if applicable):

1. _____
2. _____

Motion by _____ **and seconded by** _____

AYES: _____

NAYS: _____

ABSENT: _____

Resolution Declared Adopted.

Ralph Moxley, Chairperson
Cascade Township, MI

Grace Lesperance, Supervisor
Cascade Township, MI

Chris Noordyke, Secretary
Cascade Township, MI

Susan Slater, Clerk
Cascade Township, MI

**CASCADE CHARTER TOWNSHIP
PLANNING COMMISSION**

**MONDAY, June 3, 2024
7:00 PM**

ARTICLE 8.

Case #24-3830

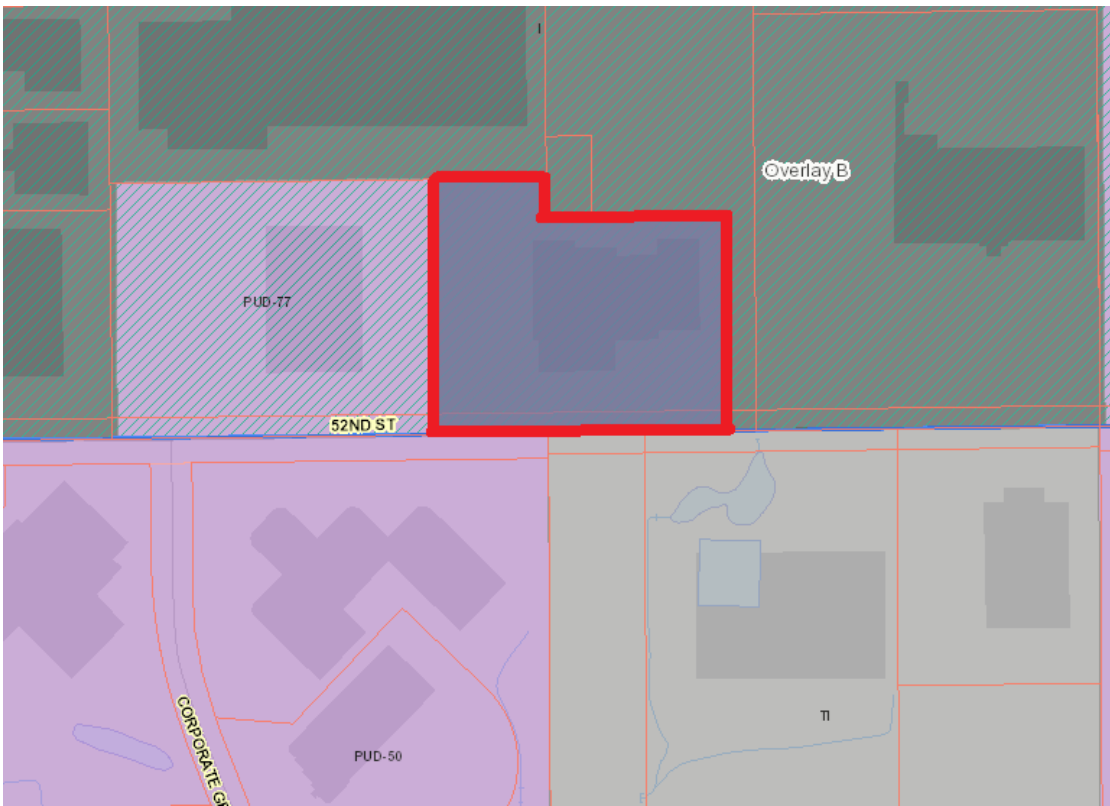
Applicant: Mollers North America, Jon Frego

Property Address: 5215 52nd St SE

Parcel Number: 41-19-30-400-009

Requested Action: Site Plan Review for expanding an existing warehouse 5,515sqft and adding a driveway entrance.

Map & Zoning





CASCADE CHARTER TOWNSHIP

5920 Tahoe Drive SE Grand Rapids, Michigan 49546-7140

PLANNING COMMISSION STAFF REPORT

STAFF REPORT: Case #24-3830
REPORT DATE: May 27, 2024
PREPARED FOR: Cascade Charter Township Planning Commission
MEETING DATE: June 3, 2024
PREPARED BY: Madison Smith-Jacoby, Zoning Administrator

APPLICANT:

*Jon Frego
5215 52nd Street
Grand Rapids, Michigan 49512*

STATUS OF APPLICANT: Jon Frego for Pioneer Construction

REQUESTED ACTION: Site Plan Review for expanding an existing warehouse and adding a driveway entrance.

REQUIREMENTS: Cascade Charter Township Zoning Ordinance:
Section 4.34 Outdoor Lighting
Section 19.13 Access, Parking, And Loading Development Standards
Section 21.03 Site Plan Review

EXISTING ZONING OF SUBJECT PARCEL(S): I – (Industrial) with AC (Airport Commerce) - Overlay B

PROPERTY ADDRESS: 5215 52nd Street

PARCEL NUMBER: 41-19-30-400-009

GENERAL LOCATION: South of the airport between Kraft Avenue and Patterson Avenue.

PARCEL SIZE: Approximately 8.19 acres

EXISTING LAND USE: Industrial – Mollers North America, Inc.

ADJACENT PROPERTIES: N: I, AC – Overlay B
W: PUD – 77, AC – Overlay B
E: I, AC – Overlay B
S: PUD – 50 and TI

SUMMARY

Mollers North America is requesting a 5,515 sf addition to an existing manufacturing warehouse as well as a new loading access driveway. This addition to the existing 87,560 sf building exceeds 5% of the square footage and/or 5,000 sf to qualify for a minor change that can be approved administratively, and thus, a full site plan review is required by the Planning Commission. The request is for site plan approval.

OVERVIEW

The subject property currently has approximately 87,560 sf of existing manufacturing and warehousing space, and 12,600 sf of office space, with associated parking, landscaping, and stormwater facilities. The plans were originally approved by the township in 1987 for Phase I (22,00 sf of warehouse space and 6,300 sf of office space). The following additions were approved since then:

1. 87-0721 – Site Plan Approval and Variance for deferment of parking for Phase I
2. 89-1341 – ~20,000 sf addition. – Phase II
 - Noted in the approval that landscaping was a point of discussion and that future expansions could require more landscaping in accordance with the ordinance. Staff permitted a reduction in the number of plantings required. The following plantings were required per 100 linear feet: 2 canopy/evergreen trees, 4 understory trees, 6 shrubs.
 - Noted in the approval that Phase II requested parking deferment of 159 parking spaces and combined with the 55 spaces now provided on the site, the 214 spaces exceed the standards from this approval.

2. Parking Area:	
A) Township Requirements	
1) 42,000 sq. ft. warehouse parking ratio 1 to 1	42,000 sq. ft.
2) 13,300 sq. ft. office parking ratio 2 to 1	<u>26,600 sq. ft.</u>
3) Total Parking Area	68,600 sq. ft.
4) 325 sq. ft. = 1 space (10' x 32.5')	
5) 68,600 sq. ft. ÷ 325 = 211 spaces	
B) Parking Totals	
Proposed parking (shown shaded)	55 spaces
Additional parking (shown dotted in)	<u>159 spaces</u>
Total parking	214 spaces

3. 90-1496 – ‘Final Expansion’-Phase III – ~26,900 sf addition (office and warehouse)
 - Parking variance requested for a reduction of 34 parking spaces with the condition that it is valid only for light manufacturing and warehouse property use. They could only provide 217 parking spaces on site and wanted defer 128 parking spaces because they only needed 100 spaces to fulfill future parking needs. (required spaces was 251). The number of parking spaces remained and deferred parking was marked on site plan as available for future parking.
 - Landscaping was approved as is, in accordance with 1989 expansion approval.
4. 94-1740 – 30,300 sf addition (office and warehouse) – Phase I of two phases proposed.
 - Property to the west was acquired to accommodate the expansion.
 - Landscaping buffer yard requirement was set for added property (class C bufferyard).
 - Parking deemed adequate based on parking held in reserve on the north and west sides of the property.
5. 94-1783 – Variance for front yard setback. – denied, 100 foot setback to remain.

SECTION 14 – OVERLAY B DISTRICT

The subject site is within the Overlay B Zoning District. Section 14.11 permits the warehousing use as a permitted non-aeronautical land use, subject to site plan review with the underlying zoning in addition to any standards indicated in the overlay.

The site plan has been submitted to the Gerald R. Ford Airport planning staff for review. The airport has reviewed the expansion and has no concerns or issues with the site plan.

Brian Hilbrands, GFIAA Planning Manager reviewed the plans and gave the following comments:

5-24-2024 Brian Hilbrands, GFIAA Planning Manager Comments:

- Use of cranes for development must be coordinated and approved with GFIAA Facilities and Operations staff and through the FAA airspace review as necessary. If cranes will be used at any time please complete the crane request form:

<https://www.grr.org/hubfs/PDFs/ZoningPermitApp.pdf?hsLang=en> and submit the completed form to the crane@grr.org email.

- If any new landscaping is added it should take into account the proximity to the airport and include trees and shrubs that do not attract wildlife or grow to heights that exceed limits of FAA FAR Part 77, Objects Affecting Navigable Airspace. For a list of recommended landscaping plants please visit:

<https://www.grr.org/hubfs/Tenant%20Development%20Standards-May%202022.pdf?hsLang=en->

- Any stormwater storage areas on site should remain dry so as not to attract wildlife.

- Lighting on the site must be fully shielded and/or downward directed so as to not interfere with safe operation of aircraft at night.

SECTION 21.0 CRITERIA FOR SITE PLAN APPROVAL

The Planning Commission shall use the following criteria in evaluating a site plan submittal:

1. Whether the required information has been furnished in sufficiently complete and understandable form to allow an accurate description of the proposed use(s) and structure(s) in terms of density, location, area, height, bulk, placement, setbacks, performance characteristics, parking, and traffic circulation.

2. Whether there are ways in which the configuration of uses and structures can be changed which would improve the impact of the development on adjoining and nearby properties, persons, and activities, and on the community, while allowing reasonable use of the property within the scope of district regulations and other regulations of this Ordinance that are applicable to the property and proposed use and structures.

3. The extent to which natural features and characteristics of the large trees, natural groves, watercourses, and similar will be preserved; the regard given to existing natural features that would add attractiveness to the property and environs if they were preserved; the preservation of natural drainage systems the dedication and/or provision, where appropriate, of scenic easements, natural buffering, and other techniques for preservation and enhancement of the physical environment

Additional design standards, as applicable:

a) Floodplain

The subject site does not appear to be located within the Federal Emergency Management Agency (FEMA) floodplain map area. Indicated on the site plan is classification ‘X’ by the secretary of housing and urban development on the 2023 flood insurance map. This classification signifies that the subject property is outside of the 500-year flood risk area.

b) Setbacks

Section 18, Table 18-C: Height, Lot Area, and Building Placement Standards.

Minimum Front Yard Setback	100 feet
Minimum Side Yard Setback	25 feet
Minimum Rear Yard Setback	50 feet

The subject addition is on the north side of the property which is considered their rear yard. The rear yard setback is indicated as 50 feet. This building addition will not expand past the existing building’s footprint. The proposed addition is in compliance with the setback standards.

The height of the building addition will tie into the existing building, for a consistent height of 25’6”. The zoning standard is 45 feet as the height maximum, as indicated in Table 18-C. The height is in compliance with the standard.

c) Off-Street Parking, Access, Loading

The subject property has a unique history with parking requirements. Since its original approval, the business has never been required to build out the full number of parking spaces required by the ordinance. The site was initially approved to reduce the number of parking spaces required by 34. Additionally, the subsequent expansions resulted in further parking deferments approvals, pending the parking spaces were in reserve on the site plans.. The future parking areas shown in the 1994 site plan designate the west side for reserve. The proposed site plan has not carried over those parking spaces previously on reserve.

However, the applicant has indicated that Mollers currently has 68 employees in total and the number of employees will not increase with this expansion. The property has repeatedly been evaluated as a use not requiring the number of parking spaces that the zoning ordinance determines and has been based on the number of employees. This is the smallest expansion that Mollers has requested to date. The site plan shows an addition of eight (8) parking spaces. For consideration, it is to note that this 99,000 sf building could eventually become another Industrial use with more employees and thus require more parking on site. If the site does not have adequate space to increase the number of parking spaces to the number required by the standard, then this could be an issue. The site plan shows 84 built parking spaces. Because this property has received parking deferments for past expansions, this total number required may not apply. This would mean the applicant has deferred 101 parking spaces (see list below). It has been requested that the applicant show these deferred parking spaces on the plans, a condition for approval.

Section 19.13 Development Standards:

Parking Spaces Required for the Proposed Expansion

Table 19-B:

Warehouse	0.67/1,000 sf	5,515sf = 4 parking spaces
-----------	---------------	-----------------------------------

The number of parking spaces added for this expansion is in compliance with the parking standards.

Parking Spaces Required for the entire building (based on today's zoning):		
Office space: 12,600 sf	(37.8)	38 parking spaces
Warehouse: 63,213 sf	(42.3)	42 parking spaces
Manufacturing: 42,142 sf	(131.5)	132 parking spaces
Total spaces required		212 parking spaces

Section 19.22 Loading Spaces Required:

Fifty thousand (50,000) to one hundred thousand (100,000) sf - **three (3) spaces.**

99,840 square feet **6 loading spaces provided**

The loading spaces are in compliance with the standard.

Site Amenities: The existing site has a small pond and sitting area at the front for employees or guests.

Bicycle Facilities: None available. A bike rack should not be required as this is an industrial area with no Township pathways. Subject to Section 19.13, the bike facilities apply to commercial, civic, and multi-family residential facilities.

Walkways: Pedestrian walkway existing on site.

Parking Lots: Table 19-C regulates the standard for parking space size and aisle measurements. The following apply to the subject property:

Parallel Parking

Maneuvering Lane Width, 2-way:	24 feet	24 feet and 31 feet
Parking Space Width:	9 feet	9 feet and 10 feet
Parking Space Length:	18 feet	18 feet (legal nonconforming)

The parking lot is in compliance with the standards. Any new parking spaces need to meet the length standard.

d) Lighting

Section 4.34.3. Nonhorizontal Surface Lighting: The subject lighting is shielded and downcast and will not create glare onto neighboring properties.

Section 19.19.2 Required Lighting - All parking and loading facilities utilized during nighttime hours shall be artificially illuminated to a minimum level of 0.5 foot candles and a maximum level of five (5) foot candles, with one (1) foot candle being the desired level of average illumination

The photometric plan indicates a total of 16 exterior lights (existing and proposed) with the following foot candles:

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
EXISTNG DRIVE/PARKING LOT	+	1.2 fc	5.0 fc	0.0 fc	N/A	N/A
NEW DRIVE	+	0.4 fc	4.7 fc	0.0 fc	N/A	N/A
PARKING BY NEW ADDITION	+	0.8 fc	1.2 fc	0.5 fc	2.4:1	1.6:1
PROPERTY LINE	+	0.1 fc	0.4 fc	0.0 fc	N/A	N/A
SITE STORAGE	+	0.4 fc	4.6 fc	0.0 fc	N/A	N/A
EXISTING LOADING DOCK	+	0.9 fc	2.1 fc	0.1 fc	21.0:1	9.0:1

Schedule										
Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Mounting Height
	EX. WP	11	EXISTING	WPX3 LED 50K Mvolt	EXISTING	1	9394	1	71.16	22'
	EX. WP2	2	EXISTING	WPX1 LED P2 50K Mvolt	EXISTING	1	2954	0.7	23.68	22'
	WP	1	Lithonia Lighting	WPX3 LED 50K Mvolt	WPX3 LED wallpack 9000lm 5000K color temperature 120-277V	1	9394	1	71.16	22'
 	EX. SL1	2	EXISTING	RSX1 LED P2 50K R4	EXISTING	1	9972	0.9	72.95	20'

The maximum footcandles do not exceed the standard, the lighting in in compliance.

e) Signage

Section 20, Table 20-A – Adjacent Land Use: Bufferyard Requirements

The subject site is not proposing any new signage. There is an existing ground sign to the west of the driveway entrance on 52nd Street. Any proposed new signs will comply with the standards of the Cascade Township Sign Ordinance. Any new sign is subject to review and approval by Cascade Township Building Department and Planning Department.

f) Landscaping

The landscaping on site was last approved as adequate in 1994 with an exception for the newly acquired acreage, subject to the bufferyard planting requirements. A “C” bufferyard standards were applied. This standard is consistent with the Zoning Ordinance as of 2024:

Must be 20-foot wide and provide 2 canopy trees, 4 understory trees, and 6 shrubs for every 100 linear feet of bufferyard. (The approved landscape schedule from case 94-1740).

The proposed landscaping is described as being maintained with existing and previously approved site landscaping. There are two trees proposed to be removed for the new access drive. The west side of the subject property is planned to be largely preserved tree canopy. A site visit was completed by staff to evaluate the condition of the existing landscaping. It was observed that the site is consistent with the previous planting requirements and that they have been maintained. There is adequate screening proposed.

There is a 25-foot tree canopy buffer yard on the west property line. No additional landscaping requirements apply, the site plan is still in compliance with the landscaping standards.

All plant materials in the bufferyard shall be maintained in a good condition so as to represent healthy, neat and orderly appearance. The owner, tenant, or agent shall insure that:

All plant growth in landscaped areas be controlled by pruning, trimming, or other suitable methods so that plant materials do not interfere with public utilities, restrict pedestrian or vehicular access, or otherwise constitute a traffic hazard; b. All planted areas be maintained in a relatively weed-free condition and clear of undergrowth; and c. All plantings be fertilized and irrigated at such intervals as are necessary to promote optimum growth. (Section 20.05 substantially changed by Ordinance #14 of 1989)

g) Site Circulation

Section 19.03 General Provisions:

The new driveway will grant access to a new loading dock on the northeast corner of the building. The ordinance requests that new driveways be in line with driveways on the opposite side of the street. The location of the driveway is not aligned with the driveway across the street, however to the extent reasonably possible for truck access to the loading dock, the access drive has been located nearest for accessibility.

The new driveway is proposed for infrequent truck loading. The vehicles will then pull through the building and exit on the east side to use the 52nd street driveway for egress. No employees will be using the new driveway.

The Kent County Road Commission (KCRC) issues permits for new driveways on the right of way however, this is an existing private drive that does not require a permit from KCRC. Because this proposed driveway adds access from a private drive to an additional parcel, it is subject to the standards of the Private Street Ordinance (see below).

Section 19.14 - Access Drives: The driveway is required to be a minimum of ten (10) feet in width and is proposed to be 30 feet wide. The ordinance allows for one access point on each street frontage. The subject site has one access on 52nd and one proposed access on the private drive. The width and clearance of the proposed driveway is in compliance with the standards.

Private Street Ordinance:

The proposed new driveway on the site plan is accessed via a shared easement agreement. The agreement is included in your packet and outlines a maintenance agreement and access description. This driveway is used by 41-19-30-300-033 (5151 52nd St. SE) and 41-19-30-300-031 (5050 Kendrick St. SE).

The staff's main concern regarding the proposed drive is the condition of the private street. The applicant has been notified of the requirement to comply with the Private Street Ordinance and has indicated that the street is being top coated at the end of June. The Township Engineer has submitted a memo stating the recommendations for the private street. A condition of approval will be to ensure the private street is in compliance prior to constructing a new driveway access.

The proposed access on the northeast side of the subject property, will be accessed via this private drive:



h) Outside Storage

No outside storage is proposed on the plan; therefore, no outside storage is being approved with this site plan. The applicant should indicate if this is requested in the future, subject to the Zoning Ordinance standards. The existing shipping containers on site are temporary storage until the addition is complete.

i) Drainage

Section 19.17 Drainage and the Stormwater Ordinance apply to this property. The Township Engineer has reviewed the application, and his report is included in your packet. A Stormwater Maintenance Agreement is a condition of approval.

j) Utilities and Infrastructure

The building has existing utilities that the addition will tie into.

STAFF RECOMMENDATION

Staff recommends APPROVAL of the proposed 5,515 square foot building addition shown on the site plan prepared by LRE Engineers & Surveyors and dated May 24, 2024, with the following conditions:

1. A Stormwater Maintenance Agreement is submitted and registered with the county prior to construction.
2. The number of parking spaces deferred is indicated on the site plan as ‘reserve’ or ‘future parking’.
3. The private street is brought up to standard and approved by Township staff prior to a new driveway being added.

ATTACHMENTS

1. Application
2. Site Plan Set
3. Engineer's Report
4. Easement Access Agreement
5. Engineer's Private Street Memo



CASCADE CHARTER TOWNSHIP

5920 Tahoe Dr. SE, Grand Rapids, Michigan 49546-7140

PLANNING & ZONING APPLICATION

APPLICANT: Name: Jon FREGO - PIONEER CONSTRUCTION
 Address: 550 Kirtland STREET SW
 City & Zip Code: GRAND RAPIDS, MI 49507
 Telephone: (616) 247-6966
 Email Address: JFREGO@PIONEERINC.COM

OWNER: * (If different from Applicant)
 Name: Intra Michigan
 Address: 5215 52nd Street SE
 City & Zip Code: Grand Rapids, MI 49512
 Telephone: 616-942-6504
 Email Address: t.wagner@mollersna.com

NATURE OF THE REQUEST: (Please check the appropriate box or boxes)

<input type="checkbox"/>	Administrative Appeal	<input type="checkbox"/>	Administrative Site Plan Review
<input type="checkbox"/>	Deferred Parking	<input type="checkbox"/>	P.U.D. - Rezoning *
<input type="checkbox"/>	P.U.D. - Site Condominium *	<input type="checkbox"/>	Rezoning
<input checked="" type="checkbox"/>	Site Plan Review *	<input type="checkbox"/>	Sign Variance Subdivision
<input type="checkbox"/>	Special Use Permit	<input type="checkbox"/>	Plat Review *
<input type="checkbox"/>	Zoning Variance	<input type="checkbox"/>	Other: _____ *

* Requires an initial submission of 5 copies of the completed site plan

BRIEFLY DESCRIBE YOUR REQUEST:**
SITE PLAN Review of PROPOSED ADDITION (5,515 SF)
3 DRIVEWAY ENTRANCE - SEE ATTACHED PLANS

(**Use Attachments if Necessary)
-SEE OTHER SIDE-

LEGAL DESCRIPTION OF PROPERTY**:

SEE ATTACHED PLANS & ATTACHED
LEGAL DESCRIPTION

(**Use Attachments if Necessary)

PERMANENT PARCEL (TAX) NUMBER: 41-19 - 30-400-009

ADDRESS OF PROPERTY: 5215 52ND STREET SE, GRAND RAPIDS, MI 49512

PRESENT USE OF THE PROPERTY: MANUFACTURING / WAREHOUSE.

NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS HAVING A LEGAL OR
EQUITABLE INTEREST IN THE PROPERTY:

Name(s)	Address(es)
_____	_____
_____	_____

SIGNATURES

I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) also agree to reimburse the Cascade Charter Township for all costs, including consultant costs, to review this request in a timely manner. I (we) understand that these costs may also include administrative reviews which may occur after the Township has taken action on my (our) request.

I (we) the undersigned also acknowledge that the proposed project does not violate any known property restrictions (i.e. plat restrictions, deed restrictions, covenants, etc.)

Thomas E. Wagner Authorized Agent

Jon Frego
Applicant - Print or Type Name

Owner - Print or Type Name
(*If different from Applicant)

* [Signature] 4-18-24 Authorized Agent

[Signature] 4-18-24
Applicant's Signature & Date

Owner's Signature & Date
(*If different from Applicant)

PLEASE ATTACH ALL REQUIRED DOCUMENTS NOTED IN THE PROCESS REVIEW SHEET - THANK YOU

May 24, 2024

Madison Smith - Jacoby
Zoning Administrator
Cascade Charter Township
5920 Tahoe Drive SE
Grand Rapids, MI 49546

**Re: Möllers North America, Inc, Site Plan Re-Submittal
5215 52nd Street SE, Grand Rapids, MI**

Madison:

We are writing on behalf of Pioneer Construction and Möllers North America, Inc. (Möllers) to request the site plan review of the 8.2-acre parcel located at 5215 52nd Street SE (Parcel # 41-19-30-400-009) for a proposed building addition.

Background: Möllers is a manufacturing company specializing in bag and unit loading handling systems and is headquartered at 5215 52nd Street SE. The property is zoned Industrial (I) and is partially developed with a 99,840 square foot building and associated parking area. The site was originally developed in the early 1990s and Möllers is proposing to add an approximately 5,515 square foot building expansion on the north side of the existing building. In addition, a driveway entrance is proposed off a private drive, which runs along the west side of the property.

We received your review comments via an email dated May 17, 2024 and offer the following responses to your comments in **BOLD**:

1. Parking:

- There is 12,600 square feet of office space on site. The plans indicate warehousing and light manufacturing as two other uses in the building. However, the square footages provided in *Parking Information* indicates 42,142 sf of light manufacturing space and 63,213 sf of warehousing space. This totals to 105,355 sf, which exceeds the total square footage of the entire building including the office space. Please indicate how many square feet of the building is used for warehousing purposes and what portion if used for manufacturing, aside from the front offices space.

The project team inadvertently sent in an older, preliminary, plan in an email on May 15. The plans provided in the original submittal, with revision date 4/18/2024, are the correct plans. We apologize for any confusion this caused. The square footage contained in those plans has been updated slightly, but no change in the parking numbers resulted from the update.

- Additionally, it appears that 77 parking spaces total (including 1 ADA) are proposed on site. Are you then looking for an exception to the required number of spaces that the standard requires with the additional square footage added? I don't see this addressed in the narrative application request so we will need to discuss the parking. It looks like no new parking spaces are added to the site. There appears to be some history with deferred parking on site that is not conveyed in this application. Attached is the previous site plan from 1994 that indicated an area for parking reserve that was approved to be left vegetated. I am still figuring exactly how many spaces were deferred but I am bringing this to your attention so we can start the conversation around this property's history with parking. It looks like when the last expansion was approved, it was determined that the parking was sufficient based on the number of employees. Do you know how many employees are on site? More to come on this.

