

AGENDA
CASCADE CHARTER TOWNSHIP PLANNING COMMISSION
MONDAY, July 7, 2025
6:00PM
2870 JACKSMITH AVE SE

Public may access the meeting via video conference software Zoom

Webinar ID: 860 8654 9700

<https://us02web.zoom.us/j/86086549700>

- ARTICLE 1. **Call the meeting to order. Record the attendance.**
- ARTICLE 2. **Pledge of Allegiance to the Flag**
- ARTICLE 3. **Approve the current Agenda**
- ARTICLE 4. **Disclose any Conflict of Interest**
- ARTICLE 5. **Approve the Minutes of the June 16, 2025, Meeting**
- ARTICLE 6. **Acknowledge visitors and those wishing to speak.**
(Comments are limited to five minutes per speaker)
- ARTICLE 7. **Case #25-3890 – Public Hearing**
Applicant: Jonathan Durell
Property Address: 5178 Burton St. SE
Parcel Number: 41-19-07-326-002
Requested Action: Text-Amendment to add the property at 5178 Burton St. SE to PUD-27, High Ridge Condominiums.
- ARTICLE 8. **Case #25-3888**
Applicant: Rishi Makkar
Property Address: 6859 Cascade Rd. SE
Parcel Number: 41-19-09-451-023
Requested Action: Request for a Site Plan Approval for a new retail building to replace the existing retail structure at 6859 Cascade Rd. SE.
- ARTICLE 9. **Acknowledge visitors and those wishing to speak.**
(Comments are limited to five minutes per speaker)
- ARTICLE 10. **Other Business**
- ARTICLE 11. **Adjourn**

CASCADE CHARTER TOWNSHIP

PLANNING COMMISSION

**MONDAY, July 7, 2025
6:00 PM**

ARTICLE 5.

Approve the Minutes of the June 16, 2025 Meeting

MINUTES
CASCADE CHARTER TOWNSHIP PLANNING COMMISSION
MONDAY, June 16, 2025
6:00PM
2870 JACKSMITH AVE SE

ARTICLE 1. Chairman Rowland called the meeting to order at 6:00 pm.
Members Present: Rowland, Madiol, Korstange, Cribbs, Kraemer
Members Absent: None
Others Present: Community Planning and Development Director Andrea Hendrick, Legal Counsel Laura Genovich of Foster Swift, Planning Assistant Nick Govan and others listed on the sign-in sheet.

ARTICLE 2. Pledge of Allegiance to the Flag

ARTICLE 3. Approve the current Agenda

Motion was made by Treasurer Korstange to approve the Agenda. Supported by Member Cribbs. Motion carried unanimously.

ARTICLE 4. Disclose any Conflict of Interest

There were no conflicts of interest.

ARTICLE 5. Approve the Minutes of the June 2, 2025, Meeting

Motion was made by Treasurer Korstange to approve the June 2, 2025 Meeting minutes. Supported by Vice Chair Kraemer. Motion carried unanimously.

ARTICLE 6. Acknowledge visitors and those wishing to speak.

There was no one wishing to speak.

ARTICLE 7. Case #23-3780 – Public Hearing Applicant: Cascade Charter Township

Requested Action: A recommendation to the Township Board to ratify amendments to the Township Zoning Ordinance and Zoning Map regarding the Airport Commerce (AC) Zoning District and Overlay Districts A, B, and C.

Legal Counsel Laura Genovich presented the case, explaining that the Planning Commission was being asked to recommend ratification of amendments that were previously approved in 2023. She provided background that the 2023 amendments followed approximately 25 subcommittee meetings and work that started in mid-2022. These amendments related to airport property overlay zones, changing from previous sub zones one and two to new Overlays A, B, and C with different uses permitted in each to better regulate and protect the surrounding area.

Legal Counsel explained that there have been two lawsuits, one by the airport and more recently one by a property owner within an Overlay district. One allegation in the lawsuit is that the notice for the original 2023 amendments was not properly done. The allegation states that the notice described the amendments only as text amendments and not as a rezoning or zoning map amendment, alleging that because it dealt with Overlays, it should have been noticed as a map amendment.

Legal Counsel stated that while the Township denies it was done improperly, to eliminate that issue from the lawsuit, the recommendation is to provide new notice and do it again so that if there was a defect or deficiency, it would be corrected. Treasurer Korstange requested that when a motion is made, the Commission add to Overlay A that cell phone towers are an allowable special use. Chairman Rowland asked why they should be allowed in Overlay A. Treasurer Korstange responded that the area between the airport and I-96 highway would be ideal for cell phone towers since it's right next to the highway.

Legal Counsel clarified that cell phone towers would have to meet FAA requirements separately from the township's requirements, and the proper terminology would be wireless communication facilities as a special land use.

Motion was made by Chairman Rowland to open public hearing. Supported by Vice Chair Kraemer.

Motion carried unanimously.

There was no one wishing to speak.

Motion was made by Chairman Rowland to close public hearing. Supported by Vice Chair Kraemer.

Motion carried unanimously.

Motion was made by Chairman Rowland to recommend the adoption of an ordinance to ratify the Amendment of case number 23-3780 in 2023 with the following additions:

- **Add Wireless Communication Facilities as a Special Use in Overlay A.**

Supported by Vice Chair Kraemer.

Motion carried unanimously.

ARTICLE 8.

Case #25-3892

Applicant: Cascade Charter Township

Requested Action: Set Public Hearing for Draft Zoning Ordinance.

Community Planning & Development Director Hendrick presented the request to set a public hearing for the draft zoning ordinance. She explained that the subcommittee has been working incredibly hard on this for the last six to eight months and they are ready to present it internally. She noted they have been working with various Township departments to ensure it's ready for a public hearing on July 21, 2025.

Director Hendrick explained the timeline, noting that the draft would be distributed internally for review in the next week until the beginning of July, at which point it would be published and public notice sent out for the public hearing.

Treasurer Korstange provided extensive background on the subcommittee process, noting they felt much more confident about the July 21st date compared to their previous meeting. She explained they had received a semi-final draft before their last subcommittee meeting and would meet again June 17th, with another meeting available on June 24th if needed. She noted the Planning Commission would have close to four weeks to review the document before the meeting.

Director Hendrick emphasized that this represents a culmination of a two-year process that began with creating a strategic plan adopted in 2022 with significant

community engagement. The land use element was adopted in the master plan in 2024. She noted this zoning ordinance integrates everything the Planning Commission has discussed regarding preservation, controlled development, and preserving the character of Cascade.

Treasurer Korstange expressed excitement about the process and emphasized she hopes to hear public comments at both the Planning Commission and Board levels to understand whether people want certain changes and to hear their thoughts and ideas.

**Motion was made by Chairman Rowland for Case Number 25-3892 to set public hearing for the July 21 2025 Planning Commission meeting.
Supported by Member Madiol.
Motion carried unanimously.**

ARTICLE 9. Acknowledge visitors and those wishing to speak.

There was no one wishing to speak.

ARTICLE 10. Other Business

There was no other business.

ARTICLE 11. Adjourn

Respectfully submitted,

Andrea Hendrick, Community Planning and Development Director, Recording Secretary

CASCADE CHARTER TOWNSHIP

PLANNING COMMISSION

**MONDAY, July 7, 2025
6:00 PM**

ARTICLE 7.

Case #25-3890 – Public Hearing

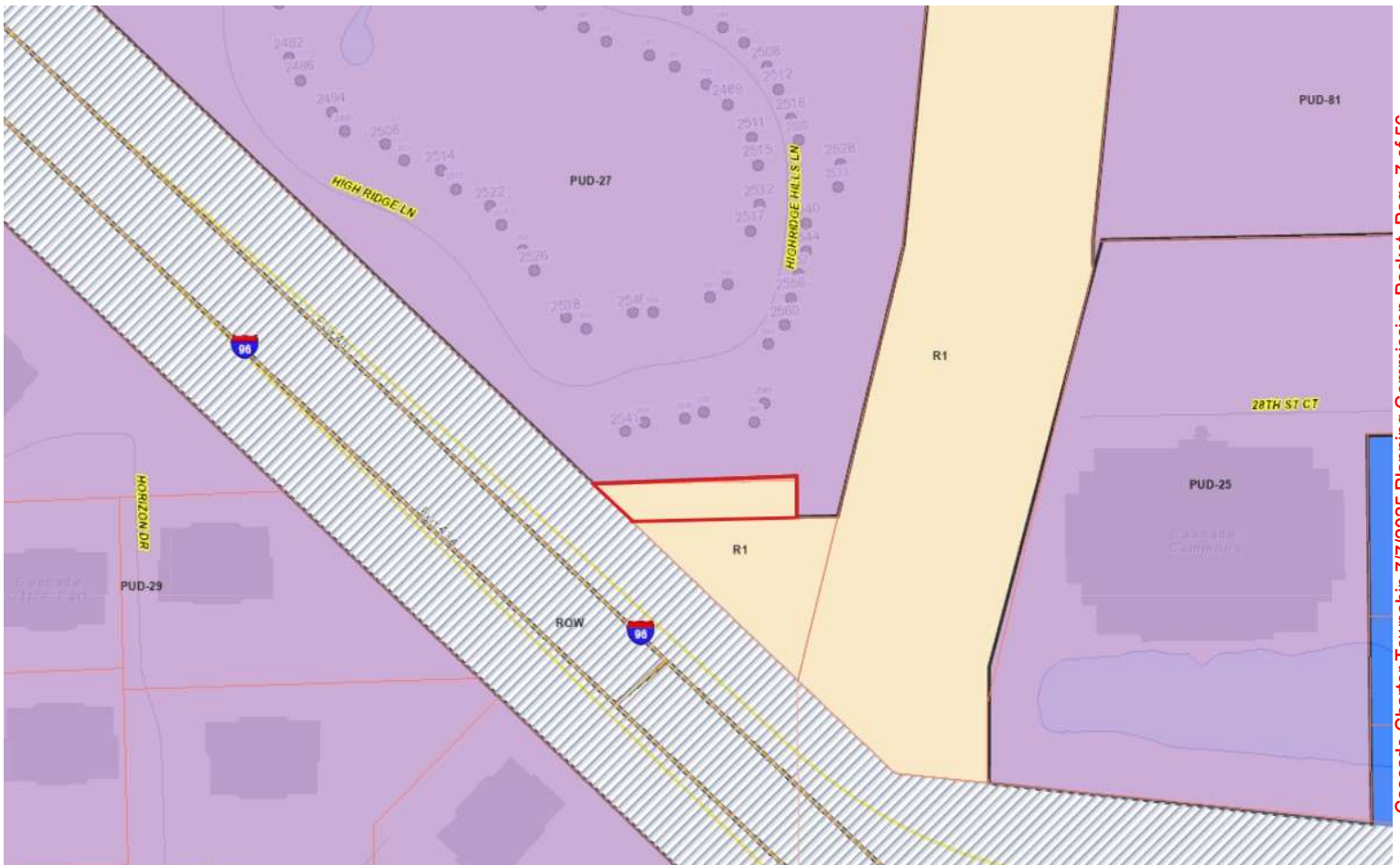
Applicant: Jonathan Durell

Property Address: 5178 Burton St. SE

Parcel Number: 41-19-07-326-002

Requested Action: Text-Amendment to add the property at
5178 Burton St. SE to PUD-27, High Ridge
Condominiums.

Parcel & Zoning Map





CASCADE CHARTER TOWNSHIP

5920 Tahoe Drive SE • Grand Rapids, MI 49546

PLANNING COMMISSION STAFF REPORT

STAFF REPORT: Case # 25-3890
REPORT DATE: July 2, 2025
PREPARED FOR: Cascade Charter Township Planning Commission
MEETING DATE: July 7, 2025
PREPARED BY: Andrea Hendrick, Community Planning & Development Director

APPLICANT; Jonathan Durell
Durellaw, PLC

ADDRESS: 5178 Burton St. SE

PARCEL NUMBERS: 41-19-07-326-002

REQUESTED ACTION: Text-Amendment to add the property at 5178 Burton St. SE to PUD-27, High Ridge Condominiums.

REQUIREMENTS: Section 16 - PUD Planned Unit Development District

EXISTING ZONING: R-1, Residential

GENERAL LOCATION: The subject parcel is located directly south of the High Ridge Condominiums, and east of I-96 near the 28th St on-ramp.