Per our email dated May 17, 2024, there are 68 employees at this location. Much of the machinery that Moller's utilizes is larger and requires much less workforce to operate, so we feel that the current use is more of a hybrid between manufacturing and warehouse usage. Given that is not purely manufacturing, we would request for the for the "other" category (1 space/employee) as shown in Table 19-B: *Minimum Required Parking Per Use*, of the Cascade Township Zoning Ordinance be applied to this site. It seems like there is precedent to use the employee count at this site, as it was indicated that it has been applied to this site in the past.

2. Parking Lot/Access

- Maneuvering widths should be minimum of 22 feet for a 2-way lane and 12 feet for 1-way. This width is not indicated on the site plan and needs to be.

The plans have been updated to show the required information.

- Parking space width should be 9 feet for 75-90 degree parking space pattern. This width is not indicated on the site plan and needs to be.

The plans have been updated to show the required information.

- Parking space length should be 18 feet for 75-90 degree parking space pattern. This width is not indicated on the site plan and needs to be.

The plans have been updated to show the required information.

- Have you submitted anything to the KCRC for the proposed new access drive? Can you please provide a copy of the access-easement agreement for the private drive? It appears to also be a Consumer's Power easement – have you been given approval to construct a driveway through this?
 - **KCRC does not regulate driveway openings for sites outside of their right-of-way – Correspondence from the KCRC specific to this site can be provided if necessary.**
 - **The Access Agreement is included in this submittal.**
 - **Nothing precludes construction of a driveway, as long as Consumer's ability to maintain their utility in unimpacted. The easement does limit construction of buildings and structures within the easement, but a driveway is not considered a structure.**

3. Lighting: Section 19.18 indicates the standards as the following: All parking and loading facilities utilized during nighttime hours shall be artificially illuminated to a minimum level of 0.5 foot candles and a maximum level of five (5) foot candles, with one (1) foot candle being the desired level of average illumination.

- The photometric plan submitted exceeds the 5 foot candle maximum by 1.8 fc. The foot candles exceeding the standard need to be reduced/revised and resubmitted in compliance.

The photometric plan was updated on May 21, 2024 showing a maximum of 5-footcandles of illumination

- The photometric plan submitted does not include the fc measurement for the two light poles in the front/south side of property. The photometric plan should include the foot candles for the light poles.

The photometric plan was updated on May 21, 2024 showing the existing light poles along the south side of the property.

- The location of LED wall lights is included on the photometric plan but not indicated on the site plan. The site plan should reflect location of wall lights. Additionally, an image of the actual lights should be included with the lighting plan for review referencing and to verify they are downcast.

The requested material has been provided in the updated photometric plan. In addition, the proposed wall pack locations have been added to drawing sheet C2.

The Cascade Township Engineer also provided comments related to the stormwater design of the site and offered several comments. The comments are listed below along with LRE's responses in **BOLD**:

1. Indicate the subcatchment area boundary on a separate plan sheet to be included with storm water calculations;

A storm water catchment map is provided as part of this submittal. The sub catchment map is included in the stormwater calculation package.

2. Indicate grading of retention basin with side slopes not steeper than 4:1 (H:V) in plans;

Grading will be limited within the proposed stormwater storage area. The plans have also been updated to show the limits of the stormwater detention area.

3. Provide calculation for pretreatment (minimum 15% water quality volume); and

The design of the vegetated swale has been updated with a rock check dam, located at the end of the vegetated swale. The vegetative swale will provide storage volume of the water quality, channel protection, and pretreatment volumes. A storage volume calculation has also been added to the stormwater calculation package showing the available volume stored within the vegetated swale.

4. Provide a geotechnical report including at least two soil borings minimum 10-ft below proposed bottom of basin.

Two soil borings (hand augers) were completed on the site and are included in the submittal. The hand augers were completed on May 20, 2024 by Soils and Structures of Norton Shores, Michigan. The soil borings indicate the underlying soils are mostly clay, with elevated groundwater. The soil borings are provided in this submittal and are also shown on sheet C1 of the site plans.

Lastly, LRE reviewed the Federal Aviation Administration (FAA) Advisory Circular relating to hazardous wildlife attractants on, or near, airports (AC 150/5200-33C). The Advisory Circular recommends that permanent pools within the vicinity of an airport be avoided and that dry detention basins be designed to have a 48-hour maximum detention time. The stormwater management plan shows the 24-inch outlet pipe being utilized as the "controlled release" for the detention pond and that the drain time is less than 48-hours. Also, due to soil conditions, and the presence of perched groundwater, infiltration will be limited on the site. Therefore, additional excavation for stormwater storage area is being avoided to prevent the potential presence of standing water. The plans have been updated to show the inundation area of the 25-year event (shown on sheet C3 of the site plans) and additional calculations have been showing the outflow from the proposed site. During the 25-year storm event, the outflow will be approximately 0.73 cfs, much less than the pre-developed condition of 5.67 cfs.

We have included the following documents for Planning Commission consideration at their June meeting, which are being provided electronically via email:

1. One copy of the revised plan set which includes site plan, building elevations, landscape plan, and photometrics.
2. Logs of the two soil borings completed for the site.
3. Access Agreement dated March, 2024.
4. Stormwater Calculations.

Please review the enclosed information and contact our office if there are any questions or comments. We look forward to working with you through the course of this project.

Sincerely,

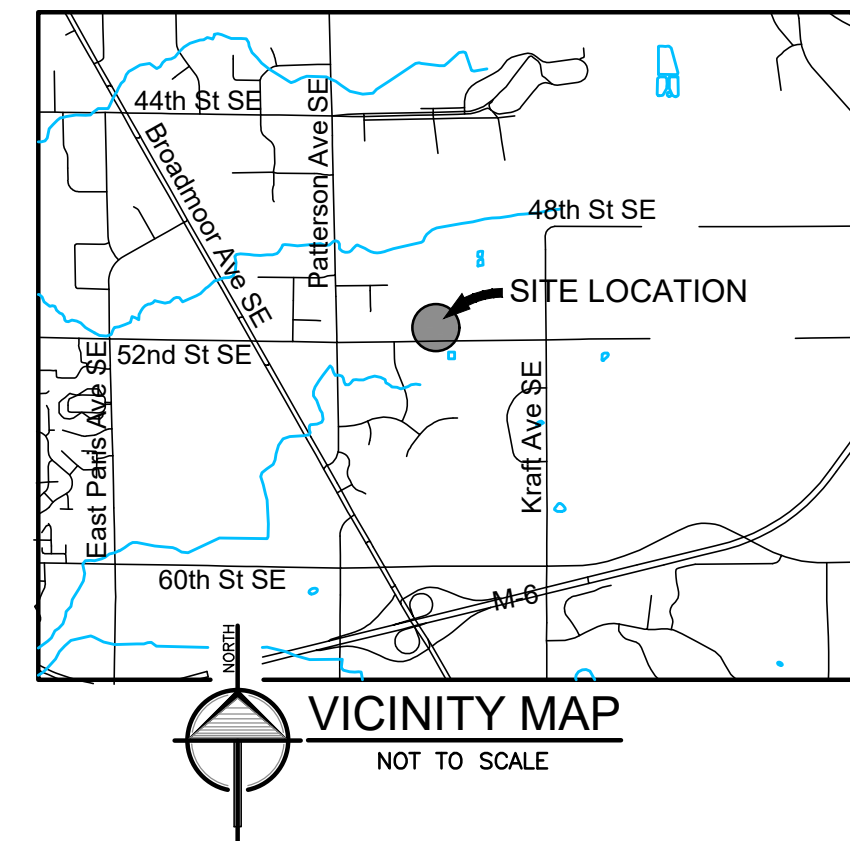
Land & Resource Engineering



Chad R Mencarelli, PE
Project Manager

MÖLLERS - BUILDING ADDITION

5215 52ND ST. SE, GRAND RAPIDS, MICHIGAN 49512



BENCHMARK INFORMATION
 BM#1) ELEVATION: 787.32
 FLANGE BOLT UNDER "E" ON HYDRANT
 BM#2) ELEVATION: 790.47
 FLANGE BOLT UNDER "E" ON HYDRANT
 BM#3) ELEVATION: 790.96
 FLANGE BOLT UNDER "E" ON HYDRANT
 BM#4) ELEVATION: 792.27
 FLANGE BOLT UNDER "E" ON HYDRANT
 THE ELEVATIONS ARE BASED ON NAVD 88

NOTES
 1. CONTRACTOR TO FIELD VERIFY HORIZONTAL & VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND MUST NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.

21213 Mile Rd. NW
 Walker, MI 49544
 Ph: 616-301-7888
 www.LREMI.com

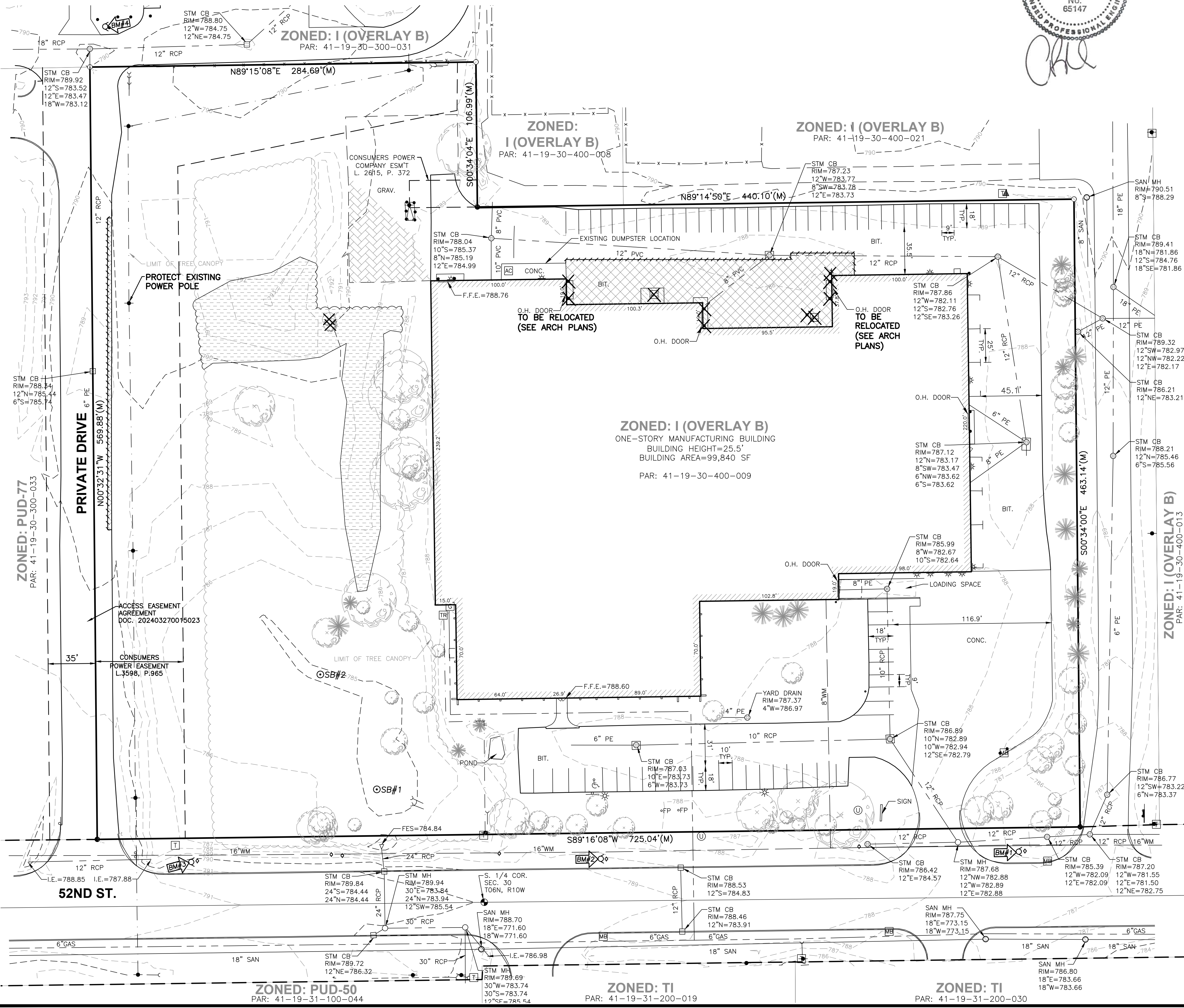


NO.	ISSUED FOR	DATE
1	OWNER REVIEW	4/12/2024
2	CASCADE TOWNSHIP SPR	4/18/2024
3	CASCADE TOWNSHIP REVIEW COMMENTS	5/23/2024

PROJECT: PIONEER CONSTRUCTION
 550 WIRTLAND SW, GRAND RAPIDS, MICHIGAN 49507
 CLIENT: MÖLLERS - BUILDING ADDITION
 5215 52ND STREET SE, GRAND RAPIDS, MICHIGAN 49512

DATE	BY
3/20/24	CVF
3/20/24	CRM
4/20/24	INDJ
4/20/24	MPB

SHEET NUMBER: C1
 TOPOGRAPHIC, BOUNDARY SURVEY & REMOVALS



INDEX OF SHEETS

- C1 - TOPOGRAPHIC, BOUNDARY SURVEY & REMOVALS
- C2 - SITE PLAN
- C3 - GRADING, SESC & UTILITY PLAN
- PHOTOMETRICS
- ARCHITECTURAL DRAWINGS

FLOOD PLAIN INFORMATION
 SAID DESCRIBED PROPERTY IS LOCATED WITHIN AN AREA HAVING A DESIGNATION "X" BY THE SECRETARY OF HOUSING AND URBAN DEVELOPMENT, ON FLOOD INSURANCE MAP NO. 26081C0560D, WITH A DATE OF 2/23/2023, FOR COMMUNITY NUMBER 260814, IN KENT COUNTY, MICHIGAN, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.

DESCRIPTION
 S 620.0 FT OF E 285.0 FT OF SW 1/4 ALSO S 513.0 FT OF W 440.0 FT OF SE 1/4 * SEC 30 T6N R10W 9.24 A.

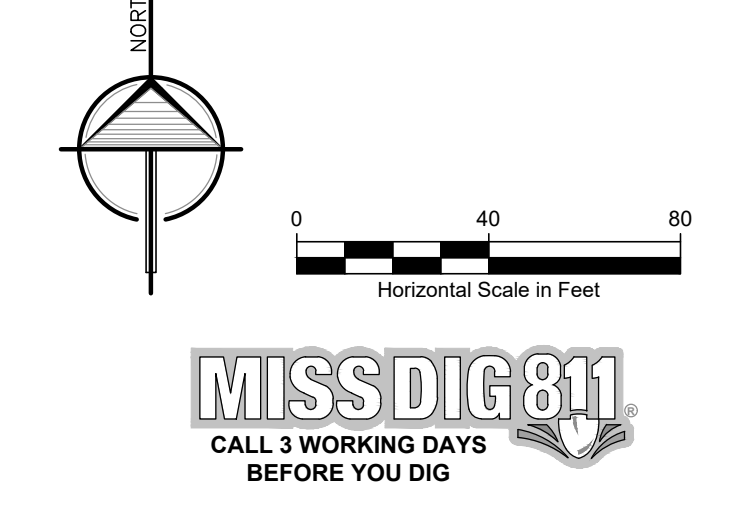
BASIS OF BEARINGS
 MICHIGAN STATE PLANE COORDINATE SYSTEM, NAD83(2011), MICHIGAN ZONE SOUTH

- LEGEND**
- ◻ BENCHMARK
 - ▲ WELL
 - MONUMENT
 - FOUND IRON STAKE
 - SET IRON STAKE
 - SET WOOD STAKE
 - +
 - RR SIGN
 - GUY POLE
 - GUY ANCHOR
 - UTILITY POLE
 - LIGHT POLE
 - WALL PACK
 - POST
 - OSB# - SOIL BORING
 - MB - MAILBOX
 - AC - AC UNIT
 - FP - FLAGPOLE
 - FIRE HYDRANT
 - ◇ WATER VALVE
 - TR ELECTRIC TRANSFORMER
 - W GAS METER
 - W WATER METER
 - T TELEPHONE RISER
 - E ELECTRIC METER
 - C CATCH BASIN
 - ⊕ ROUND CATCH BASIN
 - U UTILITY MANHOLE
 - STORM MANHOLE
 - △ FLARED END SECTION
 - SANITARY MANHOLE
 - ⊕ ELECTRIC MANHOLE
 - ⊕ TELEPHONE MANHOLE
 - DECIDUOUS TREE
 - ★ CONIFEROUS TREE

SOILS INFORMATION
 HAND AUGERS COMPLETED BY SOILS AND STRUCTURES OF NORTON SHORES, MICHIGAN ON MAY 20, 2024.

- SB#1**
- 0 - 0.3' TOPSOIL - WITH CLAY
 - 0.3' - 3.9' CLAY - GRAY WITH BROWN MOTTLING
 - 3.9' - 10' CLAY - BROWN WITH GRAY MOTTLING
- SB#2**
- 0 - 1.2' TOPSOIL - WITH CLAY
 - 1.2' - 6.4' CLAY - GRAY WITH BROWN MOTTLING
 - 6.4' - 7.2' CLAY - GRAY WITH SAND
 - 7.2' - 10' CLAY - BROWN WITH GRAY MOTTLING
- GROUNDWATER ENCOUNTERED 1.2' BELOW SURFACE GRADE.
- GROUNDWATER ENCOUNTERED 3.9' BELOW SURFACE GRADE.

- REMOVAL LEGEND**
- ▨ CONC REMOVAL
 - ▨ BIT. REMOVAL
 - ▨ GRAVEL REMOVAL
 - ▨ BLDG. REMOVAL
 - ★ TREE REMOVAL
 - UTILITY REMOVAL
 - SAWCUT
 - CURB AND GUTTER REMOVAL



MISSDIG811
 CALL 3 WORKING DAYS BEFORE YOU DIG
 ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA.

BUILDING SETBACKS:

CHAPTER 18, TABLE 18-C:
HEIGHT LOT AREA AND BUILDING
PLACEMENT STANDARDS; CASCADE
TOWNSHIP ZONING ORDINANCE,
EFFECTIVE JANUARY 29, 2013

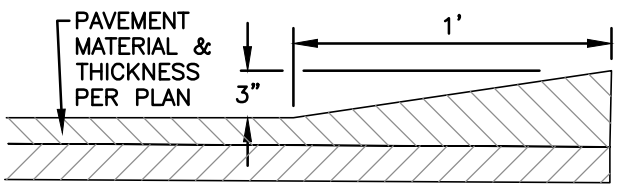
FRONT YARD: 100 FT.
SIDE YARD: 25 FT.
REAR YARD: 50 FT.
MAX. BUILDING HEIGHT: 45 FT.

NOTES

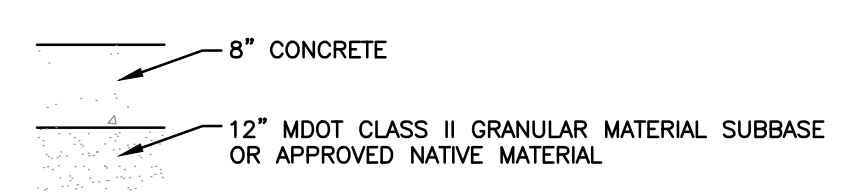
- DIMENSIONS ARE TO FACE OF CURB UNLESS INDICATED OTHERWISE ON PLANS.
- RADII ARE 5 FEET UNLESS INDICATED OTHERWISE ON PLANS.
- CONTRACTOR TO FIELD VERIFY HORIZONTAL & VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND MUST NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.

PARKING INFORMATION

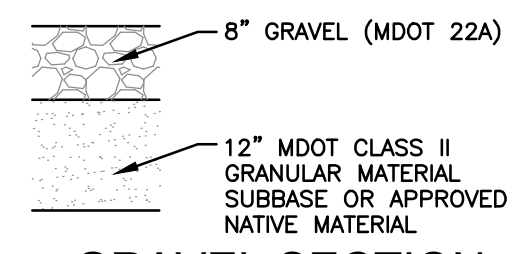
- PARKING REQUIRED; CHAPTER 19, ACCESS, PARKING, LOADING;
TABLE 19-B: PARKING REQUIRED:
MANUFACTURING, LIGHT INDUSTRIAL, AND RESEARCH
1.5 SPACES PER 1,000 SQUARE FEET (15,803 S.F.)
WHOLESALE, WAREHOUSE, AND DISTRIBUTION
.67 SPACES PER 1,000 SQUARE FEET (89,552 S.F.)
TOTAL PARKING REQUIRED = 84 SPACES
PARKING PROVIDED: = 84 SPACES
- LOADING SPACES; CHAPTER 19, SECTION 19.22, CASCADE TOWNSHIP
ZONING ORDINANCE, EFFECTIVE JAN. 29, 2013:
LOADING SPACES REQUIRED:
50,000 - 100,000 S.F. = 4 SPACES
(ADDITIONAL SPACE PER 100,000)
LOADING SPACES PROVIDED = 6 SPACE
- ADA PARKING SPACES REQUIRED, 2010 ADA STANDARDS FOR
ACCESSIBLE DESIGN, U.S. DEPARTMENT OF JUSTICE,
PARKING REQUIRED: (CUSTOMER PARKING: 1 - 25 SPACES) = 1 SPACES
PARKING PROVIDED = 1 SPACES



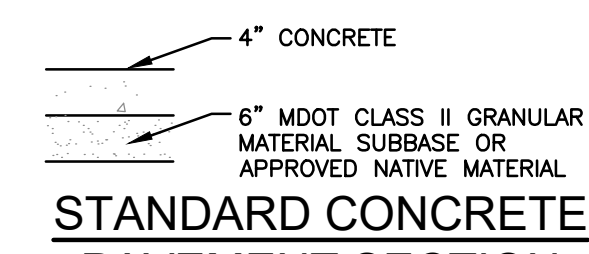
BITUMINOUS VALLEY GUTTER DETAIL
NOT TO SCALE



HEAVY DUTY CONCRETE PAVEMENT SECTION
NOT TO SCALE



GRAVEL SECTION
NOT TO SCALE

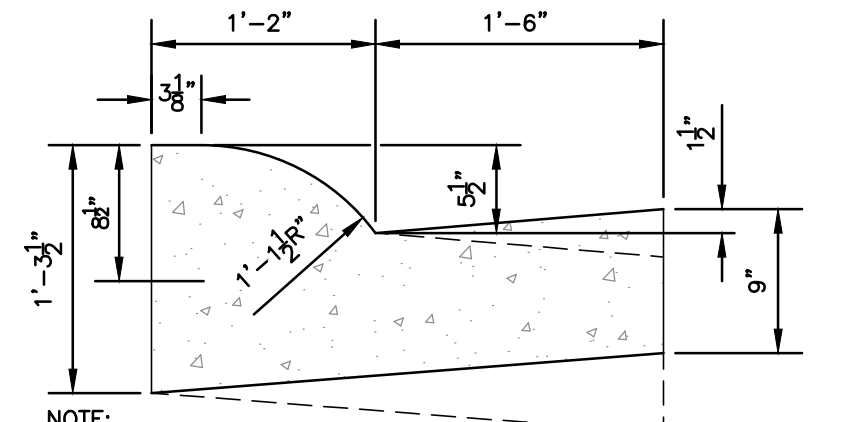


STANDARD CONCRETE PAVEMENT SECTION
NOT TO SCALE

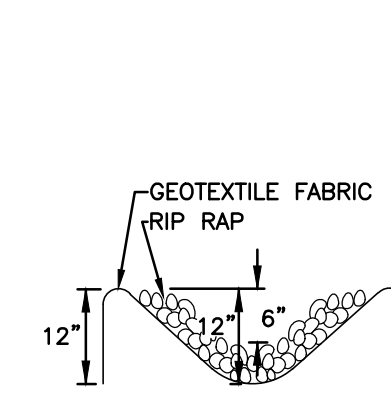
LEGEND

- PROPOSED STANDARD ASPHALT SECTION
- PROPOSED STANDARD CONCRETE SECTION
- PROPOSED HEAVY DUTY CONCRETE SECTION
- PROPOSED GRAVEL SECTION
- B-2 CURB AND GUTTER
- BITUMINOUS VALLEY GUTTER
- PARKING COUNT
- WALL PACK

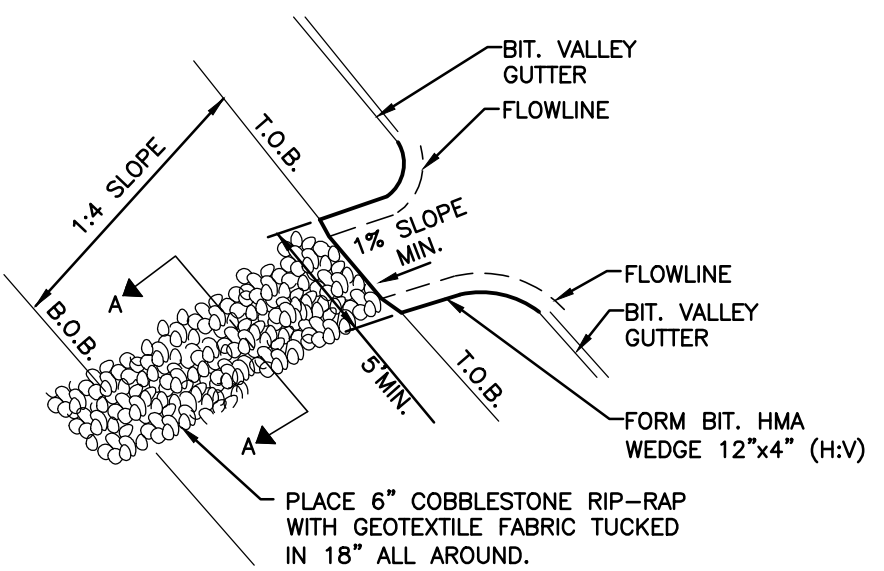
- CONTRACTION & EXPANSION JOINT NOTES:
- PLACE 1" FIBER JOINT FILLER AT 400' MAXIMUM INTERVALS
 - PLACE 1" FIBER JOINT FILLER AT SPRING POINTS OF CURB RETURNS (& INTERSECTING STREETS)
 - PLACE 1" FIBER JOINT FILLER IN ADJACENT CONTRACTION JOINTS EACH SIDE OF CATCH BASINS.
 - PLACE CONTRACTION JOINTS AT 40' MAXIMUM INTERVALS (NO SAW JOINTS ALLOWED)