PARCEL SIZE: Approximately .3 acres

EXISTING LAND USE: Mechanical shed, community well pump

ADJACENT PROPERTIES: N: PUD 27 – Highridge Condominiums
W: Interstate 96
S: R-1 Residential, Vacant
E: R-1 Residential, Consumers Energy

HISTORY

Case #88-1237 High Ridge Condominiums – PUD Ordinance

- 1988-12-05 Planning Commission Public Hearing – Preliminary PUD Approval
- 1989-02-06 Planning Commission Public Hearing – Recommended for Approval
- 1989-02-22 Township Board Meeting – Approved
- 1989-02-22 Adopted Ordinance #4 of 1989

Approval by the Township Board was granted on February 22, 1989 to develop 20.2 acres of land located at 5100 Burton St SE into no more than 80 residential dwelling units. This approval rezoned the property from R-1 Residential to PUD-27.

Case #00-2327 High Ridge Condominiums - PUD Amendment

- 2000-06-19 Planning Commission Public Hearing – Basic Plan Review
- 2000-09-05 Planning Commission Public Hearing – Preliminary PUD Approval
- 2000-10-02 Planning Commission Public Hearing – Recommended for Approval
- 2000-10-18 Township Board Meeting – Approved
- 2000-10-18 Adopted Ordinance #16 of 2000

The approved amendment rezoned the properties located at 5000, 5150, and 5210 Burton from R1 Residential to PUD-27. This amendment expanded the PUD by approximately 10 acres, and allowed for an additional 15 residential dwelling units. The resulting PUD-27 is approximately 30 acres, allowing for no more than 95 residential dwelling units.

PROPOSED USE

The small parcel currently contains the well that services the sprinkler system for the Highridge Condominiums. It is landlocked, with a Consumer’s Energy easement and a parking lot to a large office building at 5303 28th Street Court to the east, and the I-96 State Highway to the west. Given the access issues on the site, the best use for this property is a passive use associated with the adjacent Condominium Development.



NEIGHBOR COMMENTS

A few casual calls were received by residents of the Highridge Condominiums. After a brief explanation, the residence expressed that they were aware of the project and were comfortable with the addition of the small parcel to the PUD.

CONSIDERATIONS

The request before you is procedural and will have no impact on the adjacent land. Staff recommends approval.

RECOMMENDATION

Motion to recommend approval of the case #25-3890 a rezoning request of 5178 Burton Street SE from R1 to PUD 27.

ATTACHMENTS

1. Application
2. Survey
3. DRAFT Ordinance to Amend the Current Ordinance
4. DRAFT Highridge Condominium PUD Ordinance



CASCADE CHARTER TOWNSHIP

5920 Tahoe Dr. SE, Grand Rapids,
Michigan 49546-7140

PLANNING & ZONING APPLICATION

APPLICANT: Name: Jonathan Durell, Durellaw, PLC

Address: 644 Lovett Ave SE, Suite C

City & Zip Code: Grand Rapids, MI 49506

Telephone: 616-234-3834

Email Address: jmd@durellaw.com

OWNER: * (If different from Applicant) Name: High Ridge Condominium Association

Address: c/o Grandmark Property Management, 3934 Cascade Rd SE

City & Zip Code: Grand Rapids, MI 49546

Telephone: 616-437-4728

Email Address: rcarpenter1118@gmail.com

NATURE OF THE REQUEST: (Please check the appropriate box or boxes)

| | |
|--|--|
| <input type="checkbox"/> Administrative Appeal | <input type="checkbox"/> Administrative Site Plan Review |
| <input type="checkbox"/> Deferred Parking | <input type="checkbox"/> P.U.D. – Rezoning * |
| <input type="checkbox"/> P.U.D. – Site Condominium * | <input type="checkbox"/> Rezoning |
| <input type="checkbox"/> Site Plan Review * | <input type="checkbox"/> Sign Variance Subdivision |
| <input type="checkbox"/> Special Use Permit | <input type="checkbox"/> Plat Review * |
| <input type="checkbox"/> Zoning Variance | <input checked="" type="checkbox"/> Other: <u>PUD Text Amendment</u> |

** Requires an initial submission of 5 copies of the completed site plan*

BRIEFLY DESCRIBE YOUR REQUEST:**

Add a contiguous tax parcel to the PUD set forth in PUD #4 of 1989 as amended by PUD #16 of 2000

(**Use Attachments if Necessary)

-SEE OTHER SIDE-

LEGAL DESCRIPTION OF PROPERTY:**

See attached for description of PUD and parcel which applicant requests

be included

(**Use Attachments if Necessary)

PERMANENT PARCEL (TAX) NUMBER: 41-19 [adding] -07-326-002

ADDRESS OF PROPERTY: 5178 Burton St. SE

PRESENT USE OF THE PROPERTY: mechanical shed that houses community well pump

NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS HAVING A LEGAL OR EQUITABLE INTEREST IN THE PROPERTY:

Name(s)

Address(es)

N/A

SIGNATURES

I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) also agree to reimburse the Cascade Charter Township for all costs, including consultant costs, to review this request in a timely manner. I (we) understand that these costs may also include administrative reviews which may occur after the Township has taken action on my (our) request.

I (we) the undersigned also acknowledge that the proposed project does not violate any known property restrictions (i.e. plat restrictions, deed restrictions, covenants, etc.)

ROBERT CARPENTER

Owner – Print or Type Name
(*If different from Applicant)

Robert Carpenter

Owner's Signature & Date
(*If different from Applicant)

Jonathan Durell

Applicant – Print or Type Name

[Signature]

Applicant's Signature & Date

PLEASE ATTACH ALL REQUIRED DOCUMENTS NOTED IN THE PROCESS REVIEW SHEET – THANK YOU

Rev. 7/27/21

PUD Ordinance - Highridge #16 of 2000

CASCADE CHARTER TOWNSHIP

Ordinance #16 of 2000

AN ORDINANCE TO AMEND ORDINANCE #4 OF 1989, THE **HIGHRIDGE CONDOMINIUMS** PLANNED UNIT DEVELOPMENT PROJECT

CASCADE CHARTER TOWNSHIP ORDAINS:

Section 1. Amendments to the Highridge Condominiums PUD Ordinance

Section II of the Ordinance shall be amended in order add the following legal descriptions:

N 245 FT OF E 335 FT OF SWFRL ¼ ALSO S 290 FT OF N 535 FT OF E 500 FT OF SWFRL ¼.

N 245 FT OF W 165 FT OF E 500 FT OF SWFRL ¼.

THAT PART W ½ SE ¼ LYING N OF A LINE BEING 1695 FT N FROM S SEC LINE 7 W OF A LINE WHICH IS 260 FT NWLY FROM & PAR WITH FOL DESC LINE – COM 1695 FT N & 410 FT E FROM S ¼ COR TH NELY TO PT OF ENDING ON E & W ¼ WHICH IS 511.40 FT E FROM CEN OF SEC ALSO PART SE ¼ COM 1695 FT N & 150 FT E FROM s ¼ COR TH W 150 TH S TO NLY LINE OF STL US16 RELOCATED TH NELY TO BEG EX THAT PART LYING S OF S 1/8 LINE.

Section IV of the Ordinance (the first paragraph) shall be amended to read as follows:

The Premises occupies a 30.9 acre tract of land that may be developed in phases over a period of time. The Premises will not contain more than 95 residential dwelling units that will be sold as individual condominiums.

Section VI of the Ordinance shall be amended to read as follows:

A. Maximum Number of Residential Units – The maximum number of residential units shall be limited to 95 units.

H. Development Entrance – The Premises shall be served by two (2) entrances onto Burton Street meeting Kent County Road Commission standards. The West entrance drive shall be allow for all turning movements into and out of the development. The East entrance drive shall allow for all turning movements into and out of the. Said improvement shall be completed to the satisfaction of the Kent County Road Commission and the Township Engineer. Furthermore the East entrance drive will also serve as the entrance drive for all heavy construction vehicles during the construction of the remaining condominium units, with the exception of unit #7 (the first building in the next phase) which shall be allowed to use the existing West entrance road for construction vehicles. Construction vehicles shall be prohibited from using the West entrance road.

Section IX of the Ordinance shall be amended to read as follows:

D. The developer shall be responsible to pay an amount equal to the total cost of design and construction of a 5-foot wide, concrete sidewalk along their entire Burton Street frontage and also including the area East of their road frontage to the centerline of

Spaulding Ave extended. The total cost shall be estimated by the developer and reviewed by the Township. This amount shall be deposited by the developer with the Township and will be held in escrow. The escrowed amount shall be used by the Township to design and construct a 10-foot wide, non-motorized trail along the development frontage when the Township Board deems appropriate. The developer shall also provide the Township with any easements necessary for the construction of the non-motorized trail.

Section 2. Effective Date.

This PUD Ordinance amendment shall become effective upon publication in the Grand Rapids Press, a newspaper of general circulation within Cascade Charter Township.

Section 3. Effect.

The Cascade Charter Township Zoning Ordinance, as amended, and the remainder of Ordinance #4 of 1989, except as otherwise expressly amended herein, shall remain in full force and effect.

The foregoing Ordinance amendment was offered by Board Member Goodyke, supported by Board Member Parrish. The roll call vote being as follows:

YEAS: Johnson, Julien, Carpenter, Goodyke, Timmons, Kleinheksel, Parrish

NAYS:

ABSENT:

Marlene Kleinheksel

Cascade Charter Township Clerk

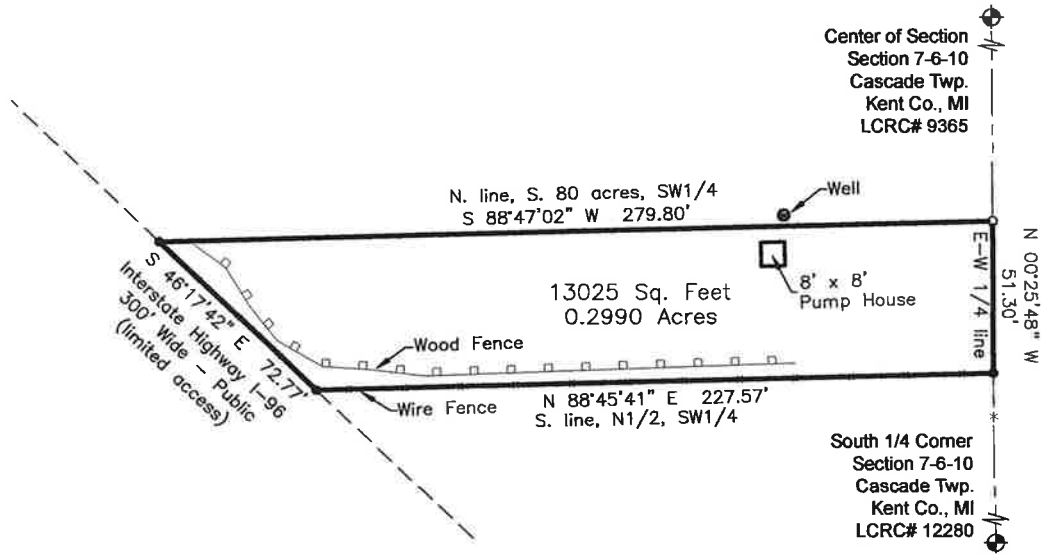
CERTIFICATION

I hereby certify the foregoing to be a true copy of an Ordinance adopted at a regular meeting of the Cascade Charter Township Board on the 18th day of October 2000.

Marlene Kleinheksel

Cascade Charter Township Clerk

CERTIFICATE OF SURVEY



Jon Bratt 616-546-4299

LEGAL DESCRIPTION FURNISHED:

41-19-07-326-002
 Property Address: 5178 BURTON ST SE
 Legal Description: THAT PART OF THE SOUTH 80 ACRES OF THE SOUTHWEST FRACTIONAL 1/4 LYING NORTH OF THE SOUTH 1/8 LINE AND EASTERLY OF THE NORTHEASTERLY LINE OF INTERSTATE HIGHWAY I-96, SECTION 7, TOWN 6 NORTH, RANGE 10 WEST, CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN, CONTAINING 0.26 ACRES.

I hereby certify that I have surveyed the above described property and that the ratio of closure is no greater than 1/5000 and that said survey substantially complies with the requirements of PUBLIC ACT #132 of 1970 as amended.

Christopher J. Gower
 CHRISTOPHER J. GOWER P.S. 4001047951



NORTH



LEGEND

- FOUND IRON STAKE
- SET IRON STAKE
- SET WOOD STAKE
- P = PLATTED DIMENSION
- R = RECORD DIMENSION
- M = MEASURED DIMENSION

This survey has been prepared for the exclusive use of the person or entities named herein. No express or implied warranties with respect to the information shown herein is to be extended to any persons or entities other than those shown herein.

| | | | | | | | | | | | | | | |
|---|---|---------|-------|-----------|----------|---|---------|-----|--------|-----|--------|--------|--|--|
| <p>CLIENT:</p> <p style="text-align: center;">Jonathon Bratt 858 Pendleton Dr., NE Comstock Park, MI 49321</p> | <p>PROPERTY LOCATION:</p> <p style="text-align: center;">5178 BURTON STREET, SE GRAND RAPIDS, MI 49546</p> | | | | | | | | | | | | | |
| <h2 style="margin: 0;">GPS</h2> <p style="margin: 0;">GOWER PROFESSIONAL SURVEYING, P.C.</p> | | | | | | | | | | | | | | |
| <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td>JOB NO.</td><td style="text-align: right;">2024-11</td></tr> <tr><td>DATE:</td><td style="text-align: right;">4/15/2024</td></tr> <tr><td>REVISED:</td><td style="text-align: right;">-</td></tr> <tr><td>OFFICE:</td><td style="text-align: right;">CJG</td></tr> <tr><td>FIELD:</td><td style="text-align: right;">CJG</td></tr> <tr><td>SHEET:</td><td style="text-align: right;">1 of 1</td></tr> </table> | JOB NO. | 2024-11 | DATE: | 4/15/2024 | REVISED: | - | OFFICE: | CJG | FIELD: | CJG | SHEET: | 1 of 1 | <p>7144 Childsdale Avenue, NE (616) 863-9508 VOICE Rockford, MI 49341 www.gowerpro.com</p> <p style="text-align: right; font-size: small;">CHRISTOPHER J. GOWER, P.S. MICHIGAN No. 4001047951</p> | |
| JOB NO. | 2024-11 | | | | | | | | | | | | | |
| DATE: | 4/15/2024 | | | | | | | | | | | | | |
| REVISED: | - | | | | | | | | | | | | | |
| OFFICE: | CJG | | | | | | | | | | | | | |
| FIELD: | CJG | | | | | | | | | | | | | |
| SHEET: | 1 of 1 | | | | | | | | | | | | | |

CASCADE CHARTER TOWNSHIP

ORDINANCE NO. 25-____

AN ORDINANCE TO AMEND THE TOWNSHIP ZONING ORDINANCE REGARDING THE HIGHRIDGE CONDOMINIUM PLANNED UNIT DEVELOPMENT PROJECT

THE CHARTER TOWNSHIP OF CASCADE ORDAINS:

Section 1. Amendment of Section II of Ordinance #4 of 1989

Section II of Ordinance #4 of 1989 of the Township Zoning Ordinance is amended to add the following language:

THAT PART OF THE SOUTH 80 ACRES OF THE SOUTHWEST FRACTIONAL ¼ LYING NORTH OF THE SOUTH 1/8 LINE AND EASTERLY OF THE NORTHEASTERLY LINE OF INTERSTATE HIGHWAY 1-96, SECTION 7, TOWN6 NORTH, RANGE 10 WEST, CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN, CONTAINING 0.26 ACRES

Section 2. Amendment of Section IV of Ordinance #4 of 1989

Section IV of Ordinance #4 of 1989 of the Township Zoning Ordinance is amended to read as follows:

The Premises occupies a 31.2 acre tract of land that will be developed in phases over a period of time. The Premises will not contain more than 95 residential dwelling units that will be sold as individual condominiums.

Section 3. Validity and Severability.

Should any portion of this Ordinance be found invalid for any reason, such holding will not affect the validity of the remaining portions of this Ordinance.

Section 4. Repealer.

Any ordinances in conflict with the Ordinance are hereby repealed only to the extent necessary to give this Ordinance full force and effect.

Section 5. Effective Date.

This Ordinance is effective seven (7) days after publication.

(DRAFT)
CASCADE CHARTER TOWNSHIP

ORDINANCE #4 of 1989
Amended by #16 of 2000
Amended by ___ of 2025

AN ORDINANCE TO AMEND THE CASCADE CHARTER TOWNSHIP ZONING
ORDINANCE, BEING ORDINANCE 11 OF 1988, TO ESTABLISH THE
HIGHRIDGE CONDOMINIUM DEVELOPMENT PROJECT

CASCADE CHARTER TOWNSHIP ORDAINS:

SECTION 1. AN AMENDMENT TO THE CASCADE CHARTER TOWNSHIP
ZONING ORDINANCE.

That the application received from John E. Slagboom or his assigns (hereinafter referred to as the “Developer”) for Planned Unit Development designation for the proposed Highridge Condominium development (hereinafter referred to as the “Premises”) was recommended for approval by the Cascade Charter township Planning Commission on February 6, 1989. The Premises is recommended for rezoning from its former zoning classification, R-1 – Residential, thereby requiring this amendment to the Cascade Charter Township Zoning Ordinance being Ordinance No. 11 of 1988, and Zoning Map to incorporate the Planning Commission’s recommendation and the Cascade Township Board’s action on February 22, 1989.

SECTION II. LEGAL DESCRIPTION.

The legal description of the Premises is as follows:

PART OF THE SOUTHWEST FRACTIONAL ONE-QUARTER OF SECTION 7, TOWN 6 NORTH, RANGE 10 WEST, CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN, DESCRIBED AS: BEGINNING ON THE EAST-WEST ONE-QUARTER LINE (ALSO BEING CENTERLINE OF BURTON STREET – 66.00 FEET WIDE) SOUTH 87 DEGREES 56’45’ WEST 500.00 FEET FROM THE NORTHEAST CORNER OF THE SOUTHWEST FRACTIONAL ONE-QUARTER OF SAID SECTION; THENCE SOUTH 1 DEGREE 13’ 52” EAST 535.00 FEET PARALLEL WITH THE NORTH-SOUTH ONE-QUARTER LINE; THENCE NORTH 87 DEGREES 56’45” EAST 500.00 FEET PARALLEL WITH THE EAST-WEST ONE-QUARTER LINE; THENCE SOUTH 1 DEGREE 13’52” EAST 737.42 FEET ALONG THE NORTH-SOUTH ONE-QUARTER LINE TO THE NORTH LINE OF THE SOUTH 80 ACRES OF THE SOUTHWEST FRACTIONAL ONE-QUARTER; THENCE SOUTH 87 DEGREES 59’08” WEST 279.99 FEET ALONG THE AFOREMENTIONED NORTH LINE TO ITS INTERSECTION WITH THE NORTHEASTERLY RIGHT OF WAY LINE OF HIGHWAY I-96 (300.00 FEET WIDE); THENCE NORTH 47 DEGREES 05’16” WEST 1686.87 FEET ALONG SAID RIGHT OF WAY LINE; THENCE NORTH 87 DEGREES 56’45” EAST 133.54 FEET ALONG A LINE THAT IS PARALLEL WITH AND 80.00 FEET SOUTH OF THE EAST-WEST ONE-QUARTER LINE; THENCE NORTH 2 DEGREES 40’14” WEST 20.00 FEET PARALLEL WITH THE WEST SECTION LINE; THENCE NORTH 87 DEGREES 56’45” EAST 275.00 FEET ALONG A LINE THAT IS PARALLEL WITH

AND 60.00 FEET SOUTH OF THE EAST-WEST ONE-QUARTER LINE; THENCE NORTH 2 DEGREES 40'14" WEST 60.00 FEET PARALLEL WITH THE WEST SECTION LINE; THENCE NORTH 87 DEGREES 56' 45" EAST 584.08 FEET ALONG THE EAST-WEST ONE-QUARTER LINE (ALSO CENTERLINE OF BURTON STREET – 66.00 FEET WIDE) TO THE PLACE OF BEGINNING.

SUBJECT TO a 66.00 foot easement for ingress and egress, the centerline of which being described as: BEGINNING at a point on the East-West one-quarter line which is North 87 degrees 56'45" East 2017.53 feet from the West one-quarter corner of Section 7, Town 6 North, Range 10 West, Cascade Township, Kent County, Michigan; thence South 1 degree 13'52" East 208.00 feet; thence south 20 degrees 29'43" East 100.00 feet; thence south 1 degree 13'52" East 298.60 feet to the place of ending of this easement.

SUBJECT TO a right of way for highway purposes over the North 33.00 feet of the East 584.00 feet thereof (Burton Street).

SUBJECT TO an easement to Michigan Bell Telephone Company as recorded in Liber 2075, Page 430 and Liber 2476, Pages 830-832.

AND

N 245 FT OF E 335 FT OF SWFRL1/4 ALSO S 290 FT OF N 535 FT OF E 500 FT OF SWFRL ¼.

N 245 FT OF W 165 FT OF E 500FT OF SWFRL 1/4.

THAT PART W 1/2 SE 1/4 LYING N OF A LINE BEING 1695 FT N FROM S SEC LINE & W OF A LINE WHICH IS 260 FT NWLY FROM & PAR WITH FOL DESC LINE - COM 1695 FT N & 410 FT E FROM S 1/4 COR TH NELY TO PT OF ENDING ON E&W 1/4 WHICH IS 511.40 FT E FROM CEN OF SEC ALSO PART SE 1/4 COM 1695 FT N & 150 FT E FROM S ¼ COR TH W 150 FT TH S TO NLY LINE OF STL US16 RELOCATED TH NELY TO BEG EX THAT PART LYING S OF S 1/8 LINE

AND

THAT PART OF THE SOUTH 80 ACRES OF THE SOUTHWEST FRACTIONAL ¼ LYING NORTH OF THE SOUTH 1/8 LINE AND EASTERLY OF THE NORTHEASTERLY LINE OF INTERSTATE HIGHWAY 1-96, SECTION 7, TOWN6 NORTH, RANGE 10 WEST, CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN, CONTAINING 0.26 ACRES

SECTION III. GENERAL PROVISIONS.

The following provisions shall hereby apply to the aforementioned Premises in addition to those provisions outlined in Chapter XIV of the Cascade Charter Township Zoning Ordinance (Ordinance No. 11 of 1988).

SECTION IV. PURPOSE AND INTENT.

The Premises occupies a 31.2 acre tract of land that may be developed in phases over a period of time. The Premises will not contain more than 95 residential dwelling units that will be sold as individual condominiums.

The regulations contained herein are established to define the procedures necessary to ensure high quality development on the Premises. Additionally, they are designed to: to

achieve integration of the development with adjacent land uses and the natural environment; to permit flexibility in the regulation of land development; and to encourage the provision of useful open space.

The provisions of this Ordinance are not intended as a substitute for the Cascade Charter Township Zoning Ordinance and General Development Plan, nor do they in any way relieve the Developer from obtaining all approvals and permits required by the Township except as provided herein.

SECTION V. PERMITTED USES.

For land and buildings, the permitted uses for the Premises are as follows:

- A. Single family residential units; and
- B. Accessory buildings customarily incidental to a residential condominium development (i.e. gazebos, swimming pool, pool house, lawn maintenance building, etc.).

Professional or quasi-professional offices within a residence may be permitted upon review of the Cascade Charter Township Planning Commission provided the use does not:

- 1) generate traffic by members of the general public, and
- 2) the use is purely ancillary to an office established elsewhere.

SECTION VI. DESIGN STANDARDS.

The development of all permitted uses within the Premises shall conform to the following design standards.

- A. Maximum Number of Residential Units – The maximum number of residential dwellings shall be limited to 95 units.
- B. Maximum Height – The maximum building or structure height erected on the Premises shall not exceed thirty-five (35) feet or two and one-half (2-1/2) stories, whichever is lessor.
- C. Minimum Floor Area – The minimum gross floor area for each residential dwelling unit shall be 1,200 square feet.
- D. Minimum Parking Requirements – Each residential dwelling unit shall have a minimum of two (2) enclosed off-street parking spaces per dwelling unit. Additionally, the developer shall provide at least thirty-four (34) off-street parking spaces for guest parking. The use of the guest parking areas for the storage of campers, mobile homes, trailers, snow mobiles, recreation vehicles, boats, or commercial trucks is prohibited.
- E. Minimum Setback Requirements – All buildings and structures (except signs) shall meet the following minimum setback requirements.
 - 1. Setback from Burton Street – Eighty (80) feet from the existing right-of-way line.
 - 2. South and West Property Lines – Fifty-five (55) feet.