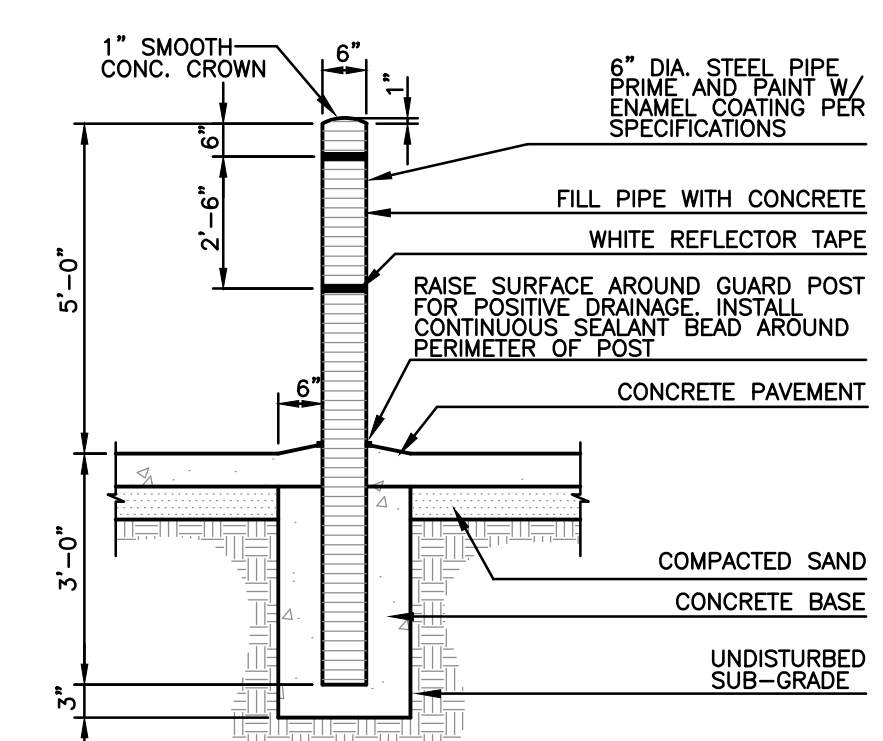
MDOT B-2 CURB & GUTTER DETAIL
NOT TO SCALE



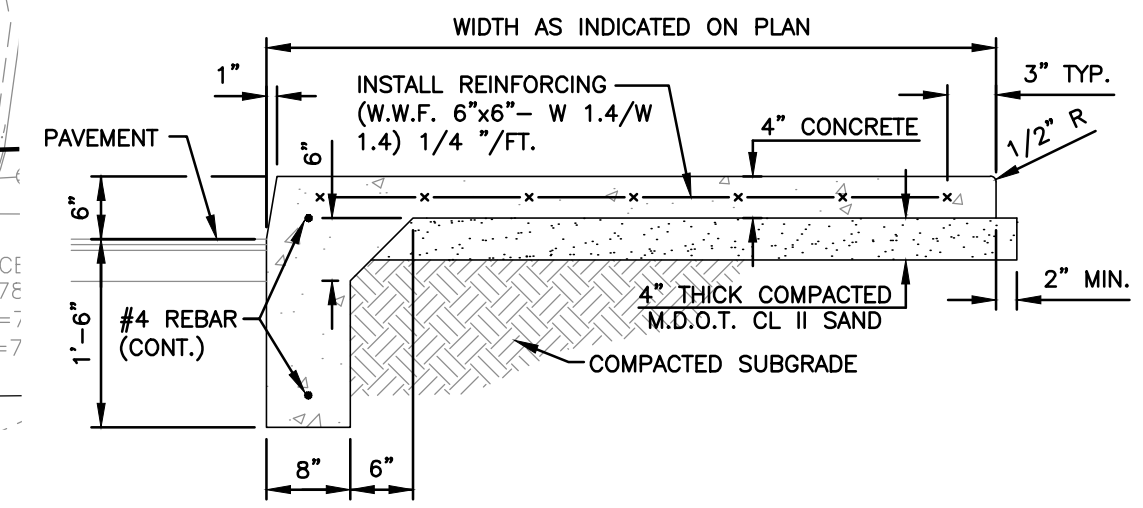
SECTION A-A
NOT TO SCALE



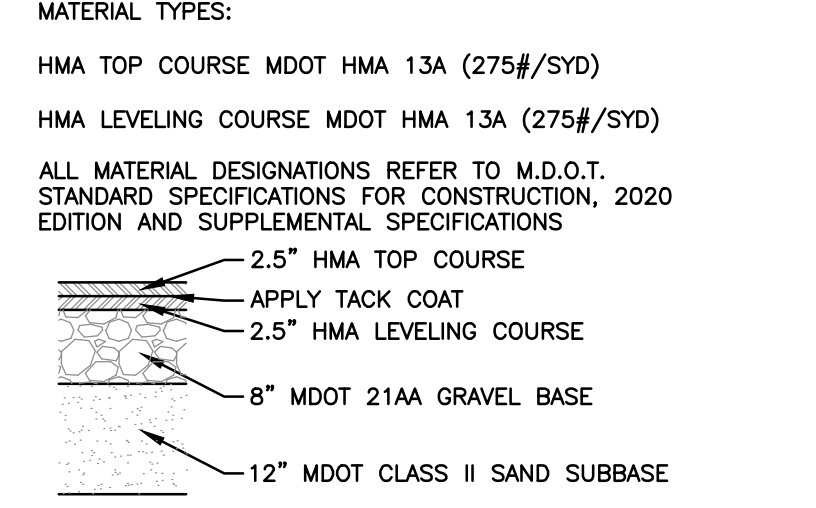
ASPHALT SPILLWAY DETAIL
NOT TO SCALE



TYPICAL BOLLARD DETAIL
NOT TO SCALE



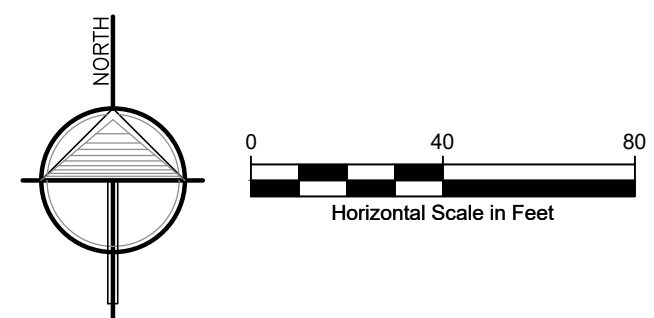
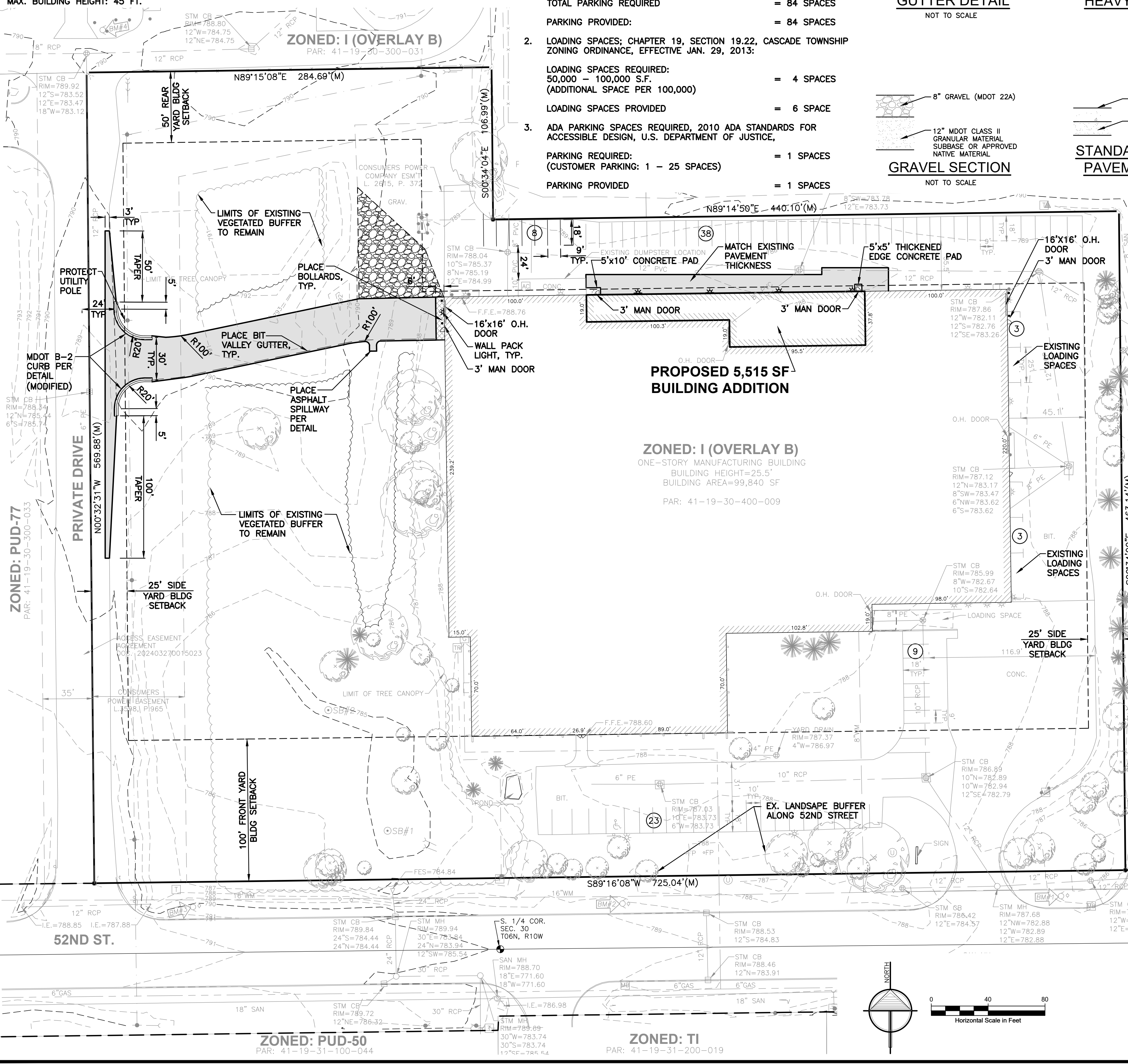
THICKENED EDGE SIDEWALK
NOT TO SCALE



STANDARD PAVEMENT SECTION
NOT TO SCALE

MATERIAL TYPES:
HMA TOP COURSE MDOT HMA 13A (275#/SYD)
HMA LEVELING COURSE MDOT HMA 13A (275#/SYD)
ALL MATERIAL DESIGNATIONS REFER TO M.D.O.T. STANDARD SPECIFICATIONS FOR CONSTRUCTION, 2020 EDITION AND SUPPLEMENTAL SPECIFICATIONS
2.5" HMA TOP COURSE
APPLY TACK COAT
2.5" HMA LEVELING COURSE
8" MDOT 21AA GRAVEL BASE
12" MDOT CLASS II SAND SUBBASE

ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA.



LRE ENGINEERS & SURVEYORS
2121 3 Mile Rd. NW
Walker, MI 49544
Ph: 616-301-7888
www.LREMI.com

NO.	ISSUED FOR	DATE
1	OWNER REVIEW	4/12/2024
2	CASCADE TOWNSHIP SPR	4/18/2024
3	CASCADE TOWNSHIP REVIEW COMMENTS	5/23/2024

PROJECT: MÖLLERS - BUILDING ADDITION
5215 52ND STREET SE GRAND RAPIDS, MICHIGAN 49512

DATE	BY
3/20/24	CVF
3/20/24	CRM
4/20/24	INDJ
4/20/24	MPB

PROJECT NUMBER: 24-047
SHEET NUMBER: C2

TIMING AND SEQUENCE OF CONSTRUCTION

CONSTRUCTION ACTIVITY	ACTIVITY BY MONTH/WEEKS														
	MONTH 1	MONTH 2	MONTH 3	TBD											
1. MOBILIZE EQUIPMENT ON SITE															
2. PLACE TEMPORARY SESC MEASURES															
3. CLEAR AND GRUB SITE AS NECESSARY															
4. STRIP AND STOCKPILE TOPSOIL															
5. SITE GRADING															
6. EXCAVATE AND PLACE FOUNDATIONS															
7. PAVE SITE															
8. RESTORE DISTURBED AREAS WITH SEED AND MULCH															
9. REMOVE SESC CONTROL MEASURES*															

*NOTE: TEMPORARY CONTROL MEASURES TO BE REMOVED ONCE VEGETATION IS ESTABLISHED AND SITE IS STABILIZED.

EROSION & SEDIMENTATION CONTROL NOTES

- INSTALL SILT FENCE AS SHOWN. MAINTAIN SILT FENCE BY REMOVING SEDIMENT WHEN IT HAS REACHED 1/3 TO 1/2 OF THE HEIGHT OF THE FENCE.
- CLEAR & GRUB SITE AS NECESSARY AND REMOVE ALL RESULTING MATERIALS FROM THE SITE.
- REMOVE & STOCKPILE TOPSOIL. INSTALL SILT FENCE AT THE TOE OF THE SLOPE ON THE DOWNSTREAM SIDE AND ADD TEMPORARY SEED MIX TO ESTABLISH VEGETATION.
- NO SOIL WILL BE ALLOWED TO ACCUMULATE OFF SITE. ANY SOIL TRACKED OFF SITE WILL BE IMMEDIATELY REMOVED.
- PERMANENT CONTROL MEASURES MUST BE COMPLETED 15 CALENDAR DAYS AFTER THE FINAL EARTH CHANGE IS COMPLETED FOR EACH AREA DISTURBED. THIS INCLUDES BLANKETS, SEEDING, MULCHING & HYDROMULCHING.
- FOR ALL AREAS TO BE SEEDED, THE MULCH MUST BE APPLIED IMMEDIATELY AFTER SEED APPLICATION.
- CONTRACTOR SHALL CLEAN AND MAINTAIN THE STORM SEWER INLETS AND PIPES DURING THE COURSE OF CONSTRUCTION AND SHALL CLEAN THE SYSTEM OF ALL DEBRIS UPON COMPLETION AND STABILIZATION OF THE PROJECT.
- REMOVE TEMPORARY CONTROLS SUCH AS SILT FENCE, INLET PROTECTION AND NETTING ONCE VEGETATION IS ESTABLISHED AND THE SITE HAS BEEN STABILIZED.

MICHIGAN DEPARTMENT OF MANAGEMENT AND BUDGET KEYING SYSTEM

KEY	BEST MANAGEMENT PRACTICES	SYMBOL	WHERE USED
EROSION CONTROLS			
E8	PERMANENT SEEDING		Stabilization method utilized on sites where earth change has been completed (final grading attained).
E12	RIPRAP		Use along shorelines, waterways, or where concentrated flows occur. Slows velocity, reduces sediment load, and reduces erosion.
SEDIMENT CONTROLS			
S58	INLET PROTECTION FABRIC DROP		Use at stormwater inlets, especially at construction sites.
EROSION / SEDIMENT CONTROLS			
ES31	CHECK DAM		Used to reduce surface flow velocities within constructed and existing flow corridors.

NOTES

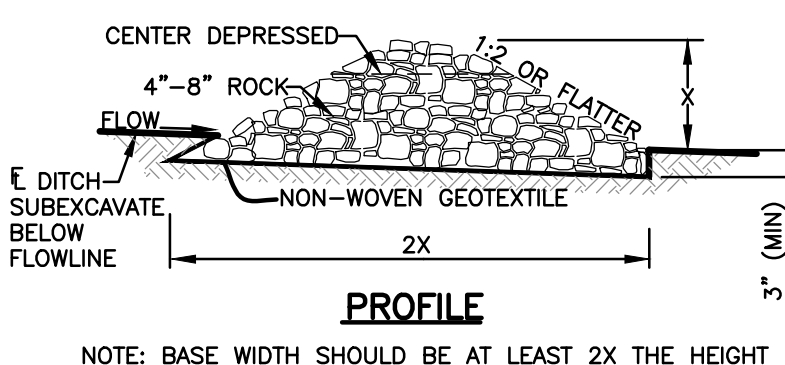
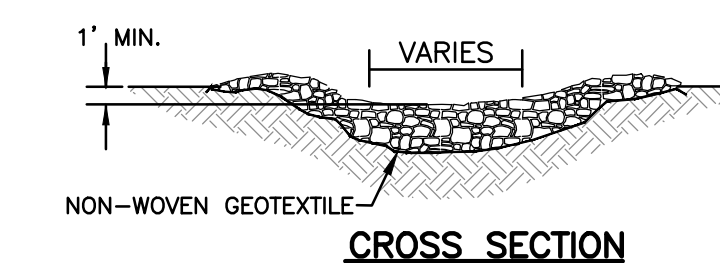
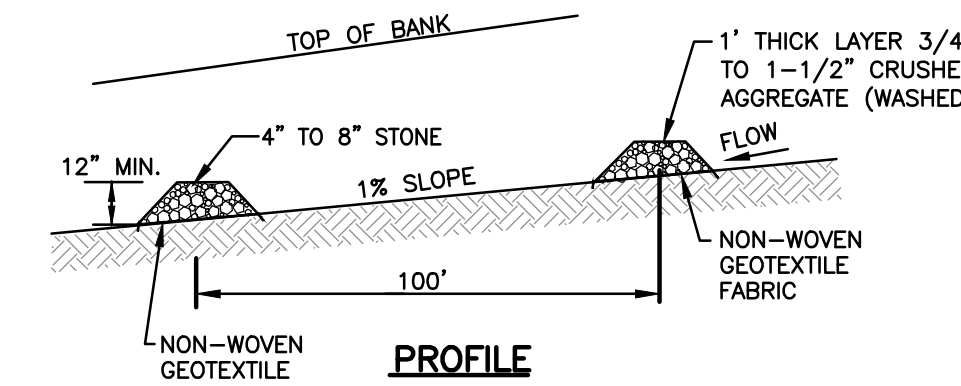
- CONTRACTOR TO FIELD VERIFY HORIZONTAL & VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND MUST NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
- AREA OF DISTURBANCE: 0.72 ACRES.
- DISTANCE TO NEAREST WATERCOURSE: 685-FEET TO UNNAMED POND TO SOUTHEAST.
- SOILS: 19B; BLOUNT LOAD, 2 TO 6 PERCENT SLOPES (USDA WEB SOIL SURVEY)

LEGEND

- (ELEV) PROPOSED CONTOURS
- (ELEV) EXISTING CONTOURS
-
- DRAINAGE STRUCTURES
-
- RIP-RAP
-
- SILT FENCE
-
- TOP OF CURB ELEVATION
-
- GUTTER/SPOT ELEVATION
-
- DIRECTION OF DRAINAGE FLOW
-
- PARKING LOT HIGH POINTS
-
- PROPOSED STORM SEWER

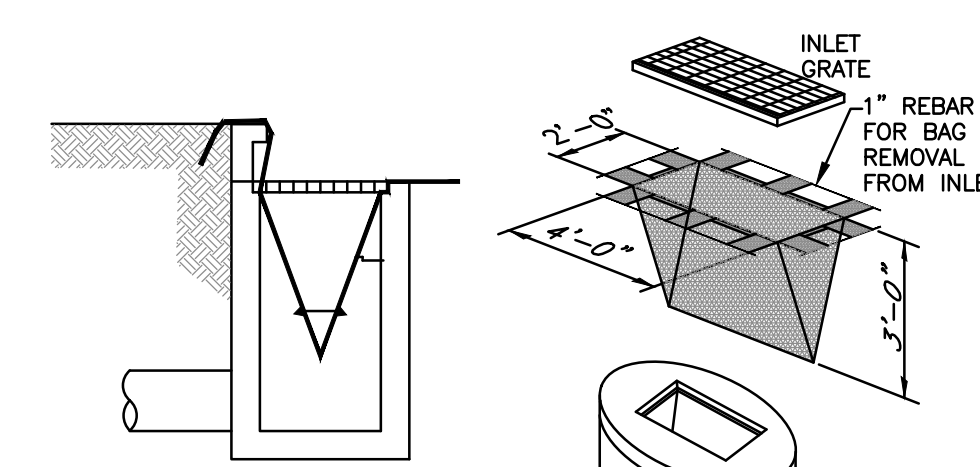
BENCHMARK INFORMATION

- BM#1) ELEVATION: 787.32
FLANGE BOLT UNDER "E" ON HYDRANT
 - BM#2) ELEVATION: 790.47
FLANGE BOLT UNDER "E" ON HYDRANT
 - BM#3) ELEVATION: 790.96
FLANGE BOLT UNDER "E" ON HYDRANT
 - BM#4) ELEVATION: 792.27
FLANGE BOLT UNDER "E" ON HYDRANT
- THE ELEVATIONS ARE BASED ON NAVD 88



NOTE: BASE WIDTH SHOULD BE AT LEAST 2X THE HEIGHT

ES31 CHECK DAM
NOT TO SCALE



INSTALLATION DETAIL

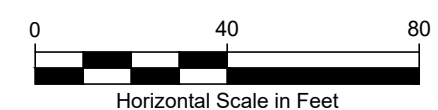
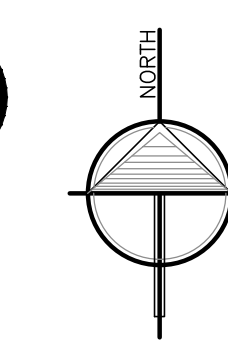
NOTE: 1. INSTALL PER MANUFACTURERS INSTRUCTIONS.

S58 INLET PROTECTION - FABRIC DROP
NOT TO SCALE

PERMANENT SEEDING NOTE:

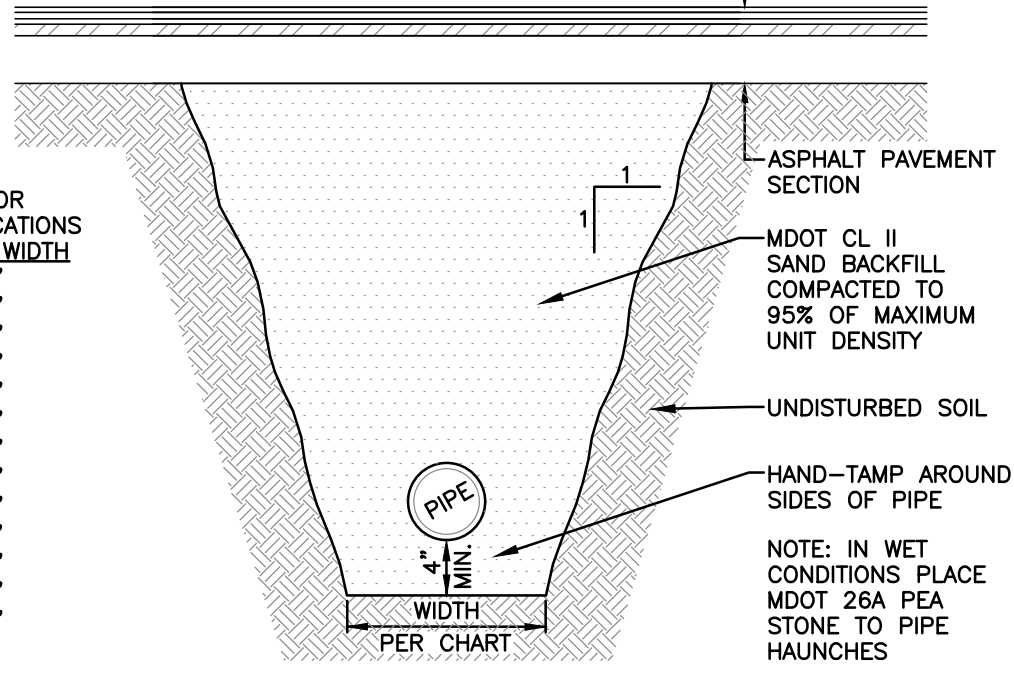
- ALL PROPOSED LAWN AREAS AND ALL AREAS DISTURBED BY CONSTRUCTION SHALL RECEIVE A MINIMUM OF 4" OF TOPSOIL AND LAWN SEED MIX AS INDICATED ON PLANS AND AS FOLLOWS:
- | PROPORTION | CLASS "A" SEED TYPE |
|------------|-----------------------------|
| 10% | CANNON KENTUCKY BLUEGRASS |
| 10% | GOLDRUSH KENTUCKY BLUEGRASS |
| 20% | RONDE KENTUCKY BLUEGRASS |
| 20% | SR5100 CHEWINGS FESCUE |
| 20% | SR5200 CREEPING RED FESCUE |
| 10% | SR4400 PERENNIAL RYEGRASS |
| 10% | SR4500 PERENNIAL RYEGRASS |
- SEEDING RATE SHALL BE 4 TO 6 lbs. PER 1000 SQ. FEET.