3. All Other Property Lines – Thirty-five (35) feet.

F. Road Requirements –

1. The occupancy of the Premises shall not commence until the developer receives a driveway permit from the Kent County Road Commission.
2. All internal roads within the Premises shall be paved with asphalt or bituminous cement. The roads shall be a minimum width of 26 feet. The construction of these internal roads shall meet Kent County Road Commission standards relating to: road grade, drainage, and road construction materials (i.e. subbase, aggregate base, road surface).

G. Stormwater Drainage – The Premises shall be designed to maintain stormwater drainage at predevelopment rates. All proposed stormwater drainage facilities shall be reviewed and approved by the Township Engineer and the Kent County Drain Commissioner prior to development of the Premises.

H. Development Entrance – The Premises shall be served by two (2) entrances onto Burton Street meeting Kent County Road Commission standards. The West entrance drive shall be allow for all turning movements into and out of the development. The East entrance drive shall allow for all turning movements into and out of the. Said improvement shall be completed to the satisfaction of the Kent County Road Commission and the Township Engineer. Furthermore, the East entrance drive will also serve as the entrance drive for all heavy construction vehicles during the construction of the remaining condominium units, with the exception of unit #7 (the first building in the next phase) which shall be allowed to use the existing West entrance road for construction vehicles. Construction vehicles shall be prohibited from using the West entrance road.

I. Exterior Lighting – The Developer shall provide street lighting within the Premises at his expense. All street lighting shall be low sodium luminaries (lamps), which do not extend more than twenty (20) feet in height. Luminaires shall be shrouded to minimize the emission of light rays and may not exceed .5 foot candles as measured at ground level.

J. Signs – The Premises shall be permitted one (1) development identification sign not to exceed sixty-four (64) square feet in sign area. The sign shall be setback at least thirty-seven (37) feet from the Burton Street right-of-way. The sign may be illuminated using only overhead mounted luminaries which comply to the lighting standards in Section VI.(I), above.

SECTION VII. TEMPORARY BUILDINGS.

No structure of a temporary nature; trailer, tent, or construction shack shall be constructed, placed or maintained on the Premises except accessory to and during construction of a permanent building.

SECTION VIII. GREENBELT AND LANDSCAPING REQUIREMENTS.

A. Minimum Greenbelt and Landscape Requirements – For the purposes of screening the Premises shall provide greenstrips and landscaping materials consistent with the requirements set forth below:

1. A minimum 20 foot wide greenstrip along Burton Street having the following minimum number of landscape materials per 100 lineal feet:
 - 2 shade trees
 - 4 ornamental or evergreen trees
 - 6 shrubs

2. A minimum 30 foot wide greenstrip along Interstate 96 having the following minimum number of landscape materials per 100 lineal feet:
 - 3 shade trees
 - 6 ornamental or evergreen
 - 6 shrubs

3. All other property lines shall have a minimum 20 foot wide greenstrip having the following minimum number of landscape materials per 100 lineal feet:
 - 2 shade trees
 - 1 ornamental or evergreen trees

Greenstrips shall be located on the outer perimeter of the Premises to the logical extent possible. Any existing plant material which satisfies the requirements of this Section may be counted toward satisfying their respective landscape requirement for the lineal feet in which they occupy. It cannot be credited towards areas that have no significant stands of trees.

- B. Minimum Plant Size Requirements – For the purposes of this development all landscaping materials shall meet the following minimum size standards:

| <u>Plant Type</u> | <u>Size</u> |
|-------------------|--------------------|
| Shade Tree | 2-1/2 inch caliper |
| Ornamental Tree | 1-1/2 inch caliper |
| Evergreen Tree | 6 feet |
| Shrubs | 3 feet |

All plant species listed in Section 20.11 of the Cascade Township Zoning Ordinance shall not be credited as meeting the landscape requirements contained in this Ordinance.

- C. Other Landscape Requirements –
1. Landscaping shall be installed within ninety (90) days of completion of each phase, or unless permitted in writing by the Planning Director at a later date.
 2. All landscaping shall be hardy plant materials and maintained thereafter in a neat and orderly manner. Withered and/or dead plant materials shall be replaced within a reasonable period of time but no longer than one growing season.
 3. Where appropriate, plantings should be grouped or clustered to provide the maximum visual effect.

SECTION IX. MISCELLANEOUS DEVELOPMENT REQUIREMENTS

A. The Township Planning Department shall receive all pertinent correspondence and permits received from the Michigan Department of Natural Resources (MDNR) regarding the status or development of wetlands on the Premises prior to construction.

B. The Township Planning Department shall receive all correspondence and permits from the State of Michigan (if appropriate) and the Kent County Drain Commissioner regarding storm water disposal.

C. The Developer shall submit sufficient and reasonable financial information to the Township Attorney to determine the developer's financial capabilities to fully develop the Premises.

D. The developer shall be responsible to pay an amount equal to the total cost of design and construction of a 5-foot wide, concrete sidewalk along their entire Burton Street frontage and also including the area East of their road frontage to the centerline of Spaulding Ave extended. The total cost shall be estimated by the developer and reviewed by the Township. This amount shall be deposited by the developer with the Township and will be held in escrow. The escrowed amount shall be used by the Township to design and construct a 10-foot wide, non-motorized trail along the development frontage when the Township Board deems appropriate. The developer shall also provide the Township with any easements necessary for the construction of the non-motorized trail.

SECTION X. WATER AND SEWER.

All buildings within the Premises shall be served with public water and sewer at the Developer's expense. The Developer shall extend a 12 inch sewer line and a 16 inch water transmission line into the Premises in a manner consistent with acceptable engineering practices. The water system shall be a looped system with a water flow rate of 1000 gallons per minute. The connection to the public sewer and water systems shall be approved by the Township Engineer and the City of Grand Rapids prior to installation.

SECTION XI. PERFORMANCE GUARANTEE.

To ensure compliance with this Ordinance and any conditions herein, Cascade Township may require reasonable performance guarantees, as authorized under the Township Rural Zoning Enabling Act to ensure completion of improvements such as, but not limited to, landscaping, drainage, lighting, roads and utilities.

SECTION XII. MASTER DEVELOPMENT PLAN, PHASING.

The Premises shall conform in as much as reasonably possible to the master development plan approved by the Township Board and signed by the Township Clerk on February 22, 1989. In the event the Developer elects to develop the Premises in separate distinct phases he shall be required to submit site plans of each phase. The Planning Commission shall review and approve these plans prior to the construction of the intended phase to ensure consistency with the master development plan. This review shall be conducted at no monetary charge to the Developer, provided that no amendment or variance to this Ordinance or the Cascade Charter Township Zoning Ordinance is required.

SECTION XIII. EFFECTIVE DATE.

This Ordinance shall become effective upon publication in the Grand Rapids Press, a newspaper of general circulation within Cascade Charter Township. The foregoing Ordinance was offered by Board Member Ellinger, supported by Board Member Hansen. The roll call vote being as follows:

YEAS: Carpenter, Champion, Ellinger, Hansen, Henning and Parrish.

NAYS: None

ABSENT: Rowland

Brenda J. Henning

Cascade Charter Township Clerk

CERTIFICATION

I hereby certify the foregoing to be a true copy of an Ordinance adopted at a Regular Meeting of the Cascade Charter Township Board on the 22nd day of February, 1989.

Brenda J. Henning

Cascade Charter Township Clerk

CASCADE CHARTER TOWNSHIP

PLANNING COMMISSION

**MONDAY, July 7, 2025
6:00 PM**

ARTICLE 8.

Case #25-3888

Applicant: Rishi Makkar

Property Address: 6859 Cascade Rd. SE

Parcel Number: 41-19-09-451-023

Requested Action: Request for Site Plan approval for a new retail building to replace the existing retail structure at 6859 Cascade Rd. SE.



CASCADE CHARTER TOWNSHIP

5920 Tahoe Drive SE • Grand Rapids, MI 49546

PLANNING COMMISSION STAFF REPORT

STAFF REPORT: Case # 25-3888
REPORT DATE: July 2, 2025
PREPARED FOR: Cascade Charter Township Planning Commission
MEETING DATE: July 7, 2025
PREPARED BY: Andrea Hendrick, Community Planning & Development Director

APPLICANT Rishi Makkar

ADDRESS: 6859 Cascade Rd. SE

PARCEL NUMBERS: 41-19-09-451-023

REQUESTED ACTION: Site Plan Review for a new retail building to replace the existing retail structure.

REQUIREMENTS: Chapter 8 – B-1 – Village Business District
Chapter 19 – Access, Parking & Loading
Chapter 20 – Landscaping & Greenbelt Provisions
Chapter 21 – Site Plan Review
Article 8 – Form Based Code

EXISTING ZONING: B-1 – Village Business District

GENERAL LOCATION: The subject parcel is located on the southwest corner of Cascade Rd. SE and Orange Ave. SE.

PARCEL SIZE: Approximately 0.62 acres,

EXISTING LAND USE: Liquor Store

ADJACENT PROPERTIES: N: B-1 – Village Business District – Restaurant
W: B-1 – Village Business District – Ice Cream Shops
S: B-1 – Village Business District – Bridal Shop
E: B-1 – Village Business District – Office and Church

HISTORY

The current retail facility has operated in the Village since 2005. It was previously operated as the same type of retail facility since the early 1990s.

Case 94-1737 Libation Station – Sign Setback Variance

- 1994-07-12 Zoning Board of Appeals Public Hearing – Expired

Approval by the Zoning Board of Appeals was granted on July 12, 1994, for a variance from the Sign Ordinance allowing a new sign monument style, size of 66 sqft in area sign five feet from the Cascade Road right-of-way. This variance was granted subject to one of the nonconforming signs on the building (either the rear wall sign or the canopy sign) being removed. The Variance expired due to the sign never being constructed.

Case #05-2776 International Beverage – Variance

- 2006-01-13 Village Design Review Committee – Review of Site Plans
- 2006-01-06 Site Plan Subcommittee – Recommended for Approval

No Variance was granted

Case #14-3202 International Beverage – Site Plan Review

- 2014-09-08 Planning Commission Meeting – Approved

Approval by the Township Planning Commission was granted on September 9, 2008, to allow for the expansion of 6859 Cascade Road. Contingent upon the Storm Water & Sewer Maintenance Plan be recorded and provided to the township.

PROPOSED USE

The applicant is proposing expanding the existing liquor store footprint on all sides. The use will not change. The applicant understands that the Township is undergoing major changes to the Zoning Ordinance for this area. He has voluntarily agreed to meet the standards of the proposed Village Form Based Code design requirements. This review is completed using Article 8 of the proposed updated Zoning Ordinance. The Zoning Ordinance amendments are set for a public hearing on July 21, 2025, and adoption by the Township Board in the following months. Currently, the final adoption date is set for August 13, 2025, pending no delays. The applicant understands and agrees that if elements of the Article are not adopted as proposed, he will need to seek a variance from the ZBA or modify his plans accordingly.

B-1 VILLAGE BUSINESS DISTRICT

SECTION 8:03 PERMITTED USES

Generally recognized retail businesses, which supply commodities on the premises, such as, but not limited to, groceries, meats, dairy products, bake goods or other foods, drugs, dry goods, clothing and notions of hardware.

SECTION 8:08 BUILDING DESIGN

The new Form Based Code is more restrictive than the current ordinance language. Compliance with the Form Based Code creates compliance with section 8.03 of the current Zoning Ordinance requirements.