E8

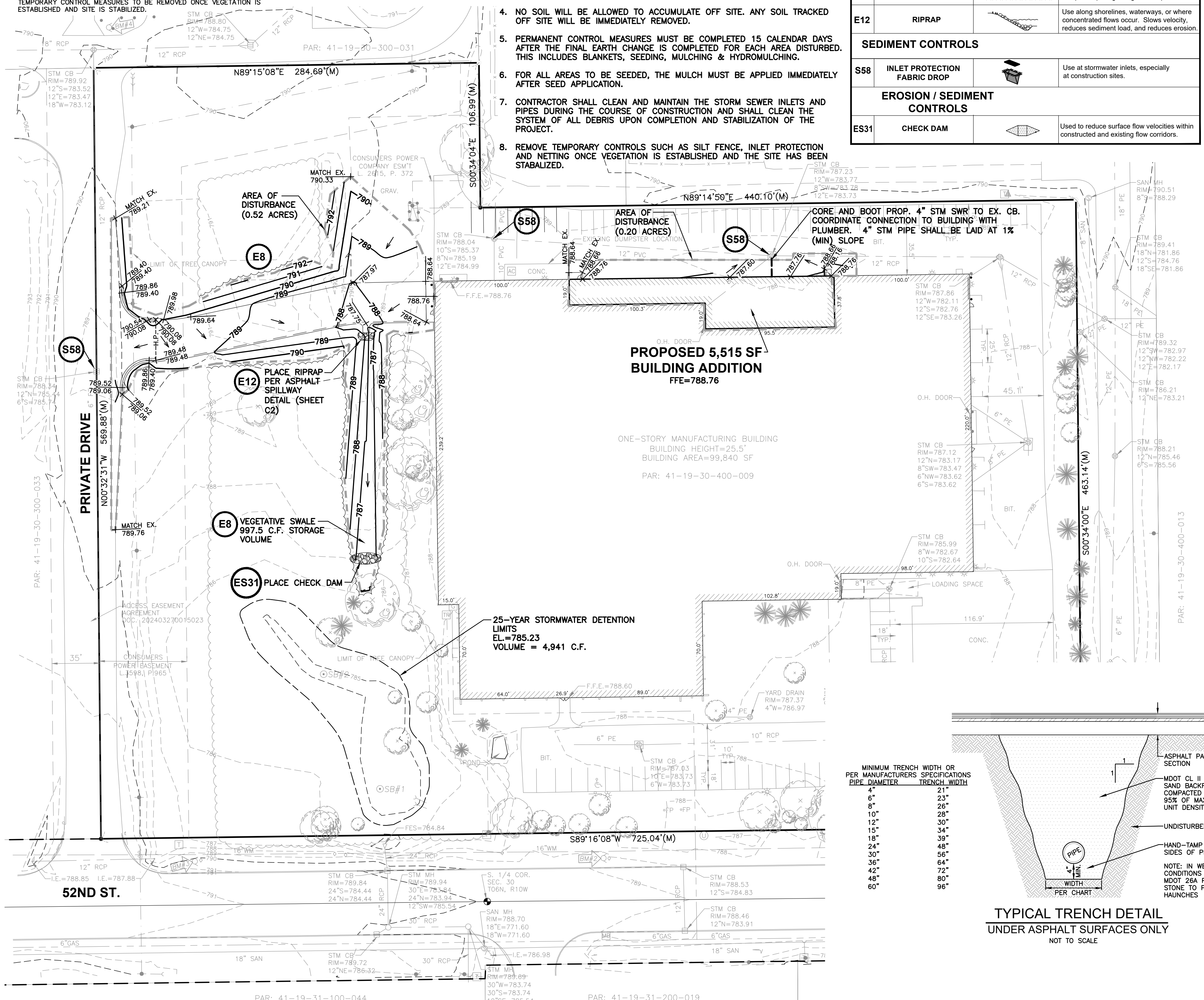


MINIMUM TRENCH WIDTH OR PER MANUFACTURERS SPECIFICATIONS PIPE DIAMETER TRENCH WIDTH

4"	21"
6"	23"
8"	26"
10"	28"
12"	30"
15"	34"
18"	39"
24"	48"
30"	56"
36"	64"
42"	72"
48"	80"
60"	96"



TYPICAL TRENCH DETAIL UNDER ASPHALT SURFACES ONLY
NOT TO SCALE



2121 3 Mile Rd. NW
Walker, MI 49544
Ph: 616-301-7688
www.LRE.com



REVISIONS:

NO.	ISSUED FOR	DATE
1	OWNER REVIEW	4/12/2024
2	CASCADE TOWNSHIP SPR	4/18/2024
3	CASCADE TOWNSHIP REVIEW COMMENTS	5/23/2024

CLIENT: PIONEER CONSTRUCTION
550 WIRTLAND SW, GRAND RAPIDS, MICHIGAN 49507
PROJECT: MÖLLERS - BUILDING ADDITION
5215 52ND STREET SE, GRAND RAPIDS, MICHIGAN 49512

PROJECT NUMBER: 24-047

DATE	BY
3/2/24	CVF
3/2/24	CVF
4/2/24	INDJ
4/2/24	MPB

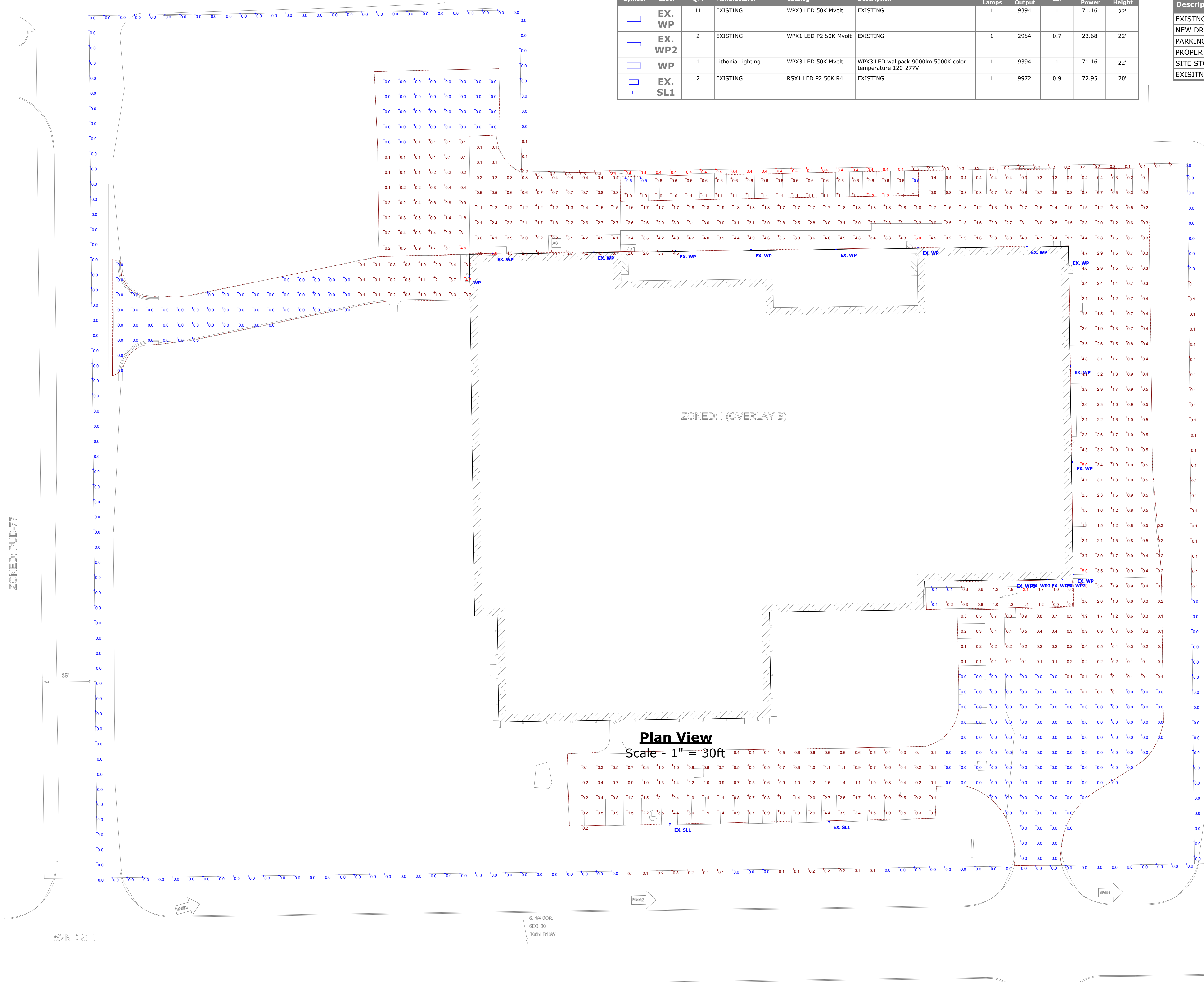
SHEET NAME: GRADING, SESC PLAN & UTILITIES
SHEET NUMBER: C3



ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA.

Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Mounting Height
[Symbol]	EX. WP	11	EXISTING	WPX3 LED 50K Mvolt	EXISTING	1	9394	1	71.16	22'
[Symbol]	EX. WP2	2	EXISTING	WPX1 LED P2 50K Mvolt	EXISTING	1	2954	0.7	23.68	22'
[Symbol]	WP	1	Lithonia Lighting	WPX3 LED 50K Mvolt	WPX3 LED wallpack 9000lm 5000K color temperature 120-277V	1	9394	1	71.16	22'
[Symbol]	EX. SL1	2	EXISTING	RSX1 LED P2 50K R4	EXISTING	1	9972	0.9	72.95	20'

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
EXISTING DRIVE/PARKING LOT	+	1.2 fc	5.0 fc	0.0 fc	N/A	N/A
NEW DRIVE	+	0.4 fc	4.7 fc	0.0 fc	N/A	N/A
PARKING BY NEW ADDITION	+	0.8 fc	1.2 fc	0.5 fc	2.4:1	1.6:1
PROPERTY LINE	+	0.1 fc	0.4 fc	0.0 fc	N/A	N/A
SITE STORAGE	+	0.4 fc	4.6 fc	0.0 fc	N/A	N/A
EXISTING LOADING DOCK	+	0.9 fc	2.1 fc	0.1 fc	21.0:1	9.0:1



WPX LED Wall Packs

Specifications

Front View: [Diagram]

Side View: [Diagram]

Luminaire	Height (ft)	Width (ft)	Depth (ft)	Mounting Location	Weight (lb)
WPX1	8.1 (24.6m)	11.1 (33.8m)	3.7 (1.1m)	4.7 (14.3m)	6.1 (2.8kg)
WPX2	8.1 (24.6m)	12.3 (37.5m)	4.1 (1.25m)	4.7 (14.3m)	8.2 (3.7kg)
WPX3	8.1 (24.6m)	13.8 (42.0m)	5.5 (1.68m)	4.7 (14.3m)	11.1 (5.0kg)

Introduction
The WPX LED wall packs are energy-efficient, cost-effective, and aesthetically appealing solutions for both HID wall pack replacement and new construction opportunities. Available in three sizes, the WPX family delivers 1,550 to 9,200 lumens with a wide, uniform distribution. The WPX full cut-off solutions fully cover the footprint of the HID glass wall packs that they replace, providing a neat installation and an upgraded appearance. Reliable IP66 construction and excellent LED lumen maintenance ensure a long service life. Photocell and emergency egress battery options make WPX ideal for every wall mounted lighting application.

Ordering Information

EXAMPLE: WPX2 LED 40K MVOLT DBXBD

Series	Color Temperature	Voltage	Option	Finish
WPX1 LED P1	1,550 Lumens, 120V	30K 300K	WPX1 120V 277V	Black
WPX1 LED P2	2,900 Lumens, 240V	40K 400K	30'	White
WPX2 LED	4,350 Lumens, 480V	50K 500K	30'	Black
WPX3 LED	9,200 Lumens, 480V	50K 500K	30'	Black

NOTES

- All WPX wall packs come with 80K surge protection standard, except WPX1 LED P1 package, which comes with 25K surge protection standard. Add 50K/80K option to get WPX1 LED P1 with 80K surge protection.
- Sample measurements are available for WPX1 and WPX2.
- Battery pack options not available with 347V or PE options.

FEATURES & SPECIFICATIONS

INTENDED USE
The WPX LED wall packs are designed to provide a cost-effective, energy-efficient solution for the end-user replacement of existing HID wall packs. The WPX1, WPX2 and WPX3 are ideal for replacing up to 1,500, 2,900 and 9,200 lumens respectively. WPX luminaires deliver a uniform, wide distribution. WPX is rated for 40°C to 100°C.

CONSTRUCTION
WPX features a die-cast aluminum main body with optional thermal management that both enhances LED efficiency and extends component life. The luminaires are IP66 rated, and sealed against moisture or environmental contaminants.

ELECTRICAL
WPX1 and WPX2 configurations consist of high-efficiency LEDs and LED lumen maintenance of 1,000,000 hours. Color temperature (CCT) options of 3000K, 4000K and 5000K with minimum CRI of 90. WPX3 luminaires have an optional 80K surge protection. All luminaires have an 80K surge protection (80K 120V package comes with a standard surge protection rating of 25K). PE can be combined with an optional 80K surge protection. All standard PE options are 120V, 277V and 480V.

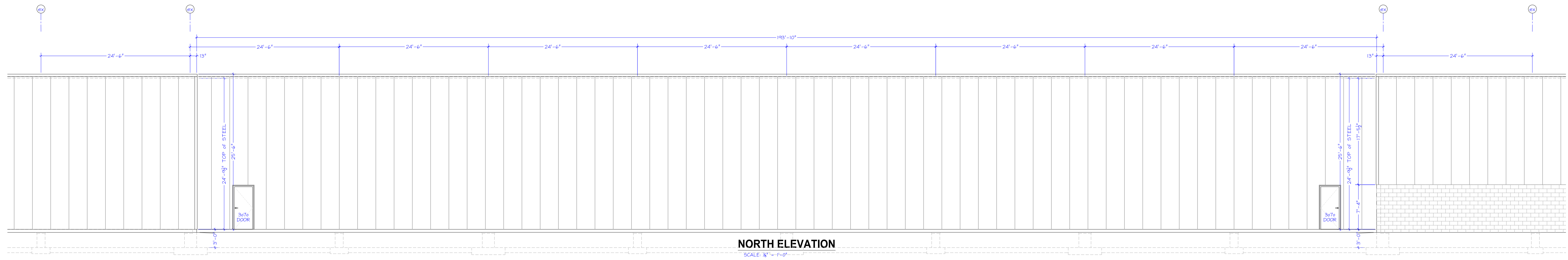
WARRANTY
Lithonia Lighting warrants this luminaire to be free from material and workmanship defects for a period of 5 years. See the warranty document for complete terms and conditions.

INSTALLATION
WPX can be mounted directly over a standard electrical junction box. These 1/2 inch conduit ports on these allow for surface conduit wiring. A notch on the back surface allows precise conduit wiring on surfaces that don't have an electrical junction box. Wiring can be made in the integral wiring compartment if all wires are properly terminated for applications with LED lighting.

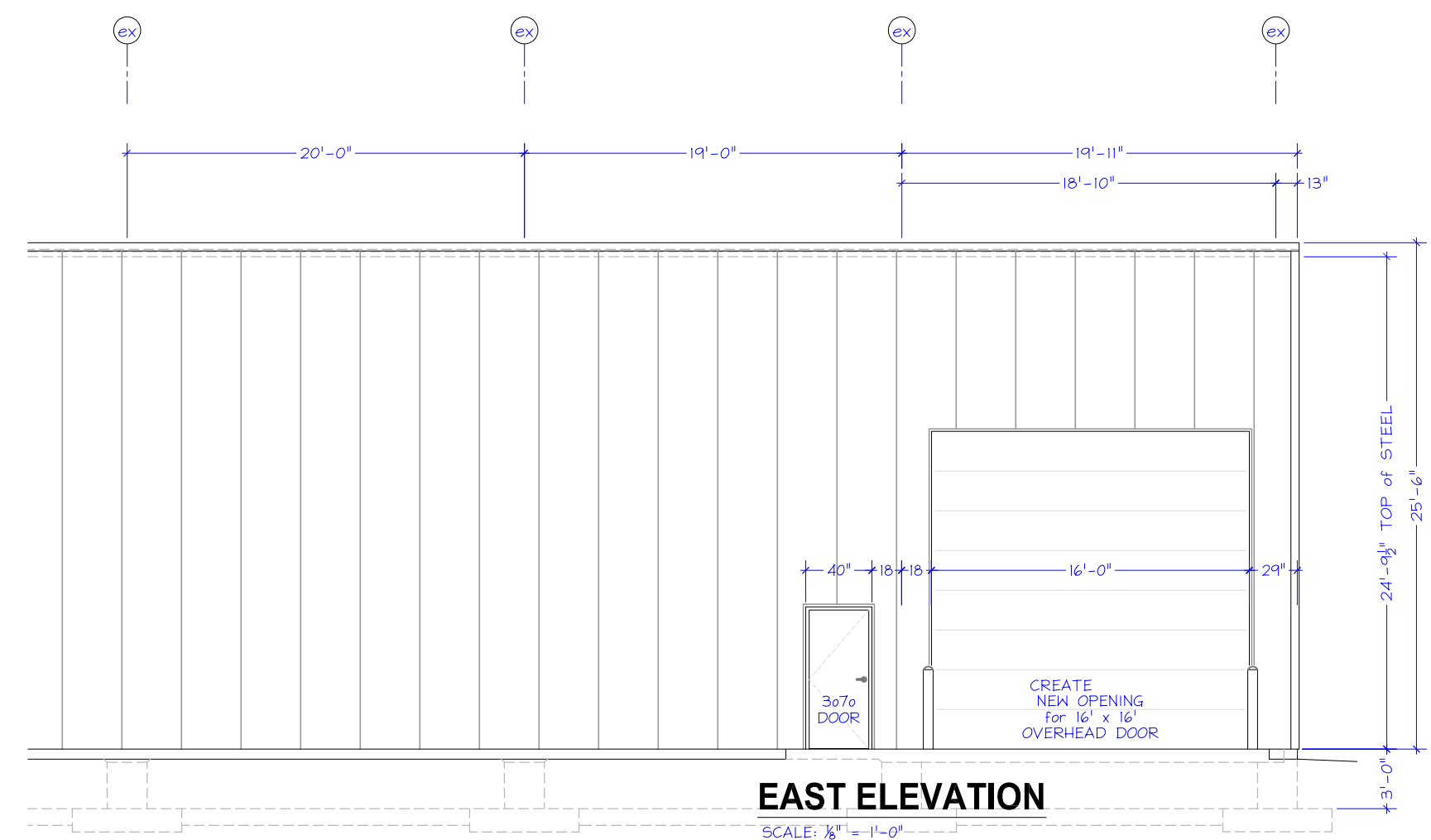
LISTINGS
UL Listed to meet U.S. and Canadian standards. Suitable for wet locations. IP66 Rated. Designated for Commercial and Industrial applications. Not all features of this product may be available in all markets. Please contact your local distributor for more information.

REMARKS
WPX1 LED P1 40K MVOLT SPOKAY DBXBD
WPX2 LED 40K MVOLT SPOKAY DBXBD
WPX3 LED 40K MVOLT SPOKAY DBXBD

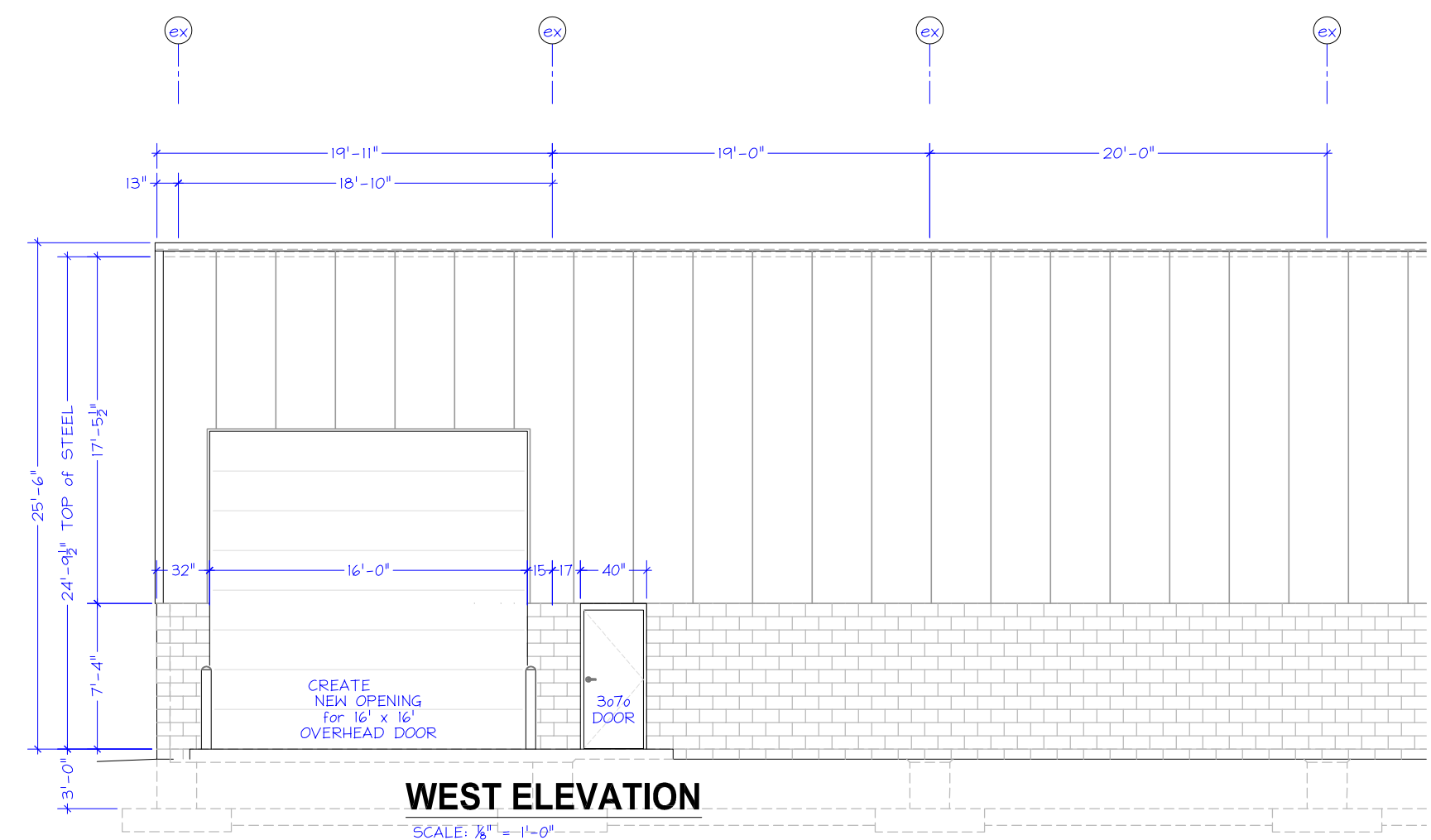
Möller North America Inc
Addition Site Point by Point
5215 52nd St SE, Grand Rapids, MI 49512



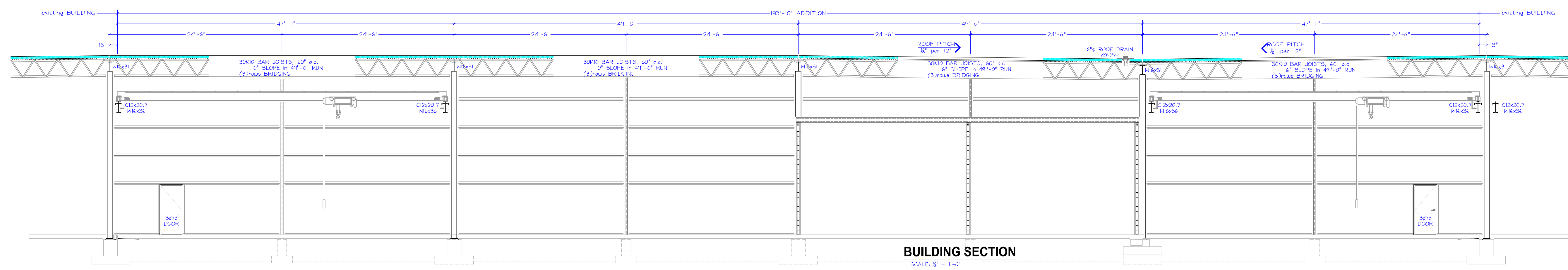
NORTH ELEVATION
SCALE: 3/8" = 1'-0"



EAST ELEVATION
SCALE: 3/8" = 1'-0"



WEST ELEVATION
SCALE: 3/8" = 1'-0"



BUILDING SECTION
SCALE: 3/8" = 1'-0"

DATE	REVISION/NOTED FOR:	BY:
3.14.2024	PROGRESS DRAWING	TLB
4.4.2024	PROGRESS DRAWING	TLB
4.9.2024	UPDATE TO SHOW 16'x16' DOORS on EAST & WEST WALLS	TLB

PROJECT NAME:	DATE:
möllers North America, Inc 5215 52nd Street, SE Grand Rapids, MI 49512	

DRAWN BY:	T. BELTMAN
JOB NUMBER:	0022-946
CAD REFERENCE:	Mollers Addition.dwg
PLOTTED:	4.9.2024



CASCADE CHARTER TOWNSHIP

5920 Tahoe Drive SE Grand Rapids, Michigan 49546-7140

Date May 24, 2024
To Madison Smith-Jacoby
From Aric Thorne, PE
Subject Site Plan Review: 5212 52nd St SE

I have reviewed the storm water site plan for Möllers at 5212 52nd St SE. . **The current site plan and basis of this review are dated May 24, 2024.** The applicant is proposing an addition to the existing building and an access driveway.

Stormwater and Drainage

The proposed project is being reviewed under the 2022 Stormwater Ordinance and the criteria in the Stormwater Standards Manual revised March 2021.

The applicant proposes a 5,515-sft building addition and 6,185-sft asphalt access driveway. The parcel currently is developed as a 1-story 99,840-sft manufacturing building. The applicant proposes using an on-site detention basin to provide capacity for developed storm water runoff.

Flood Control

Flood control is proposed with an on-site detention basin. The project site is located in Flood Zone 2, requiring capacity for the 25-year storm event. The 5,515-sft building addition is in place of existing impervious surface. There is an existing private 6- to 12-inch diameter storm sewer around the north, east, and south perimeter of the developed property that ties into Kent County Road Commission (KCRC) facilities in 52nd St SE. The 6,185-sft asphalt access driveway adds impervious surface and outlets by asphalt spillway to a vegetated swale on the west side of the property and into a detention basin.

The detention basin is located in an existing depressed area on-site. The volume of this area (56,464-cft) meets the required flood control volume (4,941-cft). An alternate release rate (3.57-cfs) is used as the existing runoff volume is less than or equal to the developed runoff volume. The detention limits for the flood control volume are indicated on the plans.

Water Quality and Channel Protection

The proposed vegetated swale and detention basin meet the required storage capacity per water quality (934-cft) and channel protection (868-cft). The swale (997-cft) includes a check dam and exceeds the required pretreatment volume (141-cft) for the detention basin.