PROPOSED ORDINANCE AMENDMENTS – ARTICLE 8 FORM BASED CODE

SECTION 8:3 STREET HIERARCHY & CORRIDOR – SPECIFIC REGULATIONS

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| <i>Cascade Road and 28th Street: As high-traffic, high-speed thoroughfares, these corridors require special and specific design of the built environment to support walkability and fine-grain urbanism. For that reason, the following shall apply:</i> | | |
| <i>Standard: (Only relevant sections included.)</i> | | |
| 1. Special setbacks shall apply along the Cascade Road and 28th Street frontages, as described in Section 6.1. | <i>Currently the proposed building is compliant with all setback requirements. The Setbacks for Cascade Road were intentionally decreased to emphasize the pedestrian feel of the Village Core by slowing down traffic and increasing pedestrian connectivity.</i> | |
| | <i>Façade:</i> | <i>Proposed</i> <i>Required</i> |
| | <i>Southwest</i> | 4 3 |
| | <i>Southeast</i> | 4 3 |
| | <i>Northeast</i> | 35 25 |
| | <i>Northwest</i> | 10 75 |
| <i>The provided plans are compliant.</i> | | |
| 2. All buildings on lots abutting Cascade Road or 28th Street must have a front entrance facing Cascade Road and/or 28th Street. Entrances shall be designed so that architectural details enhance their appearance and prominence so that they are recognizable from the street and parking areas, and shall meet the requirements of Section 8.04.D.1 | <i>This applicant opted to place an exterior wall angled towards the corner of Orange Avenue and Cascade Rd, consistent with the corner treatment requirement of Section 8.4.D.3.b. Therefore, the door provided on the exterior wall angled towards the street intersection meets the requirements of this section. The provided plans are compliant.</i> | |
| 3. A sidewalk, at least five feet wide, open to the general public, and connecting to any existing sidewalks at the side lot lines, must be constructed along the road frontage, if one does not already exist. | <i>The current site already has the required sidewalk. The provided plans maintain the existing sidewalk and are compliant.</i> | |
| 4. A clear, obvious, attractive, and safe pathway must be created from the sidewalk to the front entrance, consisting of walkways and crosswalks. Curbed and landscaped islands or bump-outs, featuring walkways, must be created within parking lots to ensure no crosswalk exceeds 30 feet in length. | <i>The provided plans are compliant with this section.</i> | |
| 5. Frontage Landscaping: | <i>The applicant has provided the required trees addressed in this section.</i> | |

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| <p>6. New driveways to 28th Street or Cascade Road shall not be created, unless the applicant can demonstrate to the Planning Commission’s satisfaction that there are no existing driveways, abutting public streets, or abutting private/internal streets that can provide access to the lot in question.</p> | <p><i>The applicant has a drive on Cascade Road, but no new drives are being created. This section is compliant.</i></p> |
| <p>7. Driveways must be designed to have symmetrical curbs on either side, and to encourage slow speeds entering parking lots and crossing public sidewalks.</p> | <p><i>This section is compliant</i></p> |
| <p>8. Parking lots shall be setback from the Cascade Road or 28th Street by at least the minimum setback distance required for principal buildings.</p> | <p><i>This section is compliant.</i></p> |
| <p>9. Parking lots visible from a public street, sidewalk or residential districts or uses shall have a knee wall.</p> | <p><i>This section is compliant</i></p> |
| <p><i>Other Public Roadways:</i> <i>The following shall apply to all other public roadways within the Form Based Code Districts, including, but not limited to, Thornapple River Drive, Old 28th Street, Orange Street, and Thornhills Drive.</i></p> | |
| <p>1. All buildings must have a front entrance facing all public roadways. Entrances shall be designed so that architectural details enhance their appearance and prominence so that they are recognizable from the street and parking areas, and shall meet the requirements of Section 8.04.D.1. For lots that abut Cascade Road or 28th Street, the Planning Commission may waive this requirement for frontages other than Cascade Road or 28th Street, provided that the requirements of Sections 8.03.A.2-4 are met.</p> | <p><i>This applicant opted to place an exterior wall angled towards the corner of Orange Avenue and Cascade Rd, consistent with the corner treatment requirement of Section 8.4.D.3.b. Therefore, the door provided on the exterior wall angled towards the street intersection meets the requirements of this section. The provided plans are compliant.</i></p> |
| <p>2. A sidewalk, at least five feet wide, open to the general public, and connecting to any existing sidewalks at the side of the lot lines, must be constructed along the road frontage other than Cascade Road or 28th Street, if one does not already exist.</p> | <p><i>The current site already has the required sidewalk. The provided plans maintain the existing sidewalk and are compliant.</i></p> |
| <p>3. For buildings built with a front setback, a clear, obvious, attractive, and safe pathway must be created from the sidewalk to the front entrance, consisting of walkways and crosswalks. Curbed and landscaped islands or bump-outs, featuring walkways, must be created</p> | <p><i>This exists currently. The plan is compliant with this section.</i></p> |

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| within parking lots to ensure no crosswalk exceeds 30 feet in length. | |
| 4. Frontage landscaping: | <i>The applicant has provided the required trees addressed in this section.</i> |
| 5. Driveways must be designed to have symmetrical curbs on either side, and to encourage slow speeds entering parking lots and crossing public sidewalks. | <i>The current driveway on Orange Street is proposed to be relocated. The drive being created is compliant.</i> |
| 6. Parking lots visible from a public street, sidewalk or residential districts or uses shall have a knee wall. | <i>No parking lot is visible from Orange. This standard is not required.</i> |

SECTION 8.4 REGULATION APPLICABLE TO NEW CONSTRUCTION

Architectural Design Option: The Form Based Code standards of the new ordinance provide three (3) different building types that developers can choose from when designing the exterior of a building. The proposed building for this application meets the standards of the Main Street Design Option.

Main Street. Italianate-style commercial architecture, commonly found in 19th-century downtown Main Street buildings across the U.S., particularly in the Midwest, is characterized by its ornate detailing and vertical proportions. These buildings typically feature tall, narrow windows with arched or segmental tops, often adorned with decorative moldings or lintels. Elaborate bracketed cornices define the roofline, while decorative window hoods and contrasting trim further emphasize the façade. Constructed primarily of brick, these buildings are often painted in various colors to highlight architectural details. The ground level typically features large display windows suited for retail use, with office or residential spaces above. Entrances are positioned directly along the sidewalk, often recessed within the storefront, with secondary access points at the side or rear. Parapets and cornices add visual interest and height variation. Parking is generally not located in the front; instead, shared lots or rear alley-loaded parking are common.

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| <i>Section 8.4.C. Materials shall reflect and complement the materials and construction techniques of West Michigan's regional architecture. The following materials are permitted on exterior facades and building walls, for each Building Design Option. Within the Form Based Code Districts, all exterior facades shall be subject to these requirements. The Planning Commission may allow the use of materials that give the appearance of the materials listed below, provided that the replacement material will retain a high-quality appearance, without degradation, over the long term. A sample of proposed building materials must be submitted to the Village Design Review Committee and Planning Commission for consideration during review of the proposed building design.</i> | |
| Brick. Typically red, brown, blonde, or tan clay brick. Can feature painted or glazed surfaces. Often arranged in Flemish bond or running bond patterns, though other patterns may be approved by the Planning Commission. For a Main Street building, | <i>The applicant has proposed over 90% brick veneer on all four sides of the development. The proposed color of Brick is indicated on Sheet A1.</i> |

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| <p>at least 80% of the front facade must be brick or a brick-like material approved by the Planning Commission.</p> <p>There must be a predominant brick color. Other colors shall only be used for Horizontal Expression lines, accenting doors and windows, and other detailing as approved by the Planning Commission.</p> <p>Stone: Limestone or sandstone used for lintels, sills, and decorative banding. Granite or marble are also acceptable. Stone should be used at the bottom of buildings, with brick above.</p> <p>Metalwork: For architectural detailing only.</p> | <p><i>Stone sills, as well as aluminum flashing, are used throughout the building for architectural detailing. Brick patterns for accents throughout the street frontages are consistent with the architectural style of the Main Street Building Type. Additionally, the applicant took feedback from the subcommittee and added burgundy flashing which compliments the brick, adding to the visual appeal of the building.</i></p> <p><i>Wood grain composite trim is proposed as accent material in a few locations. Staff wants to point out that the material proposed is not currently allowed for the building design. While a modification of material standards is allowed, the Planning Commission should view the materials and determine if it is appropriate.</i></p> <p><u><i>The applicant will provide samples for review to the Planning Commission to aid in the decision making.</i></u></p> |
| <p><i>D.1. Building Design Elements</i></p> | |
| <p>b. Entry door threshold shall be at the same elevation as adjacent sidewalk grade</p> | <p><i>This standard is met.</i></p> |
| <p>c. The doorway must be recessed at least four (4) feet, and may be recessed up to a maximum of 10 feet, behind the front wall of the building.</p> | <p><i>This standard is met.</i></p> |
| <p>d. The entrance shall either be designed as a storefront, with a doorway flanked by windows meeting the requirements of Subsection 4 that are at least 12 feet wide on either side, and extend from 2 feet above grade to a point even with the top of the door, or as a door yard with a unique decorative architectural feature consistent with the description of the chosen Architectural Design Option that differentiates the entrance from the rest of the facade</p> | <p><i>This standard is met.</i></p> |
| <p><i>D.3. Corner Treatments.</i></p> <p>All buildings on corner lots, including lots with frontage on both public and private roadways, must include corner architectural features designed to provide a welcoming gateway to the block. Acceptable corner architectural features include the following. The Planning commission may approve alternate architectural features upon determining that they meet the intent of this section.</p> | |

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| <p>b. Exterior wall angled towards the corner. If this option is chosen, the angled portion of the wall may exceed the required maximum setback. This option must include an entrance on the angled wall, facing the corner. The entrance must meet all requirements for entrances in this Article, except for the requirement for recessed entrances. The entrance shall count as the required entrance facing both roadways.</p> | <p><i>The applicant has provided an angled wall on the south side of the building facing the intersection of Cascade Road and Orange Street. The entrance includes unique architectural features and the doorway is flanked with windows. The provided plans meet the standard of this section.</i></p> |
| <p>D.4 Windows. Windows shall meet the following requirements:</p> | |
| <p>a. All Facades: The following shall apply to all building frontages, regardless of whether they face a street:</p> <ul style="list-style-type: none"> i. Windows shall not span vertically more than one story. ii. Windows shall correspond to interior space and not span horizontally across the building. iii. Windows shall not be covered by interior equipment or retail displays. iv. Windows shall have grills or other decorative internal features, except for first floor windows on buildings using the Main Street Architectural Design Option. The grills or other decorative features may be applied to the exterior of the glass and need not be integral to the window itself. v. All windows shall have a minimum transparency of 80% Visible Light Transfer (VLT). vi. | <ul style="list-style-type: none"> i. <i>The windows provided do not span vertically more than one story.</i> ii. <i>The provided windows correspond to the interior spaces.</i> iii. <i>The applicant is not proposing to cover the windows. It should be noted that the applicant is providing a percentage of the window on the northeast side, or the Orange side, with spandrel glass to allow for the full use of the interior wall.</i> iv. <i>The provided window have the required grills.</i> v. <i>VLT levels will be reviewed during the building permit application in Planning Review. This is noted as a proposed condition of the development.</i> |
| <p>b. Street-Facing Facades: The following shall apply to street facing facades:</p> <ul style="list-style-type: none"> i. Required First Floor Transparency Percentage (Windows and Glass Doors): Main Street: 70% ii. Required Upper Floor Transparency Percentage (Windows): Main Street: 40% | <p><i>The street facing transparency requirements for Cascade are met. The Orange Street façade meets the requirement for the amount of windows present, however, all windows are not transparent. The VRDC and staff find that the provided façade design meets the spirit of the Ordinance. The Planning Commission has the discretion to wave up to three (3) of the design requirements. A waiver for this provision is recommended.</i></p> |
| <p>c. Other Facades: The following shall apply to facades that do not face streets. No</p> | <p><i>The parking lot side meets the requirement of this standard. The eastern elevation does not meet this standard, however, staff</i></p> |

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| <p>transparency shall be required on side or rear walls with zero setback.</p> <ul style="list-style-type: none"> i. Required First Floor Transparency Percentage (Windows and Glass Doors) Main Street: 40% ii. Required Upper Floor Transparency Percentage (Windows): Main Street: 40% | <p><i>recommends that this is included in the waiver for transparency in the last section.</i></p> |
| <p><i>D.4. Roofs.</i> Roofs shall meet the following requirements, based on the proposed Architectural Design Option:</p> | |
| <p>c. Main Street. Pitched roofs shall not be permitted. A flat roof is required and must include a cornice that extends at least 36 inches above the roofline along all street-facing frontages.</p> | <p><i>The applicant has provided a design with a flat roof, cornice, and decorative brackets. The provided plans are compliant.</i></p> |
| <p><i>D.6. Expression Line.</i> a. Main Street: A horizontal line on the façade known as the Expression Line (EL) shall distinguish the base of the building from the remainder to enhance the pedestrian environment. The EL shall be set so that the bottom of the line is no higher than fourteen (14) feet above grade. The EL shall be created by a change in material, a change in design, or by a continuous setback, recess, or projection above or below the EL. Elements such as cornices, belt courses, corbelling, molding, stringcourses, ornamentation, and changes in material or color or other sculpturing of the base, are appropriate design elements to include with an EL.</p> | <p><i>The provided plans are compliant with this section.</i></p> |