Drainage Plan

The applicant indicates flow paths throughout the site on the plan. The emergency overflow route is unnecessary, as the detention basin volume is twice the flood control volume requirement or more. The side slopes of the detention basin meet the required maximum 4:1 (H:V).

The applicant proposes use of the existing 24-inch diameter culvert under 52nd St SE in KCRC right-of-way for release of basin volume beyond 48-hour detention time. Flow through this culvert continues south of 52nd St SE by open channel through private drain easement to the Meadowbrooke North regional detention basin. This basin is owned and maintained by Kent County Drain Commissioner.

A maintenance agreement and a long-term maintenance plan are required before construction begins. The maintenance agreement and plan should include at a minimum cleaning of the vegetated swale and detention basin.

Utilities and General Comments

Plans do not indicate any additional or modification to existing utility connections. The additional access driveway connects to a private road situated on 5151 52nd St SE. Plans indicate that there is an access easement agreement in place. The applicant submitted soil boring data as required for the proposed storm water control measures.

Soil Erosion and Sedimentation Control

The applicant provided a Soil Erosion and Sedimentation Control (SESC) plan. KCRC must review and issue an SESC permit before construction may begin. Measures included on the plan include permanent seeding, riprap, and inlet protection fabric drops. KCRC may require additional measures beyond what are shown.

Summary

The proposed stormwater management design meets the Township Stormwater Ordinance requirements for the site location. I recommend approval from an engineering point of view.

Let me know if you have any questions or concerns.

2024 MAR 27 8:18 AM

202403270015023 Total Pages: 8
03/27/2024 08:47 AM Fees: \$30.00
Lisa Posthumus Lyons, County Clerk/Register
Kent County, MI SEAL

ACCESS EASEMENT AGREEMENT

[This Agreement is exempt from transfer taxes pursuant to MCLA 207.505(a) and 526(a).]

THIS ACCESS EASEMENT AGREEMENT (this "**Agreement**") is made this 15th day of March, 2024 (the "**Effective Date**"), between **INTRA MICHIGAN, INC.**, a Delaware corporation ("**Intra**"), having an address of 5215 52nd Street SE, Grand Rapids, Michigan 49512, and **SPEES REALTY, LLC**, a Michigan limited liability company ("**Spees**"), having an address of 10717 Morse Lake Road, Alto, Michigan 49302. Intra and Spees are referred to collectively in this Agreement as the "**Parties**" and individually as a "**Party**".

RECITALS

A. Intra is the owner of that certain parcel of land situated in the Township of Cascade, Kent County, Michigan, legally described on attached Exhibit A, commonly referred to as 5215 52nd Street SE, Grand Rapids, Michigan 49512, and identified as tax parcel number 41-19-30-400-009 (the "**Intra Property**").

B. Spees is the owner of that certain parcel of land situated in the Township of Cascade, Kent County, Michigan, legally described on attached Exhibit B, commonly referred to as 5151 52nd Street SE, Grand Rapids, Michigan 49512, and identified as tax parcel number 41-19-30-300-033 (the "**Spees Property**", and collectively with the Intra Property, the "**Properties**").

C. The Spees Property is situated to the immediate west of the Intra Property.

D. A portion of each Property is subject to a certain Easement Declaration dated May 10, 1988 and recorded as Liber 2563, Page 748 in the Kent County Register of Deeds, as amended by the First Amendment to Easement Declaration dated July 13, 1988 and recorded as Liber 2570, Page 363 in the Kent County Register of Deeds (collectively, the "**Existing Easement**"), which grants an easement for ingress and egress over a certain portion of the Properties from 52nd Street to the real property commonly known as 5050 Kendrick Street SE, Grand Rapids, Michigan 49512 ("**Kendrick Parcel**"), as more particularly described in the Existing Easement.

E. Spees has agreed to grant Intra a non-exclusive easement over a portion of the Spees Property identified on the attached Exhibit C (the "**Easement Area**") on the terms and conditions provided herein.

AGREEMENT

NOW, THEREFORE, in consideration of the mutual agreements herein contained, and for other good and valuable consideration, the receipt and adequacy of which are hereby acknowledged, the Parties agree as follows:

1. **Grant of Easement.** Spees hereby grants to Intra, and its successors and assigns, tenants, guests, invitees, agents, contractors, representatives, customers, and employees, a permanent, non-exclusive easement on, over, across, and through the Easement Area and any surface improvements



constructed thereon (the "Easement") for the purpose of permitting vehicular and pedestrian ingress and egress to and from the Intra Property and 52nd Street.

2. **Maintenance, Repair and Replacement of Easement Areas.** Spees shall bill Intra annually, a reasonable amount, for Intra's portion of the cost of snow plowing incurred by Spees for the existing driveway within the Easement Area. Spees and Intra shall each pay one half the cost for all other maintenance, repair and replacement of the Easement Area necessary to keep the Easement Area in good and useable condition and repair, including all paving, sealing, striping, landscaping and other improvements Spees deems necessary or appropriate.

3. **Damage.** If either Party or its employees, contractors, agents, guests or invitees causes any damage to the Easement Area, the Parties will promptly meet and confer in good faith regarding the alleged damage, the scope of any repair(s), and the allocation of cost for such repair(s). If the Parties are unable to reach an agreement within thirty (30) days (or such sooner reasonable time as may be required given the nature and extent of the damage), then damaging Party shall promptly repair the damage at its sole expense. If the damaging Party fails to promptly repair such damage, the other Party may do so, and it may seek reimbursement from the damaging Party, including reasonable attorneys' fees.

4. **No Interference with Easement Area.** No Party shall block, close, obstruct, or otherwise materially interfere with, nor allow any of its shareholders, partners, members, directors, managers, officers, employees, contractors, agents, lessees, invitees, or licensees to block, close, obstruct, or otherwise materially interfere with, the Easement Area except with the prior written consent of both Parties. In the event of any such blockage, closure, obstruction, or other interference, whether in violation of this Agreement or with the prior written consent of the Parties, the interfering Party shall take all reasonable steps to coordinate operations with the other Parties and to minimize the duration and extent of the interference. Notwithstanding the foregoing, during any construction on any Property where interference within the Easement Area is unavoidable, the Parties will notify each other at least five (5) days in advance before commencing any activity that may interfere with traffic within the Easement Area, and such Party shall take all reasonable precautions so as to minimize the duration and extent of the interference, except in the case of an emergency (in which case, such party shall notify the other Party as soon as reasonably possible after commencing such activity).

5. **Indemnity.** Each Party shall defend, indemnify, and hold the other Party harmless from and against any and all losses, demands, claims, causes of action, decisions, damages, liabilities, costs, and expenses, including attorneys' fees, arising from or as the result of the bodily injury or death of any person or the damage to any property that (1) occurs within the Easement Area, or (2) arises out of any activity by the indemnifying party or any of the indemnifying Party's shareholders, partners, members, directors, managers, officers, employees, contractors, agents, lessees, invitees, or licensees in the Easement Area, or (3) otherwise results from the negligence or intentional misconduct of the indemnifying Party or any of the indemnifying Party's shareholders, partners, members, directors, managers, officers, employees, contractors, agents, lessees, invitees, or licensees. The foregoing indemnity will include claims alleging or involving joint or comparative negligence, but will not extend to liability resulting from the negligence or intentional misconduct of the indemnified Party.

6. **Default.** If any Party fails to perform any of its obligations under this Agreement, and if such failure is not cured within ten (10) days after notice thereof to the nonperforming Party, then the other Party will have the right, subject to Section 3 above, to abate, remove, or otherwise correct such default at the nonperforming party's expense.

7. **No Gift or Dedication.** No provision contained in this Agreement shall be deemed to be a gift or dedication of any portion of the Easement to the general public or for any public purposes whatsoever, it being the intention that the easement created herein will be strictly limited to and for the purposes expressed in this Agreement. Notwithstanding any other provision hereof to the contrary, the owner of each of the Properties periodically may restrict ingress and egress on its Property in order to prevent a prescriptive easement from arising by continued public use of same, but only in the event the use is not permitted by this Agreement and it is determined that the continued use of the Easement area is without the consent of the owner of the underlying Property. Any restriction on ingress and egress shall be limited to the minimum time period necessary to prevent the creation of a prescriptive easement and shall occur at such times as to have minimum effect on the construction or operation of the Properties.

8. **Miscellaneous.**

A. This Agreement will run with the land and bind, burden, and inure to the benefit of the Parties and their grantees, successors, and assigns.

B. This Agreement represents the entire understanding between the Parties with respect to the foregoing subject matter. All prior negotiations and agreements between the Parties with respect to the foregoing subject matter are of no further force or effect.

C. This Agreement may be amended only by a written agreement signed by the Parties. Any amendment to this Agreement will be effective only on the recording of such instrument with the Kent County Register of Deeds.

D. Each notice, consent, demand, approval, waiver, or other document provided for under this Agreement shall be in writing and will be duly served and delivered (1) immediately on personal delivery, (2) one business day after being sent by a nationally recognized courier service, or (3) two business days after being sent by registered or certified mail, postage prepaid, return receipt requested, in each case, at the address designated by the Party to be notified.

E. The waiver of any term of this Agreement is not effective unless expressly set forth in writing and signed by the waiving Party. No failure to exercise, delay in exercising, or partial exercise of any right or remedy under this Agreement will serve to waive or preclude any other or further exercise thereof. No signed and written waiver will serve to waive any failure, breach, or default not expressly set forth therein.

F. In any adversarial proceeding by which a Party seeks to enforce its rights under this Agreement, the prevailing party will be entitled to all reasonable costs incurred in the investigation and prosecution of such proceeding, including reasonable attorneys' fees.

G. The laws of the state of Michigan, without giving effect to their resolution of conflicts of law, will govern any adversarial proceeding between the Parties arising out of this Agreement.

H. This Agreement may be executed in one or more counterparts, each of which will be deemed to be an original copy of this Agreement and all of which, when taken together, will be deemed to constitute one and the same agreement. Delivery of a copy of an executed counterpart of a signature page to this Agreement by fax, email or other transmission will be as effective as delivery of a manually executed signature page to this Agreement.

[Signatures on following page(s).]

WHEREOF, the undersigned have executed this Agreement as of the Effective Date.

INTRA MICHIGAN, INC.,
a Delaware corporation

By: Thomas E. Wagner
Name: Thomas E. Wagner
Its: Authorized Agent

STATE OF MICHIGAN)
) ss
COUNTY OF KENT)

The foregoing instrument was acknowledged before me on this 19th day of March, 2024 by Thomas Wagner as Authorized Agent of Intra Michigan, Inc., a Delaware corporation, on behalf of the corporation.



Gregory Hughes
Printed Name: Gregory Hughes
Notary Public, Kent County, MI
My Commission Expires: 10-11-2029
Acting in the County of Kent

[Signatures Continue on following page.]

EXHIBIT A

Legal Description of the Intra Property

That certain real estate situated in the Township of Cascade, Kent County, Michigan, more fully described as:

South 620.00 feet of the East 285.00 feet of the Southeast 1/4 of the Southwest 1/4 of Section 30, Town 6 North, Range 10 West, Cascade Township, Kent County, Michigan.



EXHIBIT B

Legal Description of Spees Property

That certain real estate situated in the Township of Cascade, Kent County, Michigan, more fully described as:

Parcel 1:

The South 620.0 feet of the West 765.0 feet of the East 1050.0 feet of the Southwest 1/4 of Section 30, Town 6 North, Range 10 West, Cascade Township, Kent County, Michigan.
Parcel 1 may also be described as: Part of the Southeast one-quarter of the Southwest one-quarter of Section 30, Town 6 North, Range 10 West, Cascade Township, Kent County, Michigan, described as: Beginning on the South Section line at a point being South 89°15'30" West 285.00 feet from the South one-quarter corner of said Section 30; thence South 89°15'30" West 765.00 feet along the South line of said Section; thence North 00°32'59" West 620.00 feet along the West line of the East 1050.00 feet of the Southwest one-quarter of said Section; thence North 89°15'30" East 765.00 feet along the North line of the South 620.00 feet of the Southwest one-quarter of said Section; thence South 00°32'59" East 620.00 feet to the place of beginning.



EXHIBIT C

Legal Description and Depiction of Easement

That certain real estate situated in the Township of Cascade, Kent County, Michigan, more fully described as:

The West 35.00 feet of the East 320.00 feet of the South 620.00 feet of the Southwest fractional one-quarter of Section 30, Town 6 North, Range 10 West, Cascade Township, Kent County, Michigan.



Handwritten signature or initials in the bottom right corner.

**CASCADE CHARTER TOWNSHIP
PLANNING COMMISSION**

**MONDAY, June 3, 2024
7:00 PM**

ARTICLE 9.

Case #24-3834

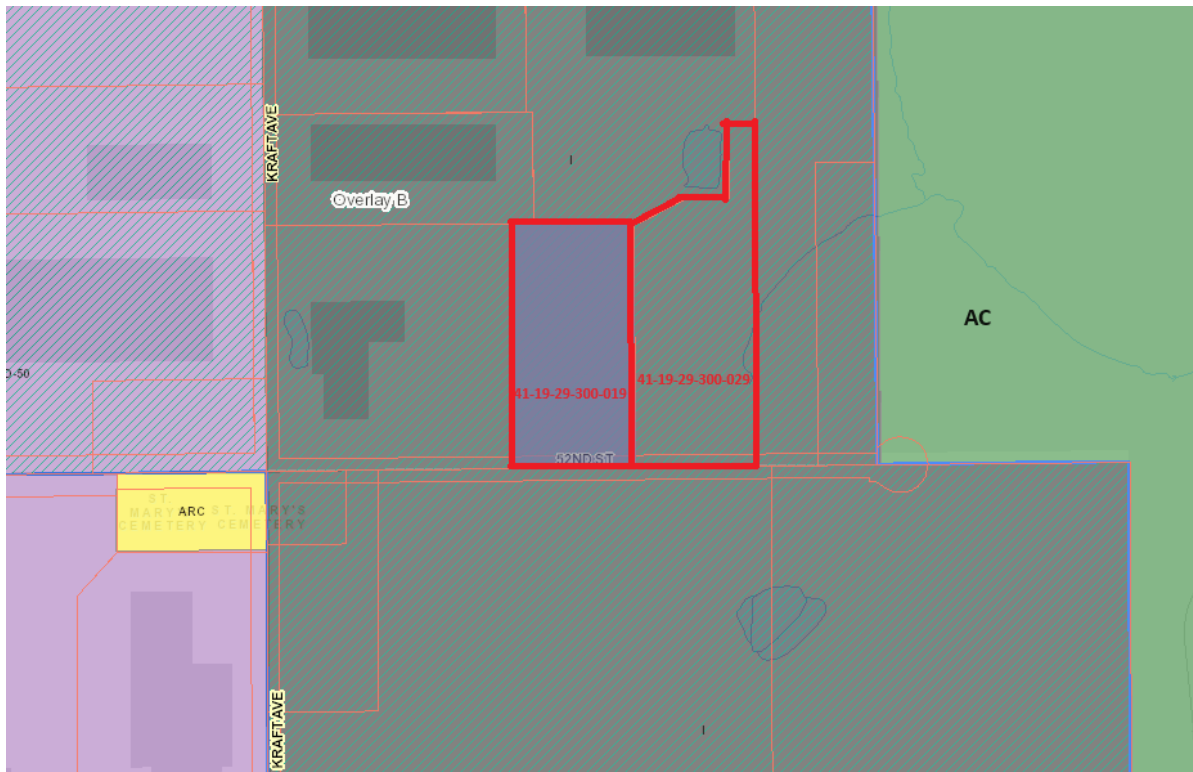
Applicant: FCC, Inc., Byrne Harmon

Property Address: 5725 & 5755 52nd St SE

Parcel Number: 41-19-29-300-019, 41-19-29-300-029

Requested Action: Site Plan Review for a new 110,000 sf
industrial building.

Map & Zoning





CASCADE CHARTER TOWNSHIP

5920 Tahoe Drive SE Grand Rapids, Michigan 49546-7140

PLANNING DEPARTMENT STAFF REPORT

STAFF REPORT: Case # 24-3834
REPORT DATE: May 30, 2024
PREPARED FOR: Cascade Charter Township Planning Commission
MEETING DATE: June 3, 2024
PREPARED BY: Andrea Hendrick, Planning Director

APPLICATION SUMMARY:

APPLICANT: Applicant: Byrne Harmon, FCC Inc.
Property Owner: DJ VanderSlik

ADDRESS: 5725 & 5755 52nd Street SE

PARCEL NUMBER: 41-19-29-300-029 & 41-19-29-300-019

REQUESTED ACTION: Site Plan Review for a new 110,000 sf industrial building.

REQUIREMENTS: Section 13 – Industrial Zone District
Section 14 – Overlay B
Section 18 – Zoning District Height, Area & Placement Standards
Section 19 – Access, Parking & Loading
Section 20 – Landscaping & Greenbelt Provisions

EXISTING ZONING OF SUBJECT PARCEL(S): I – Industrial District. Overlay B

GENERAL LOCATION: The subject property is a vacant lot located on the north side of 36th Street. Kraft is the nearest cross street to the west. The road dead ends 400 ft to the east, followed by the south runway of the GRR Airport.

PARCEL SIZE: 4.74 acres & 5.48 acres

EXISTING LAND USE: Vacant (Wetlands)

ADJACENT PROPERTIES: N: I – Industrial, Overlay B – Warehouse/Manufacturing
W: I – Industrial, Overlay B – Warehouse/Manufacturing
S: I – Industrial, Overlay B – Vacant Land
E: I – Industrial, Overlay B – Vacant Land

PROPERTY HISTORY

2018-2020 Creation of access road over wetlands

Source: Kent County Aerials

PROPOSED USE

The applicant is requesting to build a 110,000 sf Industrial building. The final interior layout is not provided, but it is approximated that 90% or 99,000 sf is allocated to warehouse, and 10% or 11,000 sf allocated to office space. The proposed building will be comprised of four (4) units.

The applicant acknowledges that additional land use approvals may be required in the future depending on the proposed use of each of the units.

SECTION 19

Section 19.03(5) Driveway Permits

The applicant is required to obtain permits by the Kent County Road Commission for the Driveway openings to public roads. Comments provided by EGLE demonstrate that previous permits were not obtained before the creation of the existing drive. Staff recommends conditioning that the applicant remedy any previous issues caused by work without a permit for the previous construction in advance of obtaining any building permits.

Section 19.04(4) Property Clearance

The minimum required distance between the driveway and the property line is 25 ft. The applicant has proposed five (5) feet. The applicant has argued that the drive cannot be moved because there is an existing access point on the site. However, as stated above, the applicant did not obtain permits in advance of the construction of the drive. Furthermore, the proposed drive is located further west than the current drive is located. Staff recommends that the access drive is placed as far east as possible pending the findings of the EGLE review.

Table 19-B: Minimum Parking Requirements

Use	Parking Requirement	Total Building Size	Spaces Required	Parking Provided
Warehouse	.67 spaces / 1,000 square feet	99,000 sf	67	44
Office	3 Spaces / 1000 square feet	11,000 sf	33	33
Deferred Parking				30
Entire PUD			100	107

Section 19.23 Deferred Parking

The applicant has requested that the construction of the parking spaces and associated pedestrian walkways on the north side of the building be deferred. The location and spacing of the parking spaces proposed for deferment are appropriately placed and meet the standards of the Zoning Ordinance. Staff finds deferment appropriate.

SECTION 20

Table 20-A: Adjacent Land Use Buffer Requirements

The proposed industrial is surrounded by industrial zoned properties on all sides. Therefore, the development would require the Type C Bufferyard standards. The applicant has indicated the location of the required buffer yard on the Site Layout Plan dated 5/29/2024 (Sheet 1 of 3), however the applicant has not provided any plant material.

The applicant has requested a reduction in the number of plantings for the following reasons:

1. *The review comments from Brian Hillbrands at the GFIAA suggested the landscape design take into account the proximity to the airport in regards to not attracting wildlife.*

Staff Response: Airport concerns are generally related to water, as it attracts birds. The Airport provide a list of plant species that are not preferred, and Township staff recommends adherence with this list. It should not deter planting trees. Trees slow down water runoff and pooling and allow water to percolate naturally into the water table without increasing stormwater runoff.

2. *South side – the access drive is at least 100 feet from 52 Street which is all regulated wetlands. 52nd Street is an unimproved road East of the proposed driveway with very limited traffic.*

Staff Response: The wetlands are a valid reason for a reduction in plant material in south bufferyard. Staff does not find the current condition of 52nd Street to be a valid reason for the reduction, however we would recommend allowing for this reduction.

3. *West side – There is a tree covered hillside on the neighboring property that will not be developed.*

Staff Response: This is not a valid reason for a reduction. While the wetlands on the south portion of this bufferyard, the existence of trees on an adjacent property does not exempt the applicant from requirements for the subject parcel.

4. *North side – There will be at least a 10 foot high slope on the Westerly limits and a regulated wetland and a 5 foot slope on the Easterly 300 feet.*

Staff Response: The 10-foot-high slope is part of the applicant's proposed development plan. Staff recommends that the amount of impervious surface in the north access drive be decreased to provide adequate space for the required buffer yard and a more gradual grade for the proposed north berm.

5. *East side – This area is a dense wood lot and wetlands.*

Staff Response: The wetlands are a valid reason for a reduction in plant material in east bufferyard.

EGLE WETLAND PERMIT

The applicant has applied to EGLE to fill the existing wetlands on the southwest portion of the site to provide parking areas, driveways, and the southwest portion of the proposed building. From previous Kent County aerials, we can determine that the existing driveway, located on the SW corner of the property, was built between 2018 & 2020. Cascade Chater Township has no record of an application for the creation of the driveway. EGLE has provided the applicant with a correction request for driveways that were installed on the southwest and northeast sides of the property over wetlands without permits. All information can be viewed on [EGLE's public portal](#). The permit is currently in review. Staff recommends conditioning that remedies for the driveway installation and all required permits occur before the issuance of a building permit.

AIRPORT REVIEW COMMENTS

After reviewing the Site Plan, the GFIAA Planning Staff has submitted comments requesting that the outlet for the proposed detention basin should be reviewed to ensure discharge of water onto the airport property does not damage airport property. The airport offered to assist with the review. To date, the applicant has not reached back out.

05-14-2024 Brian Hilbrands, GFIAA Planning Manager Comments:

- Use of cranes for development must be coordinated and approved with GFIAA Facilities and Operations staff and through the FAA airspace review as necessary. If cranes will be used at any time please complete the crane request form:

<https://www.grr.org/hubfs/PDFs/ZoningPermitApp.pdf?hsLang=en> and submit the completed form to the crane@grr.org email.

- Landscaping design should take into account the proximity to the airport and include trees and shrubs that do not attract wildlife or grow to heights that exceed limits of FAA FAR Part 77, Objects Affecting Navigable Airspace. For a list of recommended landscaping plants please visit: <https://www.grr.org/hubfs/Tenant%20Development%20Standards-May%202022.pdf?hsLang=en>

- The detention basin should remain dry as designed so as not to attract wildlife.

- The detention basin includes an outlet that appears to direct water towards airport property. It should be ensured that any water discharged through the outlet will not damage airport property.

- Lighting on the site must be fully shielded and/or downward directed so as to not interfere with safe operation of aircraft at night.

ENGINEERING DEPARTMENT REVIEW COMMENTS

The applicant submitted stormwater calculations to the Township on 5/30/2024. A full review has not been conducted, but the Township Engineer, Aric Thorne, had the following comments:

I am not able to complete a full storm water review today. I will provide you a proper summary next week. I was able to glance at the materials that Mr. Male submitted this morning and will provide the following insights in the meantime:

- 1. Flood control is proposed by an on-site detention basin. The applicant submitted calculations appropriately sizing the basin (min. 118,724-cft) for the 25-year storm event*

- and a maximum release rate of 0.13 cfs/ac. It is designed for the extended detention volume and release rate given poor draining soils on-site.*
- 2. Water quality (min. 33,189-cft) and channel protection (min. 29,707-cft) standards are met. The basin includes a sediment forebay for pretreatment that exceeds 15% of water quality volume (min. 4,978-cft).*
 - 3. The applicant must include section diagrams of the primary and secondary emergency spillways, and the location of these spillways on the plan. These should include top of berm and spillway (crest) elevations and indicate freeboard.*
 - 4. The applicant must indicate method for protection of spillways (e.g., concrete, riprap, permanent erosion control blanket).*
 - 5. The applicant must include drainage arrows on the plan.*
 - 6. The applicant must include section information for the basin outlet structure(s) on the plan.*
 - 7. I do not have a geotechnical report. The applicant must submit at a minimum, the required number and depth of soil borings for their corresponding sized detention basin.*

Feel free to forward these comments to the applicant if you feel appropriate. I will include these and possibly others in my summary once I have had sufficient time to complete my review. I do not recommend the site for approval at this time.

FIRE DEPARTMENT REVIEW COMMENTS

The Cascade Township Fire Department has found the submitted site plan meets all requirements.

NEIGHBORS COMMENTS

Outside of the airport comments above, no additional comments have been received in support or opposition.

CONSIDERATIONS

The applicant has submitted a full site plan and has been cooperative in working with staff to amend portions of the application that were not compliant. However, there are still modifications to the site that need to be revised.

Planning Commission Determinations

The CCT Zoning Ordinance gives the Planning Commission authority to deliberate and determine if the provided site elements are sufficient or if modifications are required:

- Is the location of the driveway appropriate, given the circumstances?
- Is the requested reduction in all or some of the Bufferyard C plant material appropriate for this site?
- Is all or some of the applicants request for deferred parking appropriate for the proposed building appropriate?

Administrative Approval

Based on comments from GFIAA, the Township Engineer, and the findings of Planning Staff, we recommend the specific conditions listed below to ensure that development of the site is consistent and harmonious with the surrounding land uses. If the Planning Commission find that the modifications can be administratively, Staff recommends approval with the conditions listed below.

RECOMMENDATION

Staff recommends that the site plan be APPROVED based on the findings above, with the following conditions:

1. The application and plans submitted by the applicant and signed, dated, and stamped by the Planning Director, shall constitute the approved plans, except if plan elements are amended in this resolution, or do not meet the requirements of the Zoning Ordinance.
2. That the use shall operate according to this application and per the testimony of the applicant.
3. Any proposed signage must be reviewed and approved in accordance with CCT Sign Ordinance Standards.
4. The two (2) parcels provided in this application are combined. The Lot combination application is submitted and approved by Cascade Charter Township and recorded with the Kent County Assessing Office.
5. The access drive meets the property clearance requirements of Section 19.04(4) of the Zoning Ordinance, or as close as possible, pending the findings of EGLE approval.
6. All permits are obtained by the Kent County Road Commission and EGLE for the Driveway openings to public roads & all remedies are sought for previous work done without permits.
7. The construction of the 30 parking spaces and associated pedestrian walkways on the north side of the building be deferred.
8. All Soil Erosion & Sediment Control plans are approved by Kent County Road Commission.
9. The required bufferyard plantings are added to the west and north bufferyards.
10. The amount of impervious surface on the north access drive is decreased to provide for the required bufferyard planting and more gradual slopes, consistent with the current grading, on the north property line.
11. All requirements of the Township Engineer are fulfilled. If the applicant is required to make changes to the site greater than the standards provided in Section 21.04 Administrative Site Plan Review, the applicant will submit an application for Site Plan Review to be reviewed and approved by the Planning Commission.

ATTACHMENTS

1. Application
2. Applicant proof of interest
3. Site Plans & Elevations



CASCADE CHARTER TOWNSHIP

5920 Tahoe Dr. SE, Grand Rapids,
Michigan 49546-7140

PLANNING & ZONING APPLICATION

APPLICANT: Name: FCC, Inc. Attn: Byrne Harmon
Address: 8182 Broadmoor Avenue SE
City & Zip Code Caledonia, MI 49316
Telephone: (616) 891-4000
Email Address: bharmon@teamfcc.com

OWNER: * (If different from Applicant)
Name: 5725 - 52nd Street LLC Attn: DJ Vander Slik
Address: 4720 - 52nd Street SE
City & Zip Code: Grand Rapids, MI 49512
Telephone: (616) 437-6219
Email Address: dj@djsslawnservice.com

NATURE OF THE REQUEST: (Please check the appropriate box or boxes)

- | | | | |
|-------------------------------------|------------------------------|--------------------------|---------------------------------|
| <input type="checkbox"/> | Administrative Appeal | <input type="checkbox"/> | Administrative Site Plan Review |
| <input type="checkbox"/> | Deferred Parking | <input type="checkbox"/> | P.U.D. -- Rezoning * |
| <input type="checkbox"/> | P.U.D. -- Site Condominium * | <input type="checkbox"/> | Rezoning |
| <input checked="" type="checkbox"/> | Site Plan Review * | <input type="checkbox"/> | Sign Variance Subdivision |
| <input type="checkbox"/> | Special Use Permit | <input type="checkbox"/> | Plat Review * |
| <input type="checkbox"/> | Zoning Variance | <input type="checkbox"/> | Other: _____ * |

** Requires an initial submission of 5 copies of the completed site plan*

BRIEFLY DESCRIBE YOUR REQUEST:**

Construct new 110,000 square foot industrial spec building

(**Use Attachments if Necessary)

-SEE OTHER SIDE-

LEGAL DESCRIPTION OF PROPERTY:**

See attached plan

(**Use Attachments if Necessary)

PERMANENT PARCEL (TAX) NUMBER: 41-19 - 29-300-019 and 029

ADDRESS OF PROPERTY: 5725 & 5755 - 52nd Street SE

PRESENT USE OF THE PROPERTY: Vacant

NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS HAVING A LEGAL OR EQUITABLE INTEREST IN THE PROPERTY:

Name(s)

Address(es)

<hr/>	<hr/>
<hr/>	<hr/>

SIGNATURES

I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) also agree to reimburse the Cascade Charter Township for all costs, including consultant costs, to review this request in a timely manner. I (we) understand that these costs may also include administrative reviews which may occur after the Township has taken action on my (our) request.

I (we) the undersigned also acknowledge that the proposed project does not violate any known property restrictions (i.e. plat restrictions, deed restrictions, covenants, etc.)

DJ VanderSlik

Owner – Print or Type Name
(*If different from Applicant)

* David J. VanderSlik Jr.

Owner's Signature & Date
(*If different from Applicant)

Byrne Harmon

Applicant – Print or Type Name



Applicant's Signature & Date

PLEASE ATTACH ALL REQUIRED DOCUMENTS NOTED IN THE PROCESS REVIEW SHEET – THANK YOU

April 19, 2023

Ms. Andrea Hendrick
Cascade Township
5920 Tahoe Drive SW
Grand Rapids, MI 49546-7123

Re: 5725 – 52nd Street

Dear Andrea,

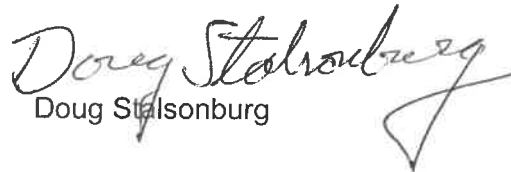
Please find enclosed the following items in application for site plan approval:

1. Application
2. \$500 check (escrow fee)
3. Site plan (5 copies)
4. Landscape plan (5 copies)
5. Lighting plan (5 copies)
6. Building elevation (5 copies)

Please place this request on the June 3, 2024 Planning Commission agenda.

If you have any questions, please let me know.

Sincerely,



Doug Stalsonburg

cc: Doug Stalsonburg
DJ VanderSlik

P:/Projects/2019/191068/Documents/Letters/L191068

<input checked="" type="checkbox"/> Scale not more than (1"=200')	<input checked="" type="checkbox"/> Location of existing wetlands
<input checked="" type="checkbox"/> A vicinity map	<input checked="" type="checkbox"/> Location & type of significant existing county drains and/or manmade surface drainage properties
<input checked="" type="checkbox"/> Date site plan was prepared	<input checked="" type="checkbox"/> Zoning on adjacent properties
<input checked="" type="checkbox"/> Name, address, & professional seal of preparer	<input checked="" type="checkbox"/> Address as assigned by Kent County Road Commission
<input checked="" type="checkbox"/> North Arrow	<input checked="" type="checkbox"/> Location of all storage sheds NIA
<input checked="" type="checkbox"/> Legend	<input checked="" type="checkbox"/> Location of all proposed accessory structures NIA
<input checked="" type="checkbox"/> Legal description based on most current survey	<input checked="" type="checkbox"/> Location of all dumpsters or trash removal areas or devices. Include provisions for screening.
<input checked="" type="checkbox"/> Property lines and dimensions	<input checked="" type="checkbox"/> Locations and type of all exterior lighting
<input checked="" type="checkbox"/> Building setback distances	<input checked="" type="checkbox"/> Location of all signs
<input checked="" type="checkbox"/> All structures and lot lines within 50 feet of site (including fire hydrants)	<input checked="" type="checkbox"/> Location and size of any walls, fences or other screening provision
<input checked="" type="checkbox"/> Existing and proposed topographic elevations at 2 ft. intervals on the site. (All data needs to be shown based on USGS datum).	<input checked="" type="checkbox"/> Fire Lanes
<input checked="" type="checkbox"/> Existing & proposed topographic elevations shown as dotted and solid lines respectively,	<input checked="" type="checkbox"/> Acceleration/Deceleration lanes
<input checked="" type="checkbox"/> Location of existing building	<input checked="" type="checkbox"/> Location of proposed parking areas & access drives
<input checked="" type="checkbox"/> Location of proposed building	<input checked="" type="checkbox"/> Number of parking spaces & aisles
<input checked="" type="checkbox"/> Intended use of proposed building.	<input checked="" type="checkbox"/> Dimensions of spaces & aisles
<input checked="" type="checkbox"/> Length, Width, & Height of proposed building.	<input checked="" type="checkbox"/> Location of parking blocks, landscape timbers, etc
<input checked="" type="checkbox"/> Building facade and elevations. Including window and wall signs.	<input checked="" type="checkbox"/> Location of loading areas
<input type="checkbox"/> Use group for all building(s)	<input checked="" type="checkbox"/> Location of handicapped spaces and access ramps
<input type="checkbox"/> Construction type for all building(s)	<input checked="" type="checkbox"/> Type of parking lot surface
<input type="checkbox"/> Bridges NIA	<input checked="" type="checkbox"/> First floor area of each building
<input checked="" type="checkbox"/> Location of abutting streets. (Label Public or Private)	<input checked="" type="checkbox"/> Square footage of proposed building(s)
<input checked="" type="checkbox"/> Location of curb cuts	<input checked="" type="checkbox"/> Floor plan of proposed building(s)
<input checked="" type="checkbox"/> Location of Rights-of-Way	<input checked="" type="checkbox"/> Location of all sidewalks
<input checked="" type="checkbox"/> Location of service drives	<input type="checkbox"/> Location of bike paths NIA
<input checked="" type="checkbox"/> Locations of curbs	<input checked="" type="checkbox"/> Location of other walkways
<input checked="" type="checkbox"/> Location of access easements serving the site	<input checked="" type="checkbox"/> Location of all existing & proposed utility poles
<input checked="" type="checkbox"/> Location of driveways opposite the site 100 feet	<input checked="" type="checkbox"/> Tree line of wooded area
<input checked="" type="checkbox"/> Location & size of all water lines*	<input type="checkbox"/> Individual trees larger than 18 inches in diameter
<input checked="" type="checkbox"/> Location & size of sanitary sewer line*	<input type="checkbox"/> Area left intended to be usable open space. Label Public or private
<input checked="" type="checkbox"/> Location & size of storm drainage lines* Include location of hook up to building if applicable	<input checked="" type="checkbox"/> Designated buffer yard areas
<input checked="" type="checkbox"/> Direction of storm water drainage & how storm water runoff will be handled	Location of all proposed landscape materials, including size and type of planting in accordance with the Cascade Township Zoning Ordinance Chapter XX
<input checked="" type="checkbox"/> Location of catch basins	<input type="checkbox"/> Location and specifications for any existing or proposed above or below ground storage facilities for any chemicals, salts, flammable material or hazardous material NIA

Location of utility easements

Location of septic tanks and drain fields *N/A*

Location and type of significant existing water courses or existing bodies of water

I hereby certify that I have submitted all the planning and zoning review items listed above or that any missing items have been specifically waived in writing by the Planning Department. Failure to submit a complete application will result in a delay of the review of my application.

PLANS WILL NOT BE ACCEPTED WITHOUT SEAL OF PREPARER

Signature of person who prepared site plan:

Doug Stalronberg

Date: *4/16/24*

3/6/18

RECORD-KENT COUNTY MICHIGAN

2018 DEC 13 AM 11:55

Gar

20181214-0097369
Lisa Posthumus Lyons P:1/3 11:20AM
Kent Cnty MI Restr 12/14/2018 SEAL

I HEREBY CERTIFY that there are No Tax Liens or Titles held by the State or any individual against the within description, and all Taxes on same are paid for five years previous to the date of this instrument, as appears by the records in my office. This certificate does not apply to current taxes. If any now in process of collection.

DATE 12-14-2018
Deputy, Kent County Treasurer, Grand Rapids, Michigan

WARRANTY DEED

Corporate
(Unplatted Land)

Drafted By:
Steven J. DeWitt, President
Tsunami Development Corp.
5080 Kraft Avenue SE
Grand Rapids, MI 49512

Return To:
5725 52nd Street, LLC
4720 52nd Street SE
Grand Rapids, MI 49512

Send Tax Bills To:
5725 52nd Street, LLC
4720 52nd Street SE
Grand Rapids, MI 49512

Recording Fee: \$30.00
File Number: 822582 *Kcm*

State Transfer Tax:
County Transfer Tax:

Tax Parcel No. 41-19-29-300-019, 41-19-29-300-020, 41-19-29-300-025
Covers More Land

aff

Know All Persons by These Presents: That **Tsunami Development Corp. AKA Tsunami Development Corporation, a Michigan Corporation** whose address is 5080 Kraft Avenue SE, Grand Rapids, MI 49512

Convey(s) and Warrant(s) to **5725 52nd Street, LLC, a Michigan limited liability company** whose address is 4720 52nd Street SE, Grand Rapids, MI 49512

the following described premises situated in the Township of **Cascade**, County of **Kent**, State of Michigan, to wit:

(SEE ATTACHED EXHIBIT A)

More commonly known as: **5725 and 5755, SE 52nd Street, Grand Rapids, MI 49512**
For the full consideration of: Real Estate Transfer Tax Valuation Affidavit filed herewith

Subject To:

Existing zoning ordinances and the following matters of record: building and use restrictions, easements, oil and gas leases and reservations, if any.

PPN #1 '80 #2 '80 #3 '95 *SPLIT*
VERIFIED BY PD&M 503



First American Title Insurance Company

First American Title

Fedex

Return to: First American Title
10291 E Grand River, Ste B
Brighton, MI 48116

*KCM-TM
822582*

(Attached to and becoming a part of Warranty Deed dated: November 30, 2018 between Tsunami Development Corp. AKA Tsunami Development Corporation, a Michigan Corporation, as Seller(s) and 5725 52nd Street, LLC, a Michigan limited liability company, as Purchaser(s).)


If the property conveyed is unplatted, the following applies:

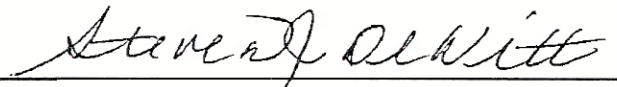
The Grantor is retaining one division right in relation to that parcel it is *retaining with a tax parcel number of 41-19-29-300-25 ("Retained Parcel") and all additional divisions, if any, are being conveyed to the Grantee. *That property identified as Parcel 4 Paragraph 2 on Exhibit A of this deed was split off from the Retained Parcel and is being conveyed herein. Therefore, Grantor grants to the Grantee the right to all remaining divisions under Section 108 of the land division act, Act No. 288 of the Public Acts of 1967 applicable to the property legally described on Exhibit A. The Grantor makes no representation or warranty as to the accuracy of the number of divisions and bonus divisions that are owned by and available to be transferred by the Grantor to the Grantee.

This property may be located within the vicinity of farmland or a farm operation. Generally accepted agricultural and management practices which may generate noise, dust, odors, and other associated conditions may be used and are protected by the Michigan Right to Farm Act.

Dated this November 30, 2018.

Seller(s): Tsunami Development Corp. AKA Tsunami Development Corporation, a Michigan Corporation


20181214-0097369
Lisa Posthumus Lyons P:2/3 11:20AM
ent Cnty MI Rgstr 12/14/2018 SEAL

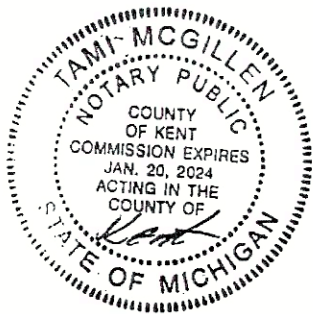


Steven J. DeWitt, President

State of Michigan
County of Kent

The foregoing instrument was acknowledged before me this November 30, 2018 by Steven J. DeWitt, President of Tsunami Development Corp. AKA Tsunami Development Corporation, a Michigan Corporation.





Notary Public:
Notary County/State: /
County Acting In:
Commission Expires:

(Attached to and becoming a part of Warranty Deed dated: November 30, 2018 between Tsunami Development Corp. AKA Tsunami Development Corporation, a Michigan Corporation, as Seller(s) and 5725 52nd Street, LLC, a Michigan limited liability company, as Purchaser(s).)

EXHIBIT A

Land situated in the Township of Cascade, County of Kent, State of Michigan, described as follows:

PARCEL 3:

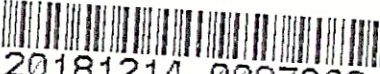
The West 1/2 of the Southeast 1/4 of the Southwest 1/4 of the Southwest 1/4, Section 29, Town 6 North, Range 10 West, Cascade Township, Kent County, Michigan.

PARCEL 4:

The East one-half of the Southeast one-quarter of the Southwest one-quarter of the Southwest one-quarter, Section 29, Town 6 North, Range 10 West, Cascade Township, Kent County, Michigan.

ALSO that part of the Southwest one-quarter of Section 29, Town 6 North, Range 10 West, Cascade Township, Kent County, Michigan, described as: Commencing at the Southwest corner of said Section 29; thence North 89 degrees 23 minutes 52 seconds East 1329.40 feet along the South line of said Section; thence North 00 degrees 36 minutes 13 seconds West 659.07 feet along the East line of the West one-half of the Southwest one-quarter of said Section to the Place of Beginning; thence South 89 degrees 33 minutes 34 seconds West 314.40 feet along the South line of the North one-half of the Southwest one-quarter of the Southwest one-quarter of said Section; thence North 62 degrees 27 minutes 47 seconds East 144.02 feet; thence North 89 degrees 33 minutes 34 seconds East 114.30 feet parallel with the South line of the North one-half of the Southwest one-quarter of the Southwest one-quarter of said Section; thence North 00 degrees 36 minutes 13 seconds West 200.90 feet parallel with the East line of the West one-half of the Southwest one-quarter of said Section; thence North 89 degrees 33 minutes 34 seconds East 71.70 feet parallel with the South line of the North one-half of the Southwest one-quarter of the Southwest one-quarter of said Section; thence South 00 degrees 36 minutes 13 seconds East 266.50 feet along said East line to the place of beginning.

Tax Parcel Number: 41-19-29-300-019,41-19-29-300-020,41-19-29-300-025 Covers More Land


20181214-0097369
Lisa Posthumus Lyons P:3/3 11:20AM
Kent Cnty MI Rstr 12/14/2018 SEAL

LARA Corporations
Online Filing System
Department of Licensing and Regulatory Affairs

Form Revision Date 07/2016

ANNUAL STATEMENT
For use by **DOMESTIC LIMITED LIABILITY COMPANY**
(Required by Section 207, Act 23, Public Act of 1993)

Identification Number: 802219317

Annual Statement Filing Year: 2024

1. Limited Liability Company Name:

5725 52ND STREET, LLC



2. The street address of the limited liability company's registered office and name of the resident agent at that office:

1. Resident Agent Name: DAVID J. VANDER SLIK, JR.



2. Street Address: 4720 52ND ST SE

Apt/Suite/Other:

City: GRAND RAPIDS

State: MI

Zip Code: 49512

3. Mailing address of the registered office:

P.O. Box or Street Address: 4720 52ND STREET SE

Apt/Suite/Other:

City: GRAND RAPIDS

State: MI

Zip Code: 49512

This annual statement must be signed by a member, manager, or an authorized agent.

Signed this 13th Day of February, 2024 by:

Signature	Title	Title if "Other" was selected
Matthew Scholten	Manager	

By selecting ACCEPT, I hereby acknowledge that this electronic document is being signed in accordance with the Act. I further certify that to the best of my knowledge the information provided is true, accurate, and in compliance with the Act.

Decline Accept

MICHIGAN DEPARTMENT OF LICENSING AND REGULATORY AFFAIRS
FILING ENDORSEMENT

This is to Certify that the 2024 ANNUAL STATEMENT

for

5725 52ND STREET, LLC

ID Number: 802219317

received by electronic transmission on February 13, 2024 , is hereby endorsed.

Filed on February 13, 2024 , by the Administrator.

The document is effective on the date filed, unless a subsequent effective date within 90 days after received date is stated in the document.



In testimony whereof, I have hereunto set my hand and affixed the Seal of the Department, in the City of Lansing, this 13th day of February, 2024.

Linda Clegg

Linda Clegg, Director

Corporations, Securities & Commercial Licensing Bureau

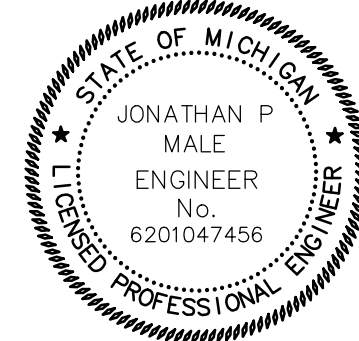
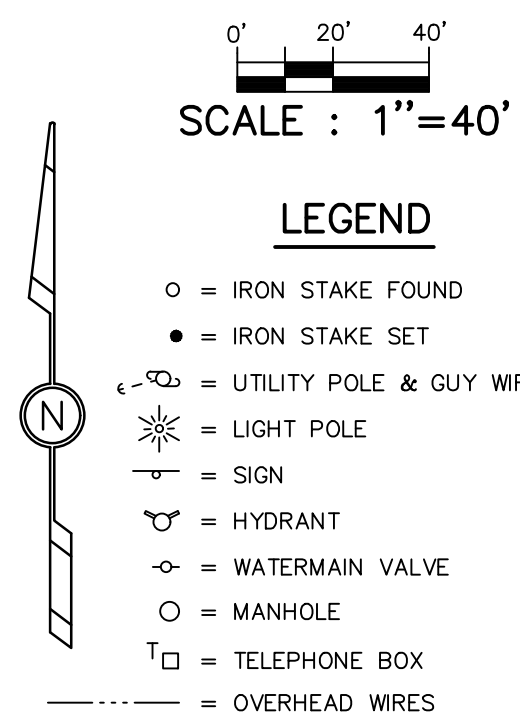
SITE LAYOUT PLAN

FOR: 5725 - 52ND LLC
 ATTN: D.J. VANDERSLIK
 4720 52ND STREET
 GRAND RAPIDS, MI 49512

IN: PART OF THE SW 1/4, SECTION 29, T6N, R10W,
 CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN



05/29/24	REV PER PLANNING DEPARTMENT	MK	DRAWN BY: MK	APPROVED BY: JPM	PROJ. ENG.: DJS	SHEET
	REVISION	BY	FILE NO.: 191068E	DATE: 04/18/24		1 of 3



GENERAL NOTES :

- PARCEL INFORMATION :**
 PARCEL NUMBER: 41-19-29-300-019
 PROPERTY ADDRESS: 5725 52ND ST SE
 LEGAL DESCRIPTION: W 1/2 SE 1/4 SW 1/4 SW 1/4 * SEC 29 T6N R10W 5.00 A.
 PARCEL NUMBER: 41-19-29-300-029
 PROPERTY ADDRESS: 5755 52ND ST SE
 LEGAL DESCRIPTION: 411929300029 E 1/2 SE 1/4 SW 1/4 SW 1/4 ALSO COM 1329.40 FT N 89D 23M 52S E ALONG S SEC LINE & 659.07 FT N 0D 36M 13S W ALONG E LINE OF W 1/2 SW 1/4 FROM SW COR OF SEC TH N 0D 36M 13S W ALONG E LINE 266.50 FT TH S 89D 33M 34S W 71.70 FT TH S 0D 36M 13S E 200.90 FT TH S 89D 33M 34S W 114.30 FT TH S 62D 27M 47S W 144.02 FT TO S LINE OF N 1/2 SW 1/4 SW 1/4 TH N 89D 33M 34S E ALONG SD S LINE 314.40 FT TO BEG * SEC 29 T6N R10W 5.74 A. SPLIT/COMBINED ON 02/11/2019 FROM 41-19-29-300-020, 41-19-29-300-025;

PARCELS 41-19-29-300-019 & 41-19-29-300-029 ARE TO BE COMBINED
 PARCELS 41-19-29-300-014 & 41-19-29-300-015 ARE TO BE COMBINED

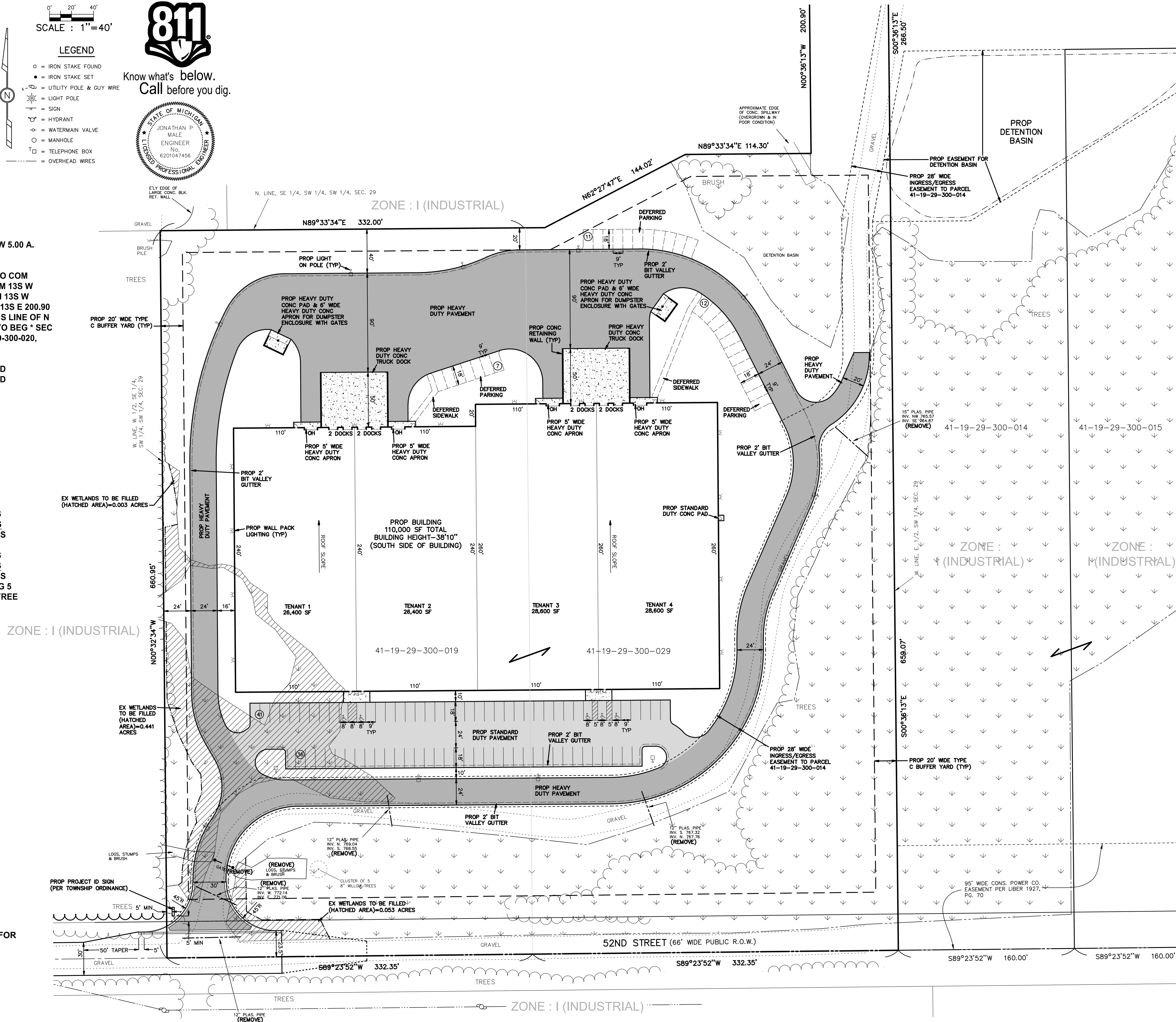
- EXISTING ZONING** = I (INDUSTRIAL)

- LOT INFORMATION**
 MINIMUM LOT SIZE = 200 x 2 ACRES
 MINIMUM FRONT YARD SETBACK = 100'
 MINIMUM SIDE YARD SETBACK = 25'
 MINIMUM REAR YARD SETBACK = 50'

- PARKING CALCULATION :**
 OFFICE = 3/1000
 WAREHOUSE = 0.67 / 1000
 ASSUME 10% OFFICE = 11,000 / 1000 = 11 X 3 = 33 SPACES
 ASSUME 90% WAREHOUSE = 99,000 / 1000 = 99 X 0.67 = 67 SPACES
 REQUIRED PARKING = 100 SPACES

PROPOSED PARKING = 77 SPACES
DEFERRED PARKING = 30 SPACES
TOTAL = 107 SPACES
 (INCLUDING 5 BARRIER FREE SPACES)

NOTE :
 SEE SEPARATE KCRC PLANS FOR 52nd STREET IMPROVEMENTS



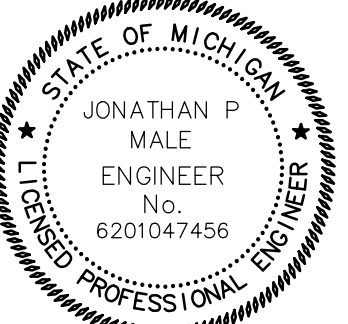
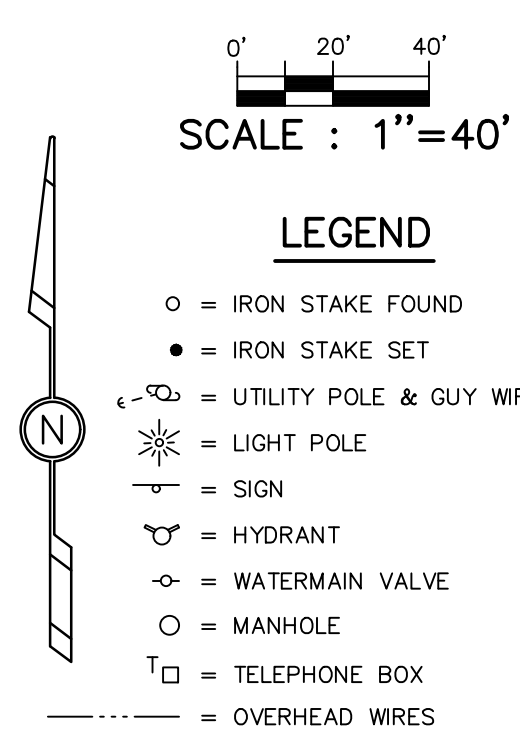
UTILITY PLAN

FOR: 5725 - 52ND LLC
 ATTN: D.J. VANDERSLIK
 4720 52ND STREET
 GRAND RAPIDS, MI 49512

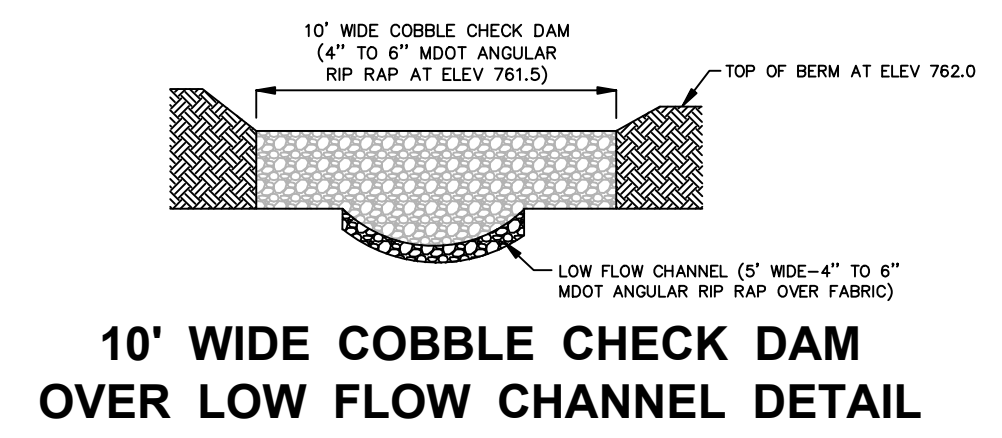
IN: PART OF THE SW 1/4, SECTION 29, T6N, R10W,
 CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN



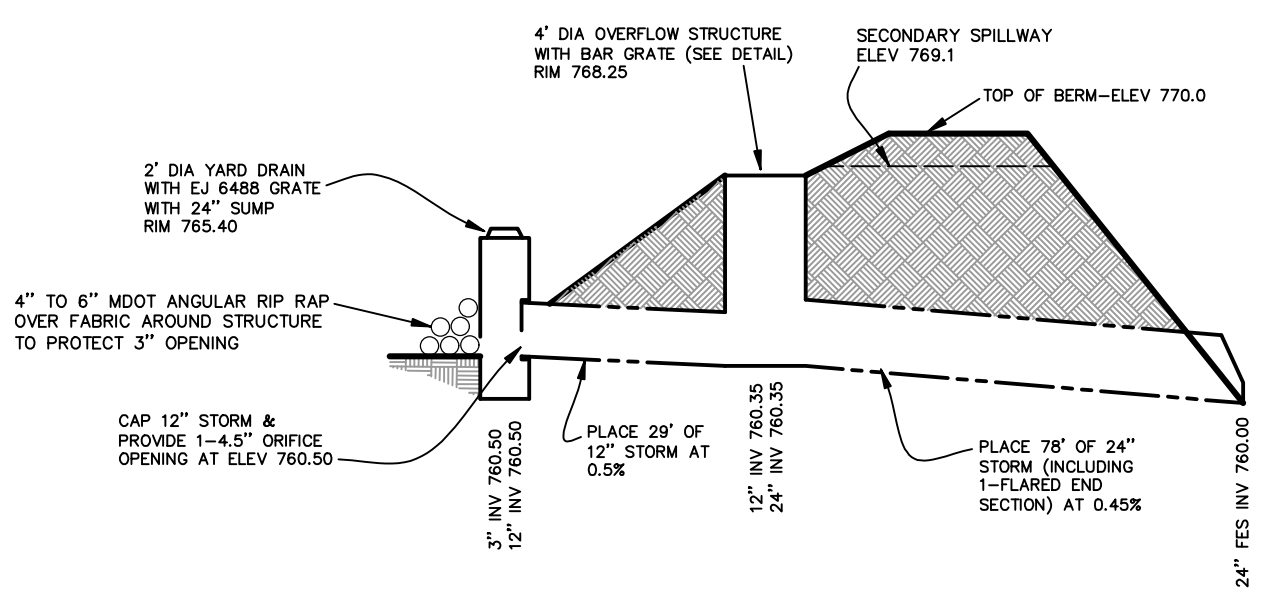
05/29/24	REV PER PLANNING DEPARTMENT	MK	DRAWN BY: MK	PROJ. SURV.: DJS	SHEET
	REVISION	BY	APPROVED BY: JPM	DATE: 04/18/24	2 of 3
			FILE NO.: 191068E		



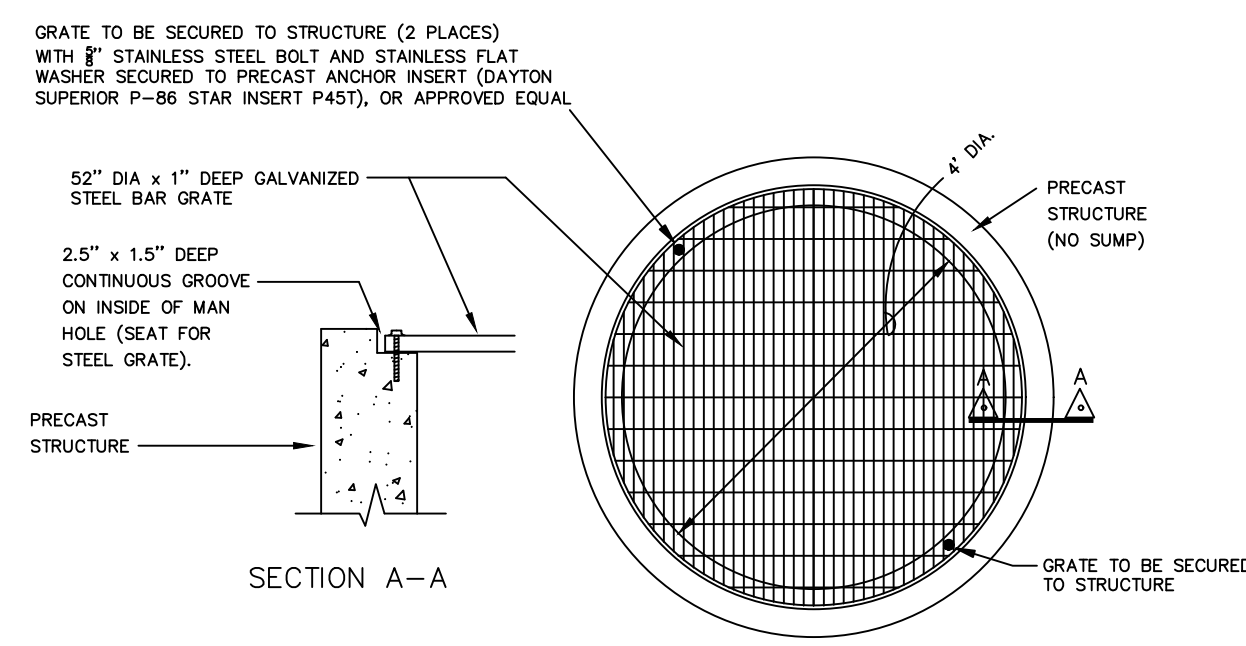
NOTE :
 SEE SEPARATE CITY OF GRAND RAPIDS PLANS FOR CONTINUATION OF WATERMAIN (APPROX 80' NORTH)



10' WIDE COBBLE CHECK DAM OVER LOW FLOW CHANNEL DETAIL

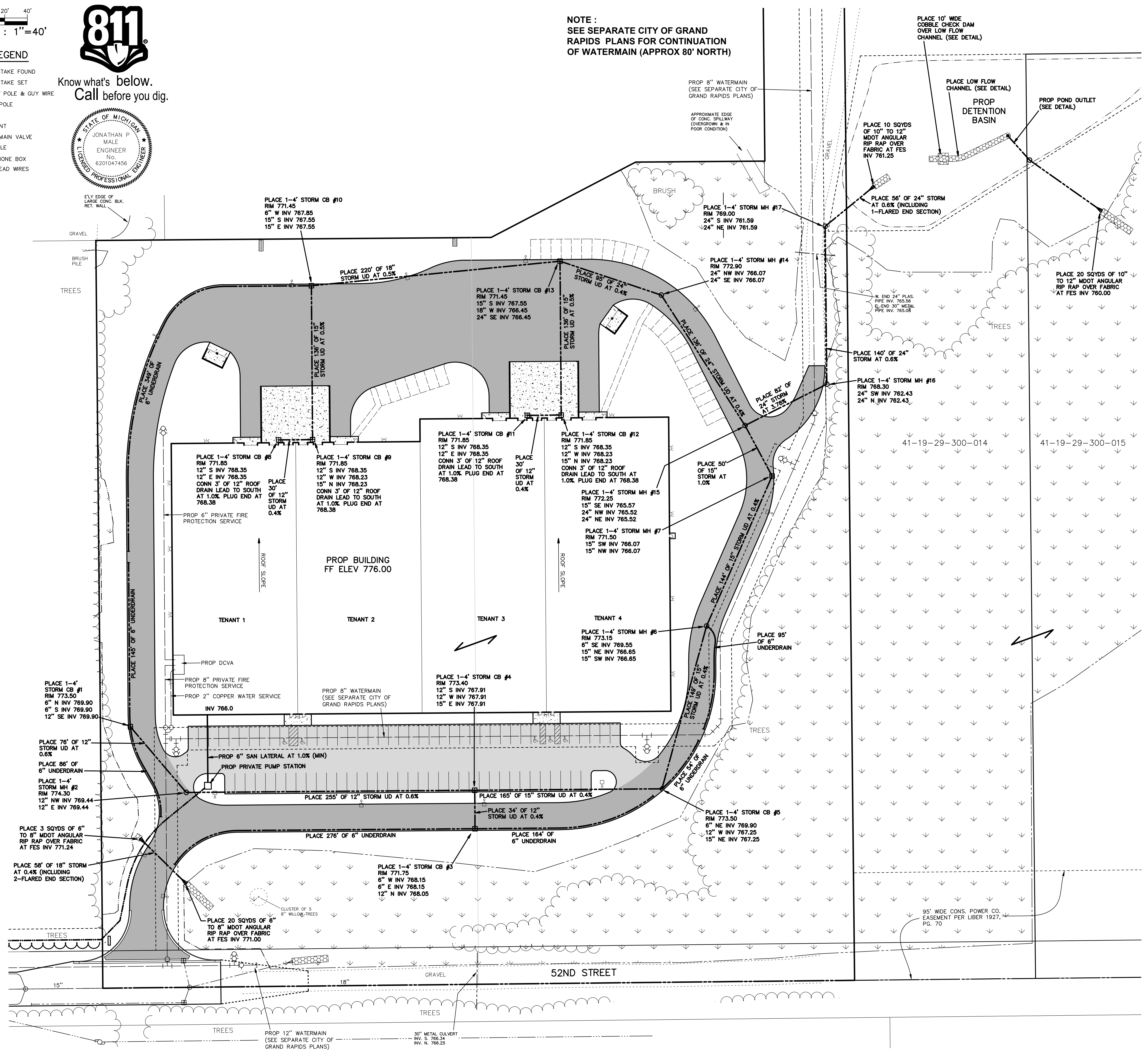


POND OUTLET DETAIL



BAR GRATE DETAIL

NOTE :
 SEE SEPARATE CITY OF GRAND RAPIDS PLANS FOR CONTINUATION OF WATERMAIN & SANITARY FORCEMAIN (APPROX 600' WEST) & KCRC PLANS FOR 52ND STREET IMPROVEMENTS



95' WIDE CONS. POWER CO. EASEMENT PER LIBER 1927, PG. 70

52ND STREET

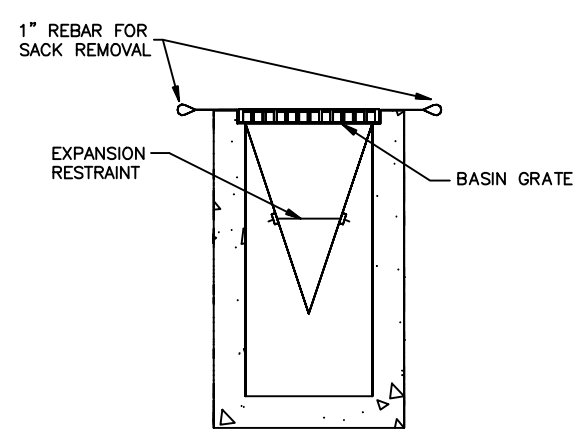
GRADING & SOIL EROSION CONTROL PLAN

FOR: 5725 - 52ND LLC
 ATTN: D.J. VANDERSLIK
 4720 52ND STREET
 GRAND RAPIDS, MI 49512

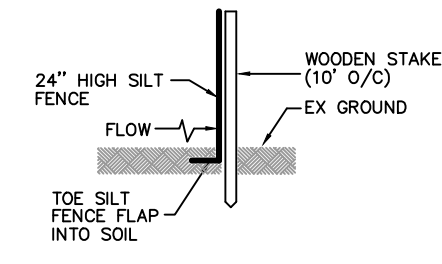
IN: PART OF THE SW 1/4, SECTION 29, T6N, R10W,
 CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN



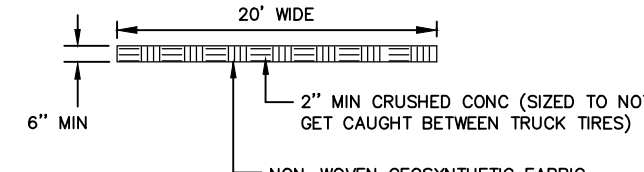
05/29/24	REV PER PLANNING DEPARTMENT	MK	DRAWN BY: MK	PROJ. ENG.: DJS	SHEET
DATE	REVISION	BY	APPROVED BY: JPM	DATE: 04/18/24	3 of 3
			FILE NO.: 191068E		



SILT SACK DETAIL

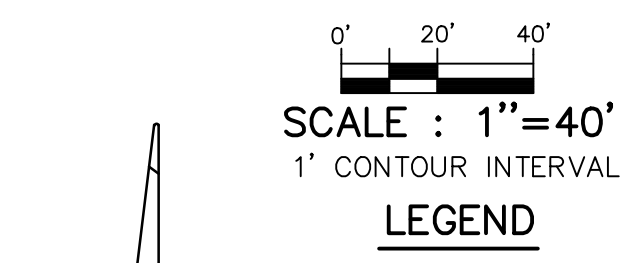


SILT FENCE DETAIL

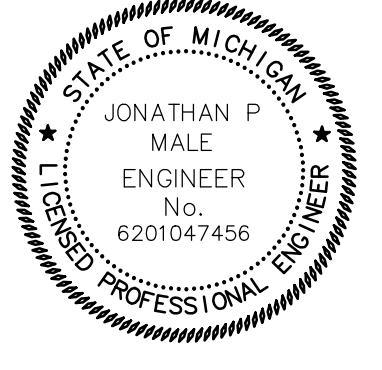


CONSTRUCTION ACCESS ROAD DETAIL

POND DATA :
 25 YEAR REQUIRED VOLUME = 118,724 CF
 25 YEAR HWL = 768.25
 SECONDARY SPILLWAY = 769.1
 TOP OF BERM = 770.0

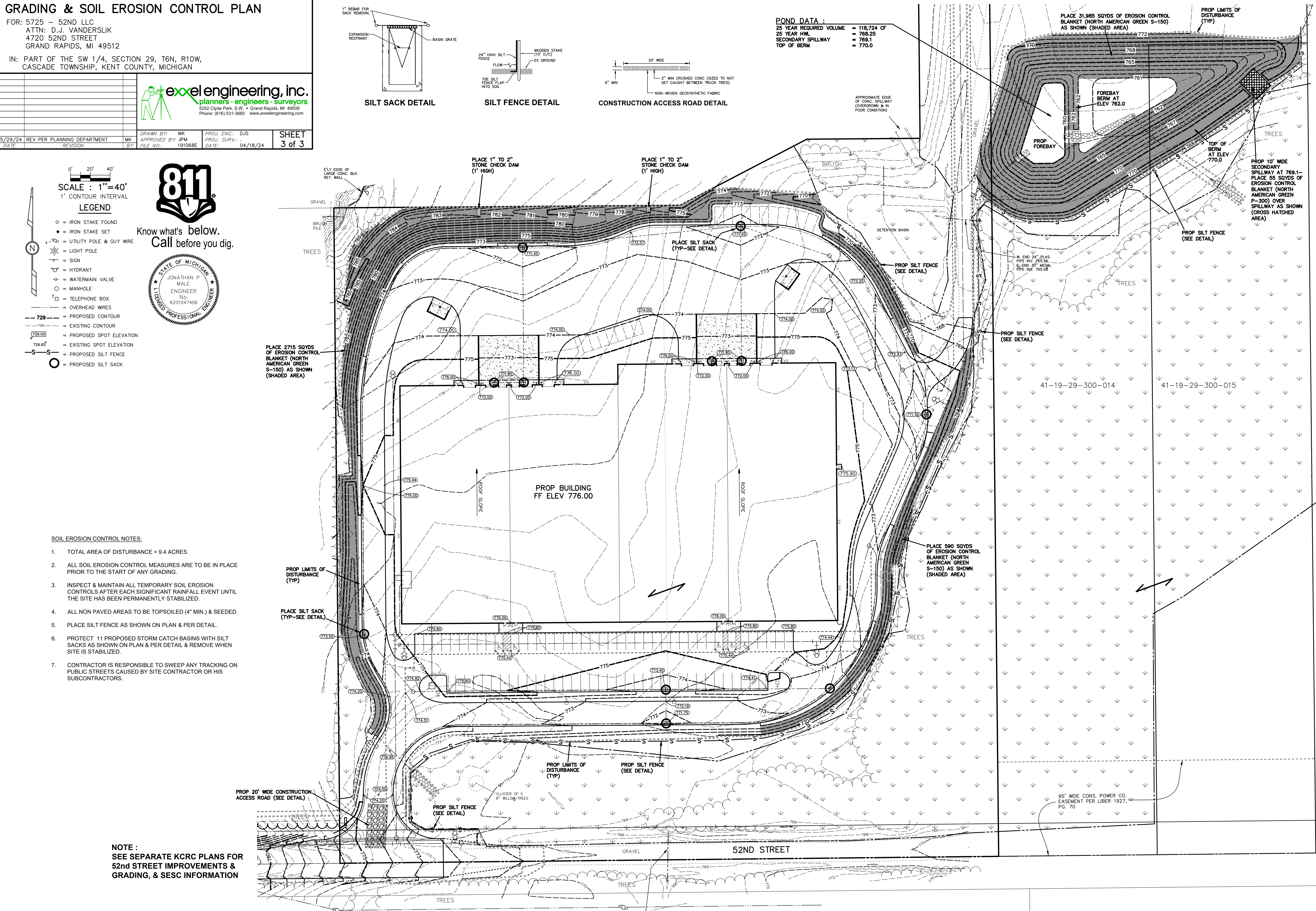


Know what's below.
 Call before you dig.

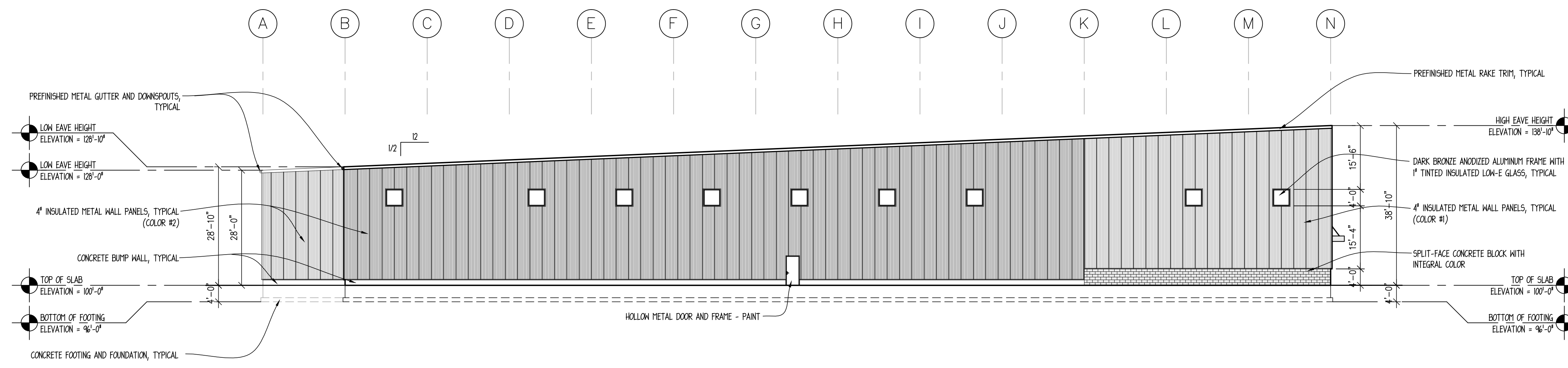


- LEGEND**
- = IRON STAKE FOUND
 - = IRON STAKE SET
 - ⊕ = UTILITY POLE & GUY WIRE
 - ⊙ = LIGHT POLE
 - ⊙ = SIGN
 - ⊙ = HYDRANT
 - ⊙ = WATERMAIN VALVE
 - = MANHOLE
 - = TELEPHONE BOX
 - = OVERHEAD WIRES
 - - - 729 - - - = PROPOSED CONTOUR
 - - - 729 - - - = EXISTING CONTOUR
 - 729.00 = PROPOSED SPOT ELEVATION
 - 729.65 = EXISTING SPOT ELEVATION
 - S - S - = PROPOSED SILT FENCE
 - = PROPOSED SILT SACK

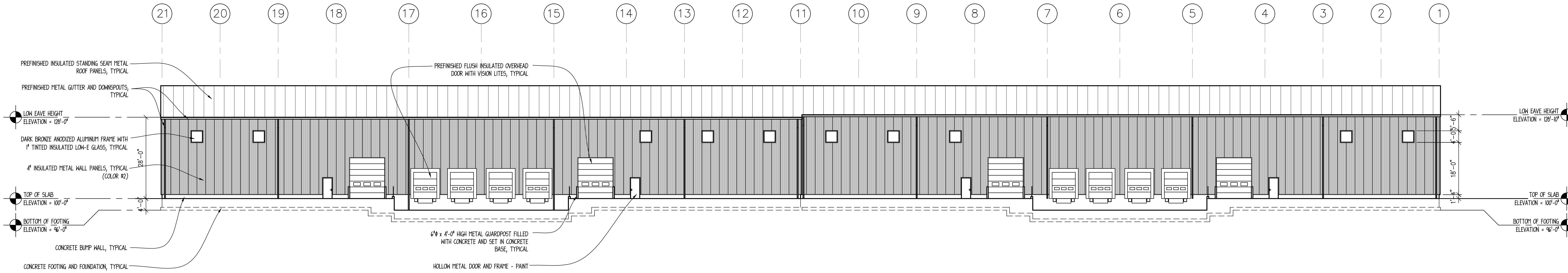
- SOIL EROSION CONTROL NOTES:**
- TOTAL AREA OF DISTURBANCE = 9.4 ACRES.
 - ALL SOIL EROSION CONTROL MEASURES ARE TO BE IN PLACE PRIOR TO THE START OF ANY GRADING.
 - INSPECT & MAINTAIN ALL TEMPORARY SOIL EROSION CONTROLS AFTER EACH SIGNIFICANT RAINFALL EVENT UNTIL THE SITE HAS BEEN PERMANENTLY STABILIZED.
 - ALL NON PAVED AREAS TO BE TOPSOILED (4" MIN.) & SEEDED.
 - PLACE SILT FENCE AS SHOWN ON PLAN & PER DETAIL.
 - PROTECT 11 PROPOSED STORM CATCH BASINS WITH SILT SACKS AS SHOWN ON PLAN & PER DETAIL & REMOVE WHEN SITE IS STABILIZED.
 - CONTRACTOR IS RESPONSIBLE TO SWEEP ANY TRACKING ON PUBLIC STREETS CAUSED BY SITE CONTRACTOR OR HIS SUBCONTRACTORS.



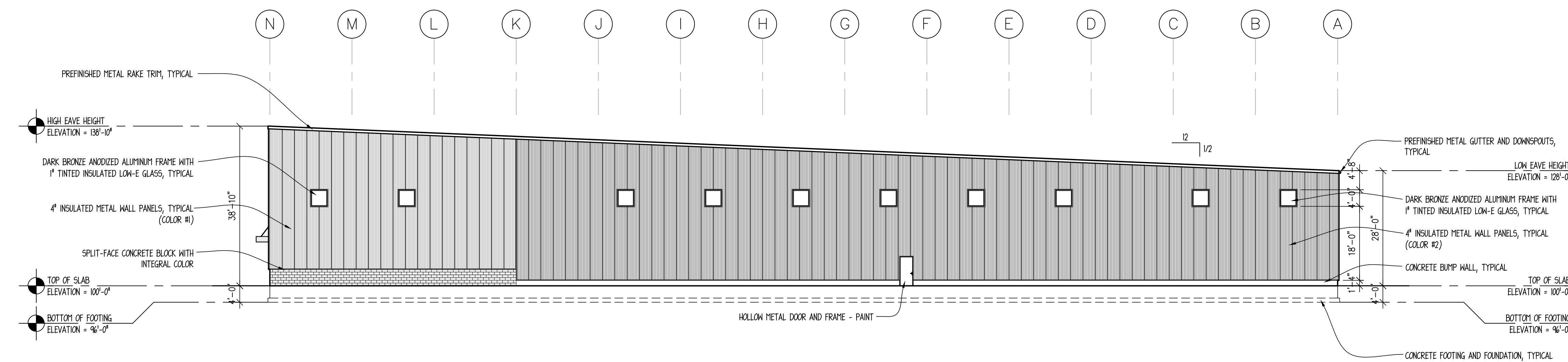
NOTE :
 SEE SEPARATE KCRC PLANS FOR
 52ND STREET IMPROVEMENTS &
 GRADING, & SESC INFORMATION



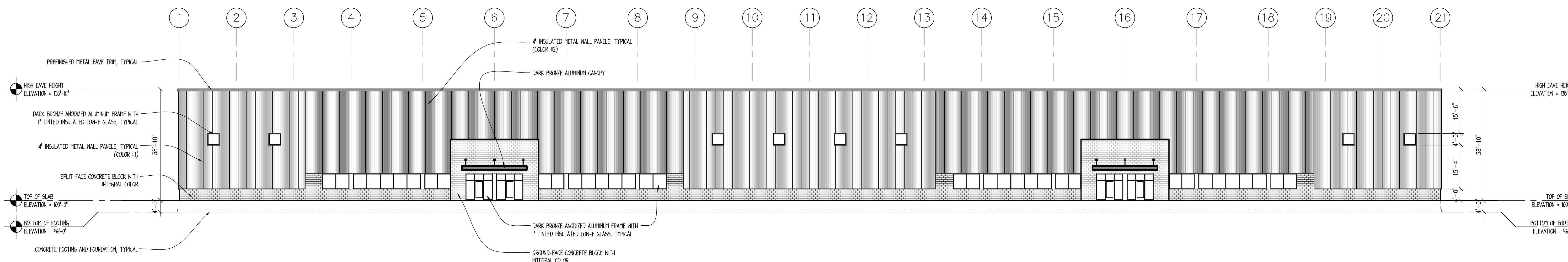
4 WEST ELEVATION
SCALE: 1/16" = 1'-0"



3 NORTH ELEVATION
SCALE: 1/16" = 1'-0"



2 EAST ELEVATION
SCALE: 1/16" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



PRELIMINARY
NOT FOR CONSTRUCTION

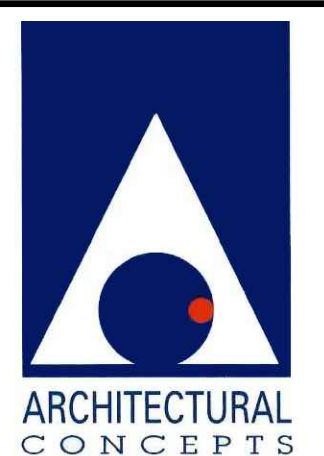
THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN ARE THE SOLE CONFIDENTIAL AND EXCLUSIVE PROPERTY OF ARCHITECTURAL CONCEPTS. PUBLICATION OF THIS DRAWING IS LIMITED SOLELY TO THE SPECIFIC PROJECT AND/OR SITE NOTED HEREIN. REPRODUCTION, PUBLICATION, REUSE OR MODIFICATION OF THIS DOCUMENT IN WHOLE OR IN PART IS EXPRESSLY PROHIBITED WITHOUT PRIOR WRITTEN CONSENT OF ARCHITECTURAL CONCEPTS.

DATE	REVISION
08-30-2023	FOR SITE PLAN APPROVAL

PROPOSED BUILDING FOR:

5725 52ND LLC

5725 52ND STREET, S.E.
GRAND RAPIDS, MI 49512

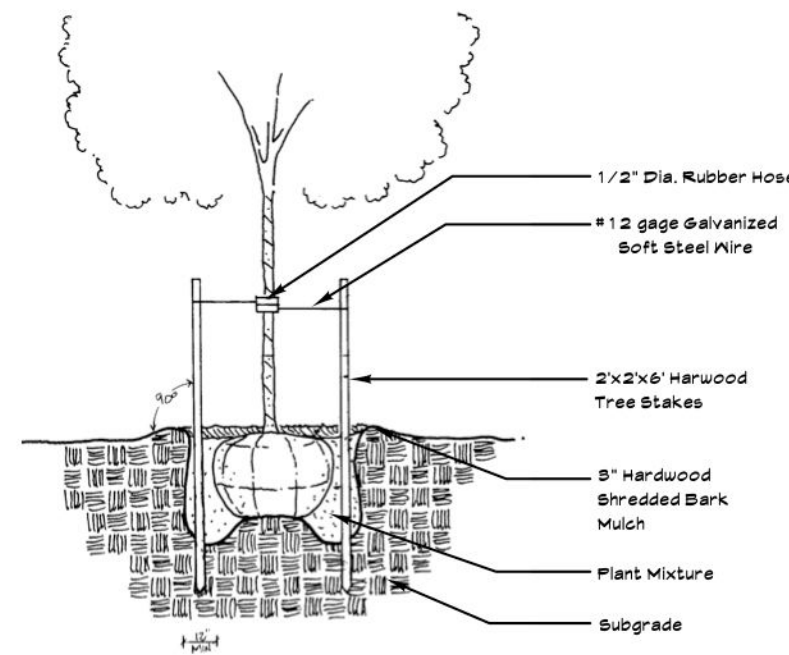


ARCHITECTURE
PLANNING
ENGINEERING
6650 CROSSING DRIVE, S.E.
GRAND RAPIDS, MI 49508
(616) 504-1222
FAX (616) 504-1225

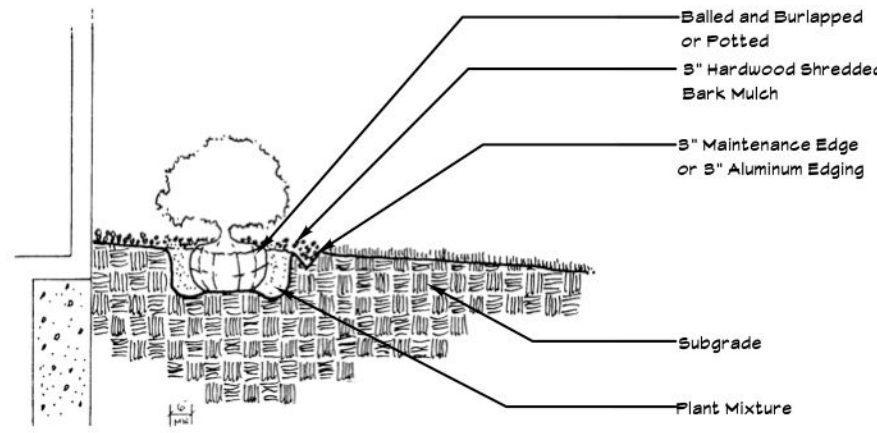
DATE: AUGUST 30, 2023 PROJECT No. 23-56

SHEET No.

A-2

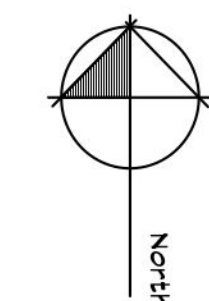


Deciduous Trees 5" Caliper and Smaller (as needed or required)



Shrub Planting Detail

ELV. EDGE OF LAWN CONC. SLAB, RET. WALL
 BRUSH PILE
 TREES
 W. LINE W. 1/2, SE. 1/4, SW. 1/4, SW. 1/4, SEC. 29



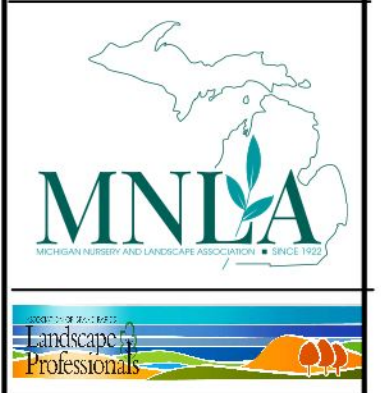
Notes:

- All landscaping shall be installed by a qualified Landscape Contractor. Plant sizes specified on the landscape plan shall be the size planted. Plants smaller than specified will be rejected. Substitutions of any kind must be approved by the Landscape Architect.
- All plantings shall be mulched with 3" shredded premium hardwood bark mulch. Trees in lawn areas shall receive a 3" diameter bark ring 3' deep.
- The landscape contractor shall remove any twine that is wrapped around the trunk of a tree or shrub as well as the top third of any burlap. Remove excess soil on the top of the root ball to expose the root flare or first layer of roots prior to planting. Use a wire cutter to make 3-5 cuts in the wire basket to allow roots to grow through.
- When planting trees in the lawn area or on the berm the existing soil within a 10 foot diameter shall be loosened by tilling or similar and amended with composted manure or peat at a depth of 6-12".
- Planting areas shall be edged with a mechanical bed edger to define a border for the shredded bark mulch.
- Parking Islands shall be back filled with at least 24" of topsoil. Amend the topsoil with composted manure and mix into the topsoil at a depth of 6-12". Any aggregate or stone from the construction of the parking lot shall be removed prior to backfill.
- Lawn areas shall receive at least 4" of topsoil and hydroseeded. Check with specifications for topsoil availability or contact project manager. Topsoil for lawns shall be appropriate for growing and sustaining a healthy lawn. All lawns shall be hydroseeded with a seed blend consisting of 30% Kentucky Bluegrass, 20% Perennial Ryegrass, 10% Hard Fescue, 20% Creeping Red Fescue and 20% Chewings Fescue.
- Maintenance of the landscape shall be provided for by the owner and include fertilizing of lawn and plant material, yearly pruning, top dressing of mulch areas every other year and provide 1" of water per week during the growing season.
- Plant materials shall be chosen and installed in accordance with standards recommended by the County Cooperative Extension Service or American Nursery Association.



THIS DRAWING AND ALL INFORMATION CONTAINED ON IT ARE THE SOLE CONFIDENTIAL AND EXCLUSIVE PROPERTY OF DJS LANDSCAPE MANAGEMENT, INC. PUBLICATION OF THIS DRAWING IS LIMITED ONLY TO THE SPECIFIC PROJECT AND ORSITS. REPRODUCTION, PUBLICATION, REUSE OR MODIFICATION OF THIS DOCUMENT IN WHOLE OR IN PART IS EXPRESSLY PROHIBITED WITHOUT WRITTEN CONSENT OF DJS LANDSCAPE MANAGEMENT, INC.

DJS LANDSCAPE MANAGEMENT
 Four seasons. One team.
 Holland Grand Rapids Kalamazoo
 St. Joseph Muskegon Ann Arbor Romulus
 Phone (616) 696-2700 Fax (616) 696-2900
 djslandscape.com



STATE OF MICHIGAN
 JOYCE E. WEISE
 LANDSCAPE ARCHITECT
 No. 1202
 LICENSED LANDSCAPE ARCHITECT
Joyce E. Weise
 Landscape Plan Drawn By:
 Joyce E. Weise P.L.A., A.S.L.A.

PROPOSED LANDSCAPE PLAN FOR:
5725 52nd LLC
 5725 52nd Street Cascade Twp., Michigan

PROJECT NUMBER:
040524

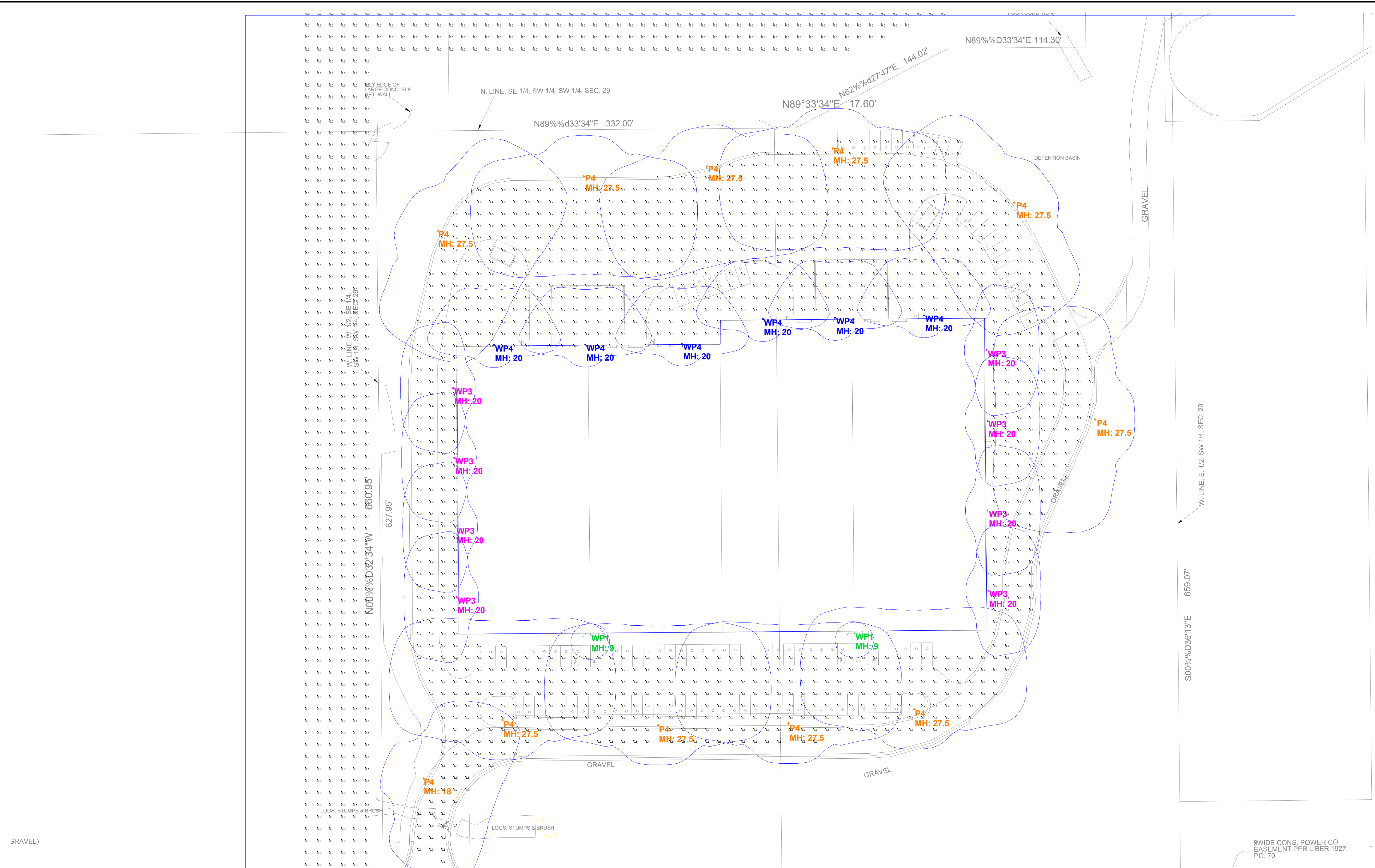
DRAWN BY:
 Joyce E. Weise P.L.A., A.S.L.A.

DRAWING DATE:
041624

ISSUED FOR:
 04/18/24 Site Plan Approval

SCALE
1"=40'

SHEET NUMBER
L-1



Crites, Tidey, & Assoc., Inc.
 908C West River Center Dr
 Comstock Park MI 49321
 PH: 616-647-2400
 www.critestidey.com

PHOTOMETRIC EVALUATION
 NOT FOR CONSTRUCTION
 Based on the information provided, all dimensions and luminaire locations represent a recommended application. The engineer and/or architect must determine the applicability of the layout regarding existing or future field conditions.
 This lighting layout represents illumination levels calculated using laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved method. Actual performance of a manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in LEDs, and other field conditions. Calculations may not include obstructions such as buildings, curbs, landscaping, or other architectural elements. Future nomenclature may not include mounting hardware or poles. This layout is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.



DESIGNED FOR:
52ND ST PARCEL
 ADDRESS

SALES
 B LOCK

DATE
 9.13.2023

DESIGNER
 JEN YONKERS

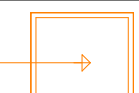
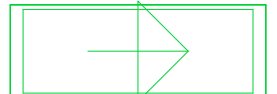


REVISIONS	
DATE	NAME
4172024	HARMON
5282024	HARMON

SHEET
1

PHOTOMETRIC PLAN
 SCALE: NTS

Luminaire Schedule

Scenario: GEN

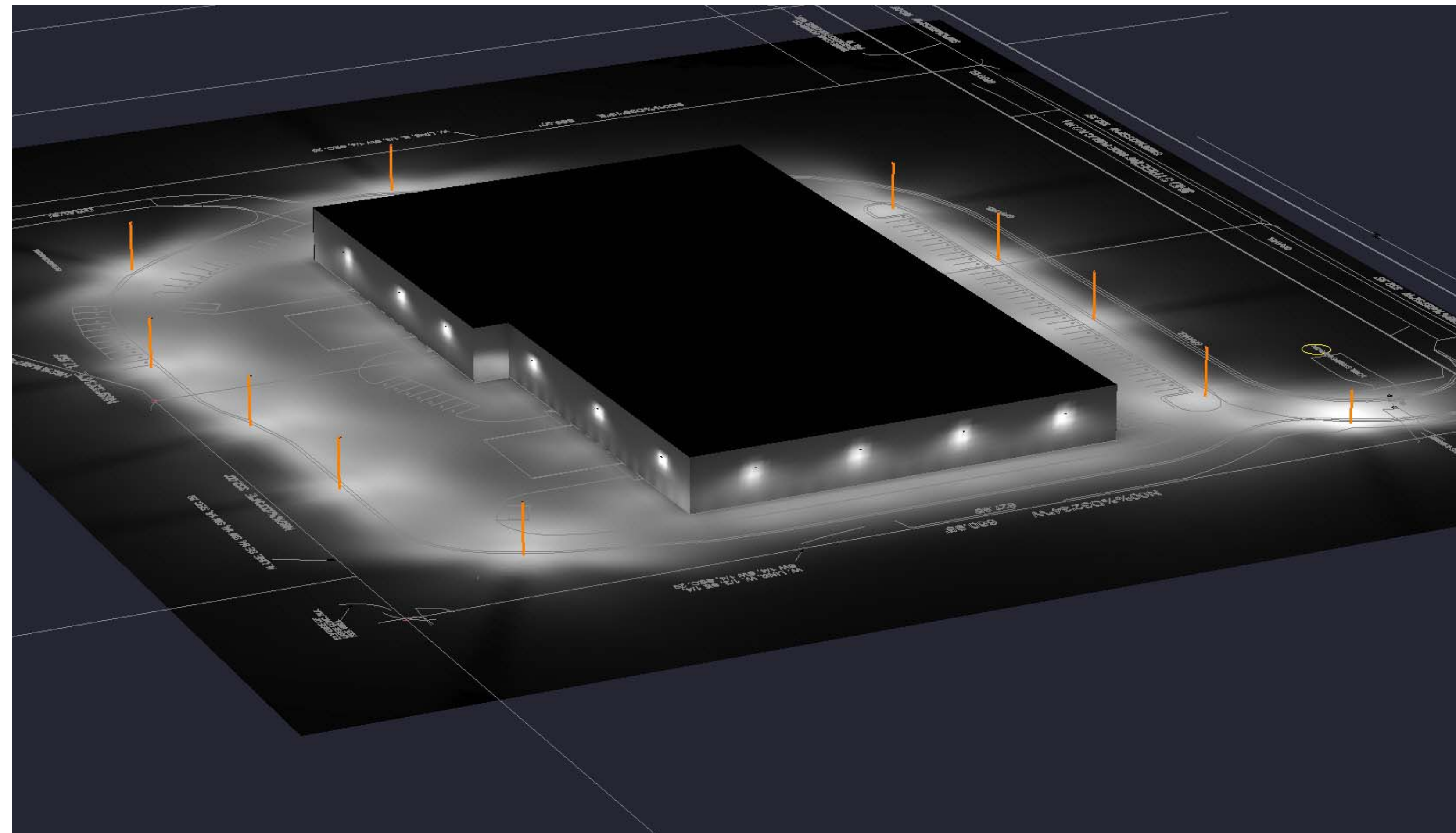
SYMBOL	QTY	LABEL	ARRANGMENT	LLF	[MANUFAC]	DESCRIPTION	MNT HEIGHT	MNT TYPE	TLT WATTS	LUMENS
	11	P4	Single	0.921	COOPER - LUMARK	PRV-PA2B-740-U-T4W	18, 27.5	POLE	1661	19431
	2	WP1	Single	0.921	COOPER - LUMARK	XTOR1B	9	WALL	24.4	1418
	8	WP3	Single	0.921	COOPER - LUMARK	PRV-P-PA1A-740-U-T3	20	WALL	245.6	4443
	6	WP4	Single	0.921	COOPER - LUMARK	PRV-P-PA1A-730-U-T4W	20	WALL	184.2	3960

Calculation Summary

Scenario: GEN

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
DRIVE PARKING	Illuminance	Fc	1.34	5.7	0.5	2.68	11.40
LIGHT TRESPASS	Illuminance	Fc	0.01	0.1	0.0	N.A.	N.A.

NOTES:
- CALC AT GRADE



Crites, Tidey, & Assoc., Inc.
908C West River Center Dr
Comstock Park MI 49321
PH: 616-647-2400
www.critestidey.com

PHOTOMETRIC EVALUATION
NOT FOR CONSTRUCTION
Based on the information provided, all dimensions and luminaire locations represent a recommended application. The engineer and/or architect must determine the applicability of the layout regarding existing or future field conditions.
This lighting layout represents illumination levels calculated using laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved method. Actual performance of a manufacturer's luminaire may vary due to changes in electrical voltage, tolerance in LEDs, and other field conditions. Calculations may not include obstructions such as buildings, curbs, landscaping, or other architectural elements. Future nomenclature may not include mounting hardware or poles. This layout is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

DESIGNED FOR:



52ND ST PARCEL
ADDRESS

SALES

B LOCK

DATE

9.13.2023

DESIGNER

JEN YONKERS

REVISIONS

DATE	NAME
4172024	HARMON
5282024	HARMON

SHEET

2

SCHEDULES

SCALE: NTS

**CASCADE CHARTER TOWNSHIP
PLANNING COMMISSION**

**MONDAY, June 3, 2024
7:00 PM**

ARTICLE 10.

Case #24-3838

Applicant: Cascade Charter Township

Requested Action: To consider text amendments to Chapter 14 of the Zoning Ordinance – AC (Airport Commerce) District, Overlay Districts

CASCADE CHARTER TOWNSHIP

ORDINANCE NO. 24-_____

**AN ORDINANCE TO AMEND SECTION 14.07 OF THE TOWNSHIP ZONING
ORDINANCE**

THE CHARTER TOWNSHIP OF CASCADE ORDAINS:

Section 1. Amendment of Section 14.07 of the Township Zoning Ordinance

Section 14.07 of the Township Zoning Ordinance is amended in its entirety to read as follows:

Section 14.07 Uses Permitted by Right in Overlay A:

Subject to Section 14.18, in the “Overlay A” District no building, structure or premises shall be erected altered or used except as one or more of the following specified uses:

1. Recreation
2. Schools
3. Churches
4. Aeronautical uses permitted in the AC zoning district

Section 2. Severability.

If a court determines that any provision of this Ordinance is invalid, the remaining provisions of this Ordinance shall remain in full force and effect.

Section 3. Repealer.

Any ordinances in conflict with this ordinance are repealed to the extent necessary to give this ordinance full force and effect.

Section 4. Effective Date.

This ordinance takes effect upon the expiration of seven (7) days after publication.