SECTION 8.6 GENERAL SITE DESIGN STANDARDS

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| <p>A. Lighting. Light fixture design must be approved by the Planning Commission as part of the Site Plan Review Process, and shall meet the requirements of Article 12, except for the follow requirements and allowances, which shall supersede Article 12.</p> <ul style="list-style-type: none"> 1. No freestanding light fixture shall exceed 12 feet in height. 2. Light fixture design shall be evaluated against the Architectural | <p><i>The applicant has provided a compliant lighting photometric plan. However, staff will confirm that the calculations of the lighting levels of the proposed electrical pole with site lighting on the north side of the property are included in the photometrics. If so, the lighting levels will need to be recalculated in advance of the zoning review during a building permit application.</i></p> <p><i>Additionally, uplighting is proposed and may be allowed under the provisions of subsection 4.</i></p> |
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| <p>Design Option descriptions in Section 8.04.</p> <p>3. Light fixtures may be approved which do not meet the requirements of Article 10 if they are consistent with light fixture design standards developed by the Downtown Development Authority.</p> <p>4. Uplighting of architectural features may be permitted by the Planning Commission, even if the light fixture would otherwise violate a standard of Article 10.</p> | |
| <p>d. Parking. The minimum parking requirement for non-residential uses shall be 75% of the requirement listed in Article 10. Residential uses shall meet the full minimum parking requirement listed in Article 10.</p> | <p><i>This standard is met.</i></p> |

VILLAGE DESIGN REVIEW COMMITTEE

The Zoning Ordinance Subcommittee met several times to discuss multiple iterations of the site and building. This project was helpful in determining the appropriateness of much of the design review standards of the Form Based Code.

The Village Design Review Committee met on June 26th to review the proposed development. All comments provided by the VRDC have been integrated into the final design of the building.

ENGINEERING DEPARTMENT REVIEW COMMENTS

The current site is not serviced by water or sewer. The plans, as submitted, are not proposed to connect to the adjacent services.

The Township Engineer, Aric Thorn, has provided general comments about the development.

- The relocation of the catch bason from private property to Orange Ave needs to be approved by the Kent County Road Commission. It does not appear it will be compliant with their standards.
- State of Michigan requires a minimum 3-foot isolation distance of well from building or projection thereof. Connecting to City water and sewer is likely the only option. Please review Cascade General Code Chapter 313 for connection requirements.

FIRE DEPARTMENT REVIEW COMMENTS

The Cascade Township Fire Inspector has found the submitted site plan meets all fire requirements.

CONSIDERATIONS

Planning Commission Determinations

The CCT Zoning Ordinance gives the Planning Commission authority to deliberate and determine if the site elements provided are sufficient or if modifications are required. Please address the following items at the hearing:

- Transparency requirements
- Building material – The Planning Commission should consider the wood grain specifically and discuss the draft motion provision #2 and Condition #6 to determine the appropriate language.
- On site lighting
- Utility requirements

RECOMMENDATION

Staff recommend that the Planning Commission make the following Motion:

I make a motion that Case #25-3888, the Site Plan Review for 6859 Cascade Rd, be APPROVED with the following provisions:

1. The spandrel windows on the southeast façade of the building are sufficient to meet the spirit of the Form Based Code. The 70% transparency requirement is waved.
2. The material provided on the submitted elevations, **[including/excluding]** the wood grain composite trim, is deemed acceptable material for the Village.
3. The proposed uplighting is approved.

Furthermore, the following conditions shall be placed on approval:

1. The VLT levels of the windows be approved by the Planning Department in advance of a building permit.
2. All lighting on site shall be calculated in the photometric and reviewed and approved by the Planning Director.
3. Lighting levels meet the requirements of Article 12.
4. The site shall be connected to water and sewer in compliance with Chapter 313 of the Cascade General Code.
5. An updated Storm Water & Sewer Maintenance Plan be recorded and provided to the township
6. **[IF EXCLUDED in provision 2]** The wood grain composite trim shall be replaced with an approved material for a Main Street Style Building Design.

7. _____

ATTACHMENTS

1. Application
2. Site Plan
3. Landscaping plan
4. Elevations & Floor Plans
5. Lighting Plan
6. DRAFT Form Based Code

CASCADE CHARTER
TOWNSHIP

APR 21 2025

Cascade Charter Township
Planning Department

5920 Tahoe Dr. SE, Grand Rapids,
Michigan 49546-7140

PLANNING & ZONING APPLICATION

APPLICANT: Name: Rishi Makkar
Address: 6859 Cascade Road
City & Zip Code: Grand Rapids MI 49501
Telephone: 616-221-1111
Email Address: rishimakkar@gmail.com

OWNER: * (If different from Applicant)
Name: Paul Makkar
Address: 4682 Old Grand River Trail NE
City & Zip Code: Ada MI 49301
Telephone: 616-221-1111
Email Address: paulmakkar@mail.com

NATURE OF THE REQUEST: (Please check the appropriate box or boxes)

- | | |
|--|--|
| <input type="checkbox"/> Administrative Appeal | <input type="checkbox"/> Administrative Site Plan Review |
| <input type="checkbox"/> Deferred Parking | <input type="checkbox"/> P.U.D. – Rezoning * |
| <input type="checkbox"/> P.U.D. – Site Condominium * | <input type="checkbox"/> Rezoning |
| <input checked="" type="checkbox"/> Site Plan Review * | <input type="checkbox"/> Sign Variance Subdivision |
| <input type="checkbox"/> Special Use Permit | <input type="checkbox"/> Plat Review * |
| <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other: _____ * |

*** Requires an initial submission of 5 copies of the completed site plan**

BRIEFLY DESCRIBE YOUR REQUEST:**

Requesting site plan for a new retail building that will replace the existing retail structure located at 6859 Cascade Road. Our requested project review will also include review/approval of changes to the existing property to accommodate the new construction.

(**Use Attachments if Necessary)
-SEE OTHER SIDE-

LEGAL DESCRIPTION OF PROPERTY:**

PART SE 1/4 OF SEC 9 T6N R10W & PART NE 1/4 OF SEC 16 T6N R10W COM AT INT OF
CL OF CASCADE RD & NWLY LINE OF ORANGE AVE /59.4

(**Use Attachments if Necessary)

PERMANENT PARCEL (TAX) NUMBER: 41-19 -09-451-023

ADDRESS OF PROPERTY: 6859 Cascade Road SE, Grand Rapids, MI, 49546

PRESENT USE OF THE PROPERTY: Retail Business

**NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS HAVING A LEGAL OR
EQUITABLE INTEREST IN THE PROPERTY:**

Name(s)

Address(es)

SINGH COLLECTIONS

6859 CASCADE RD SE

FINE WINE MERCHANT, LLC

GRAND RAPIDS, MI 49546

DBA CASCADE Int. Bev.

SIGNATURES

I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) also agree to reimburse the Cascade Charter Township for all costs, including consultant costs, to review this request in a timely manner. I (we) understand that these costs may also include administrative reviews which may occur after the Township has taken action on my (our) request.

I (we) the undersigned also acknowledge that the proposed project does not violate any known property restrictions (i.e. plat restrictions, deed restrictions, covenants, etc.)

PAUL MAKKAR

RISHI MAKKAR

Owner – Print or Type Name
(*If different from Applicant)

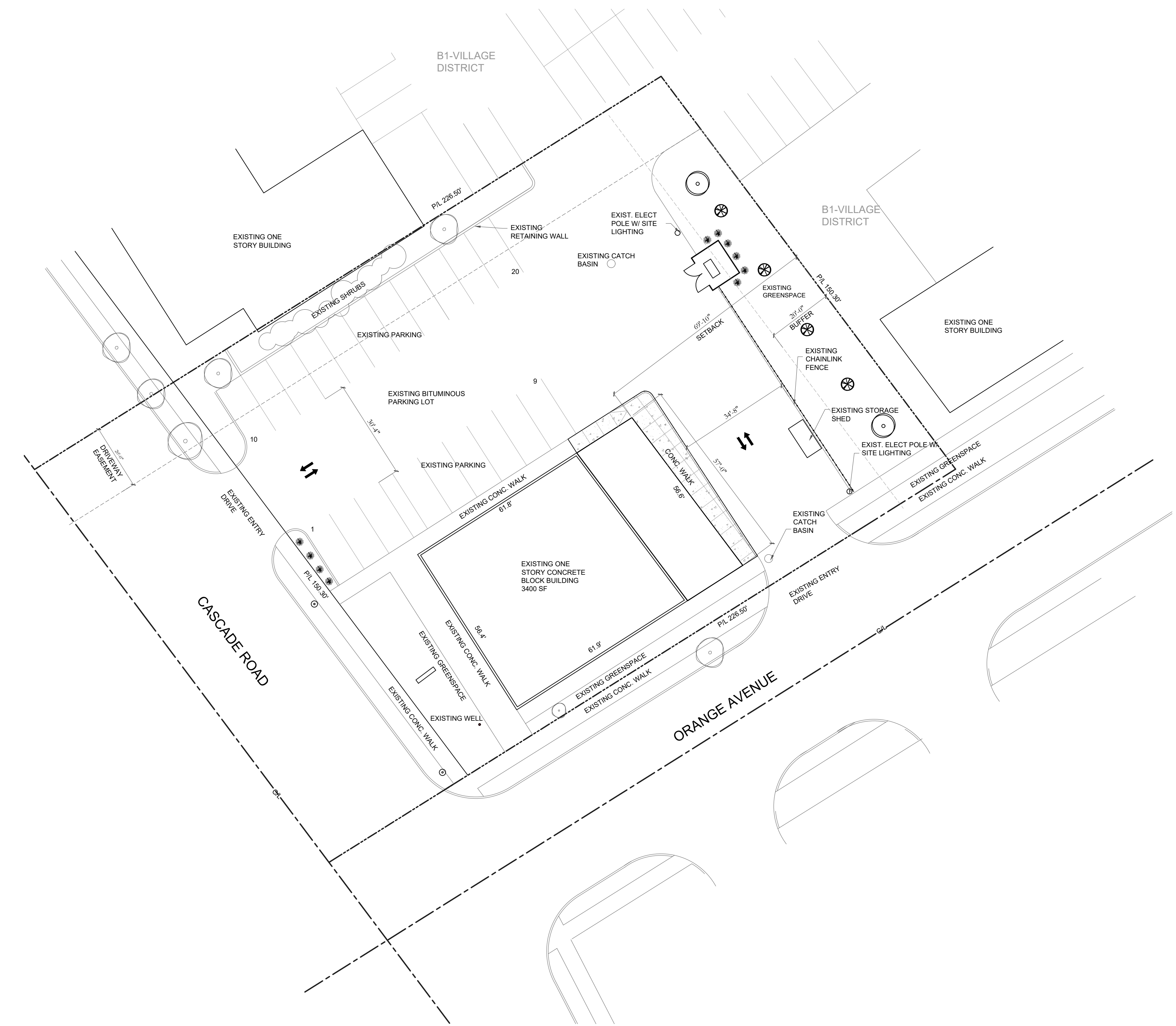
Applicant – Print or Type Name

* [Signature]
Owner's Signature & Date
(*If different from Applicant)

[Signature]
Applicant's Signature & Date

PLEASE ATTACH ALL REQUIRED DOCUMENTS NOTED IN THE PROCESS REVIEW SHEET – THANK YOU

Rev. 7/27/21



SITE PLAN SKETCH - EXISTING
 SCALE: 1/16" = 1'-0"

SPEED ARCHITECTS
 ARCHITECTURE DESIGN PLANNING
 5390 LONDON/DERRY ST. SE., KENTWOOD, MI. 49508
 PH. 616.334.5224
 bgs.speed@ctr.net

**PROPOSED BUILDING ADDITION FOR:
 INTERNATIONAL BEVERAGE**
 6859 CASCADE ROAD SE
 GRAND RAPIDS, MICHIGAN 49546

Drawn By
 BGS
 Date Drawn
 06/10/25

PLANNING

Revisions

| No. | Date |
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Issue Date:

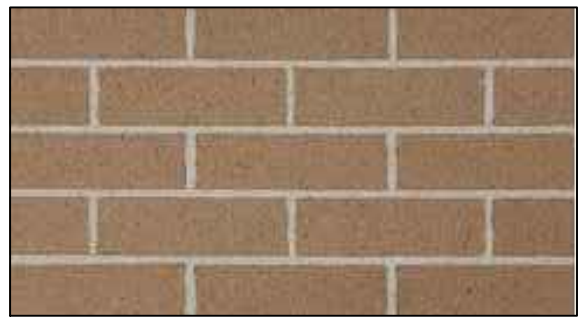
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23-006P

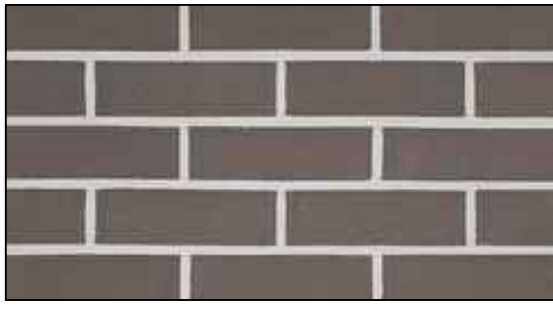
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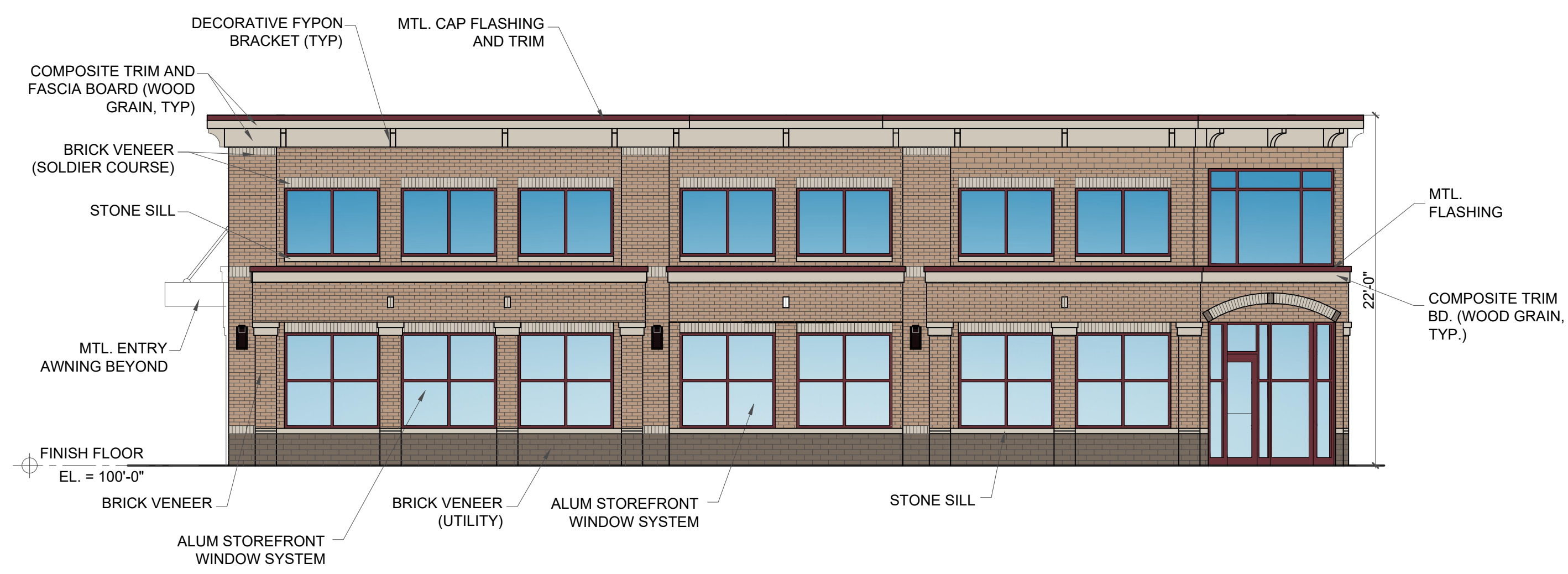
BRICK COLOR SAMPLES



BRICK VENEER - COLOR 1

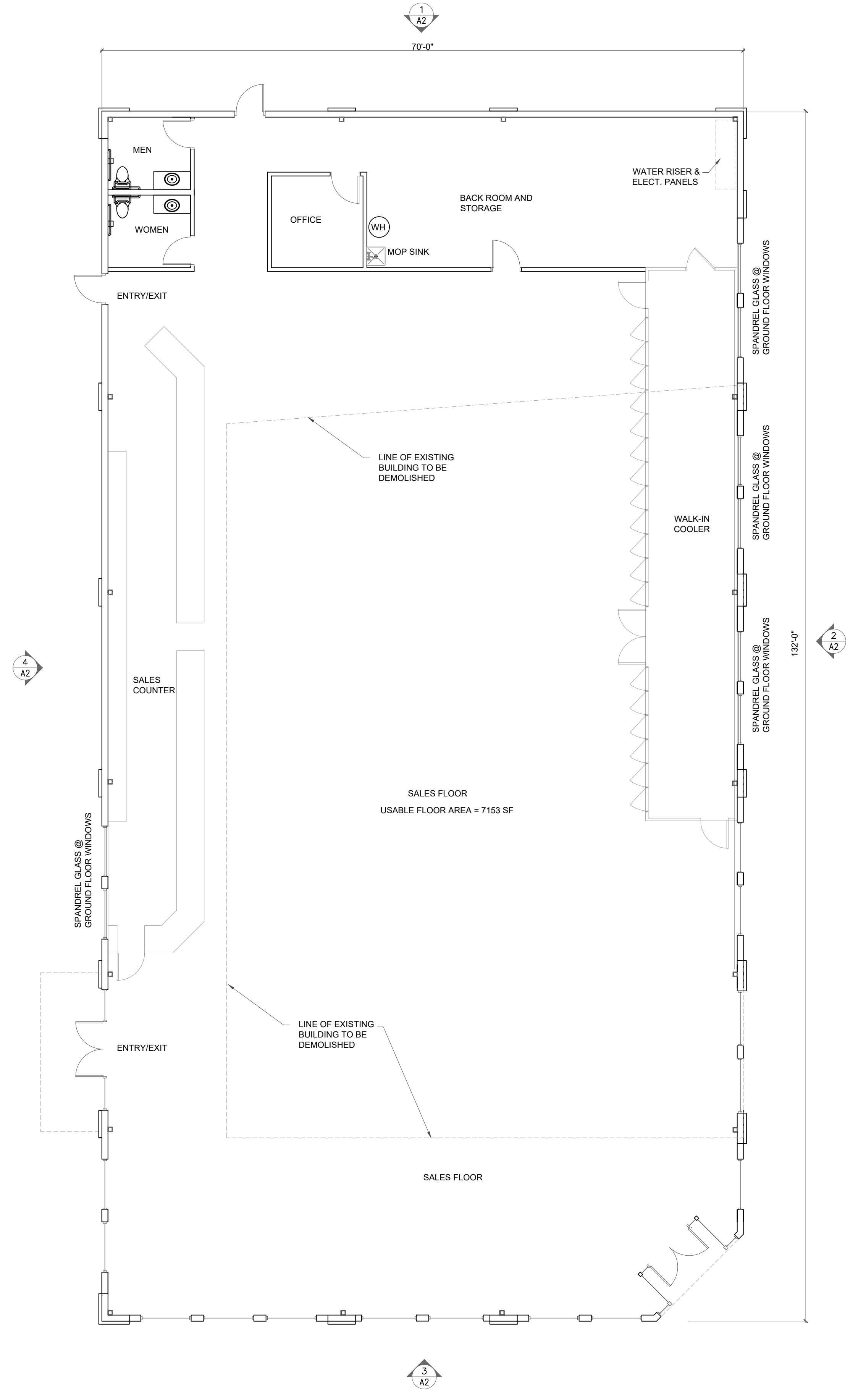


BRICK VENEER - COLOR 2



WEST ELEVATION - PROPOSED COLOR SAMPLES

SCALE: NTS



FLOOR PLAN - PROPOSED

SCALE: 1/8" = 1'-0"

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6859 CASCADE ROAD SE
GRAND RAPIDS, MICHIGAN 49546

Drawn By
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Date Drawn
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PLANNING

Revisions

| No. | Date | Description |
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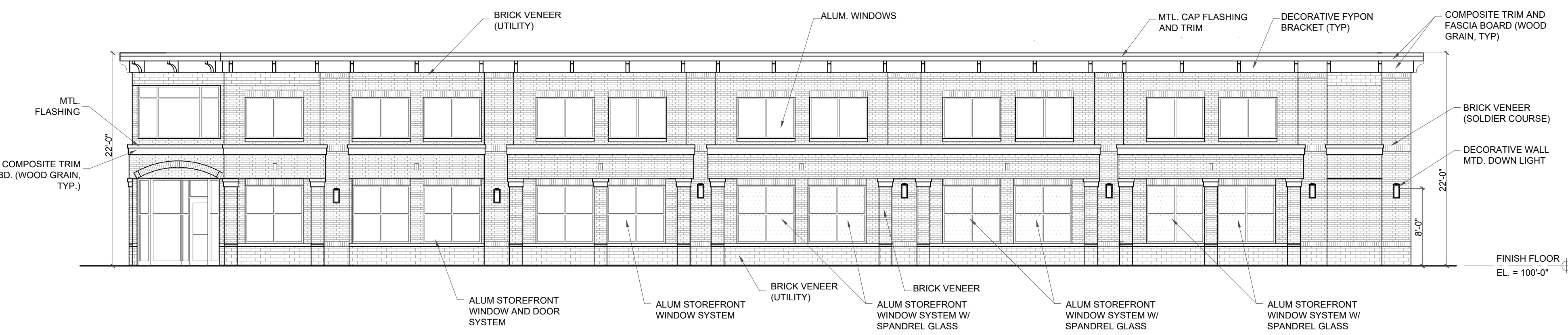
Issue Date: _____

PROJECT NUMBER:

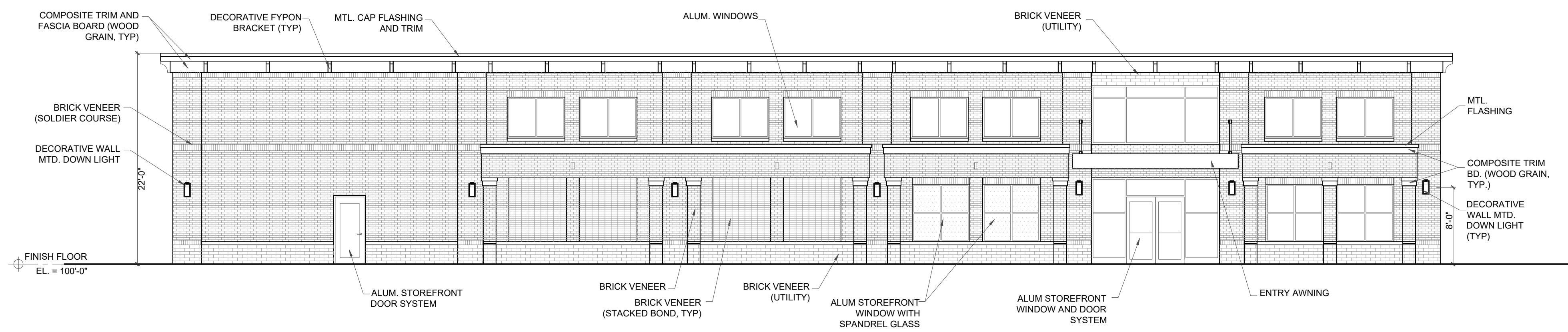
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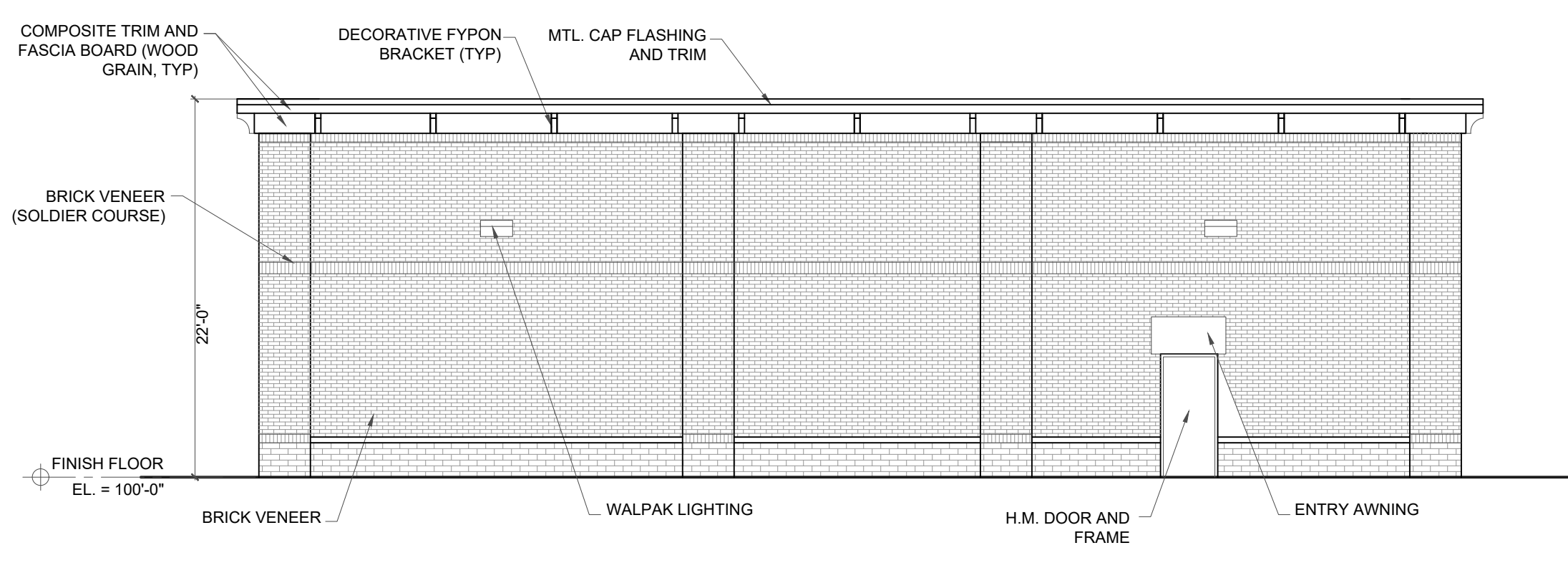
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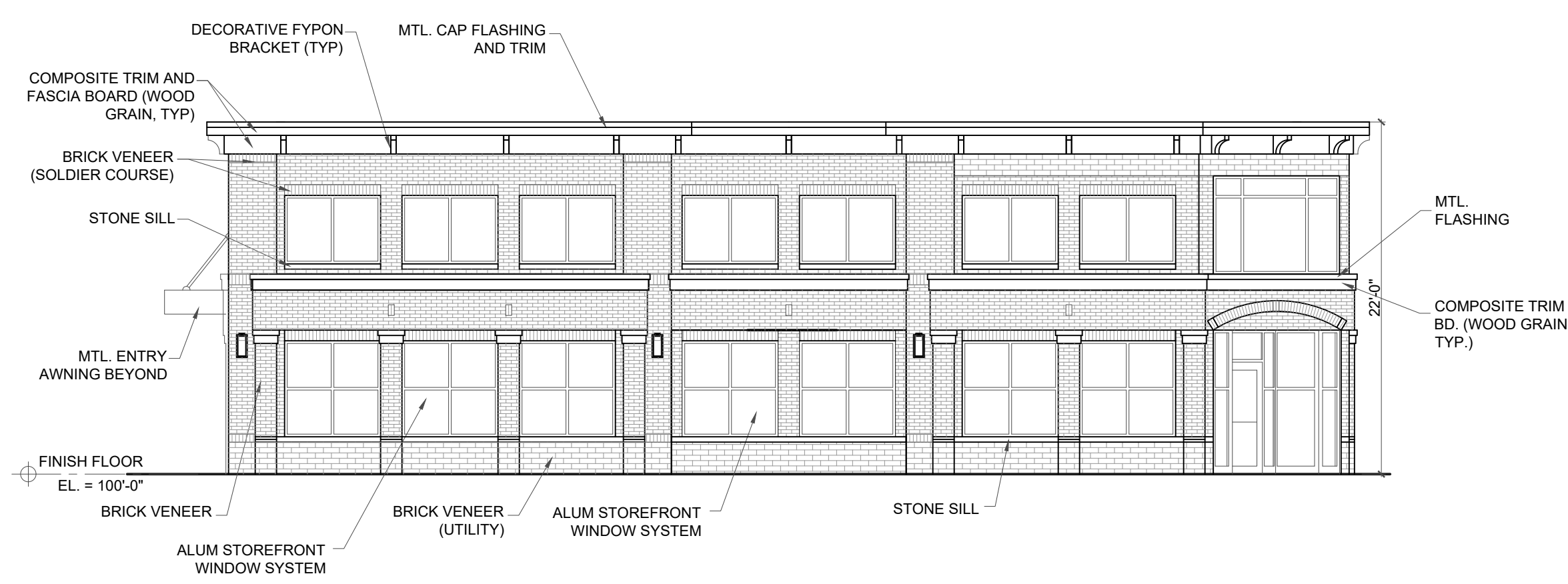
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A2 SOUTHEAST ELEVATION
SCALE: 1/8" = 1'-0"



4
A2 NORTHEAST ELEVATION
SCALE: 1/8" = 1'-0"

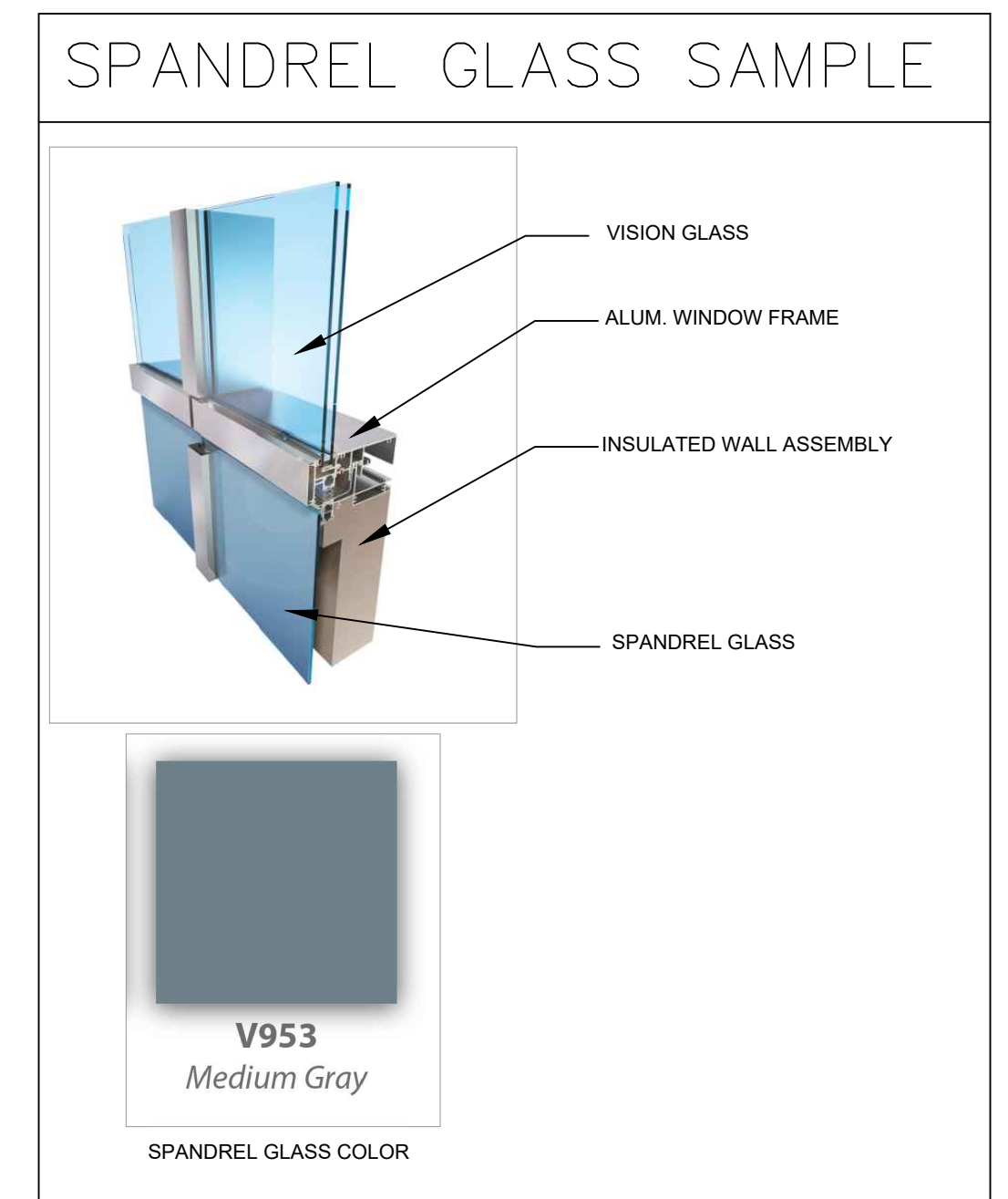


1
A2 EASTERN ELEVATION
SCALE: 1/8" = 1'-0"



3
A2 WESTERN ELEVATION
SCALE: 1/8" = 1'-0"

| NORTH ELEVATION MATERIAL CALCULATIONS | SOUTH ELEVATION MATERIAL CALCULATIONS |
|---|---|
| TRANSPARENCY CALCULATIONS: TOTAL AREA OF CALCULATIONS 792 SF 360 SF OF GLASS = 45% THEREFORE OK BUILDING MATERIAL PERCENTAGES: BRICK MASONRY = 91% OF BUILDING MATERIALS COMPOSITE TRIM AND METALS = 9% OF BUILDING MATERIALS | TRANSPARENCY CALCULATIONS: TOTAL AREA OF CALCULATIONS 792 SF 573 SF OF GLASS = 72% THEREFORE OK BUILDING MATERIAL PERCENTAGES: BRICK MASONRY = 91% OF BUILDING MATERIALS COMPOSITE TRIM AND METALS = 9% OF BUILDING MATERIALS |
| WEST ELEVATION MATERIAL CALCULATIONS TRANSPARENCY CALCULATIONS: TOTAL AREA OF CALCULATIONS 420 SF 310 SF OF GLASS = 73% THEREFORE OK BUILDING MATERIAL PERCENTAGES: BRICK MASONRY = 92% OF BUILDING MATERIALS COMPOSITE TRIM AND METALS = 8% OF BUILDING MATERIALS | EAST ELEVATION MATERIAL CALCULATIONS TRANSPARENCY CALCULATIONS: N/A (REAR BUILDING ELEVATION) BUILDING MATERIAL PERCENTAGES: BRICK MASONRY = 96% OF BUILDING MATERIALS COMPOSITE TRIM AND METALS = 4% OF BUILDING MATERIALS |



SPEED ARCHITECTS
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5390 LONDON/DERRY ST. SE., KENTWOOD, MI. 49508
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PROPOSED BUILDING ADDITION FOR:
INTERNATIONAL BEVERAGE
6859 CASCADE ROAD SE
GRAND RAPIDS, MICHIGAN 49546

Drawn By
BGS
Date Drawn
06/10/25
PLANNING
Revisions
No. _____ Date _____
No. _____ Date _____
No. _____ Date _____
No. _____ Date _____
No. _____ Date _____
Issue Date: _____
PROJECT NUMBER:
23-006P
SHEET:
A2

PHOTOMETRIC EVALUATION
 NOT FOR CONSTRUCTION
 Based on the information provided, all dimensions and luminaire locations represent a recommended application. The engineer and/or architect must determine the applicability of the layout regarding existing or future field conditions.
 This lighting layout represents illumination levels calculated using laboratory data taken under controlled conditions in accordance with the Illuminating Engineering Society (IES) approved method. Actual performance of a manufacturer's luminaire may vary due to changes in electrical voltage, tolerance in LEDs, and other field conditions. Calculations may not include obstructions such as buildings, cars, landscaping, or other architectural elements. Fixture nomenclature may not include mounting hardware or poles. This layout is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

DESIGNED FOR:




INTERNATIONAL BEVERAGE
 ADDRESS

SALES
 TXMCBRIDE

DATE
 XX28.2025

DESIGNER
 J YONKERS

REVISIONS

| DATE | NAME |
|------|------|
| XX | XX |

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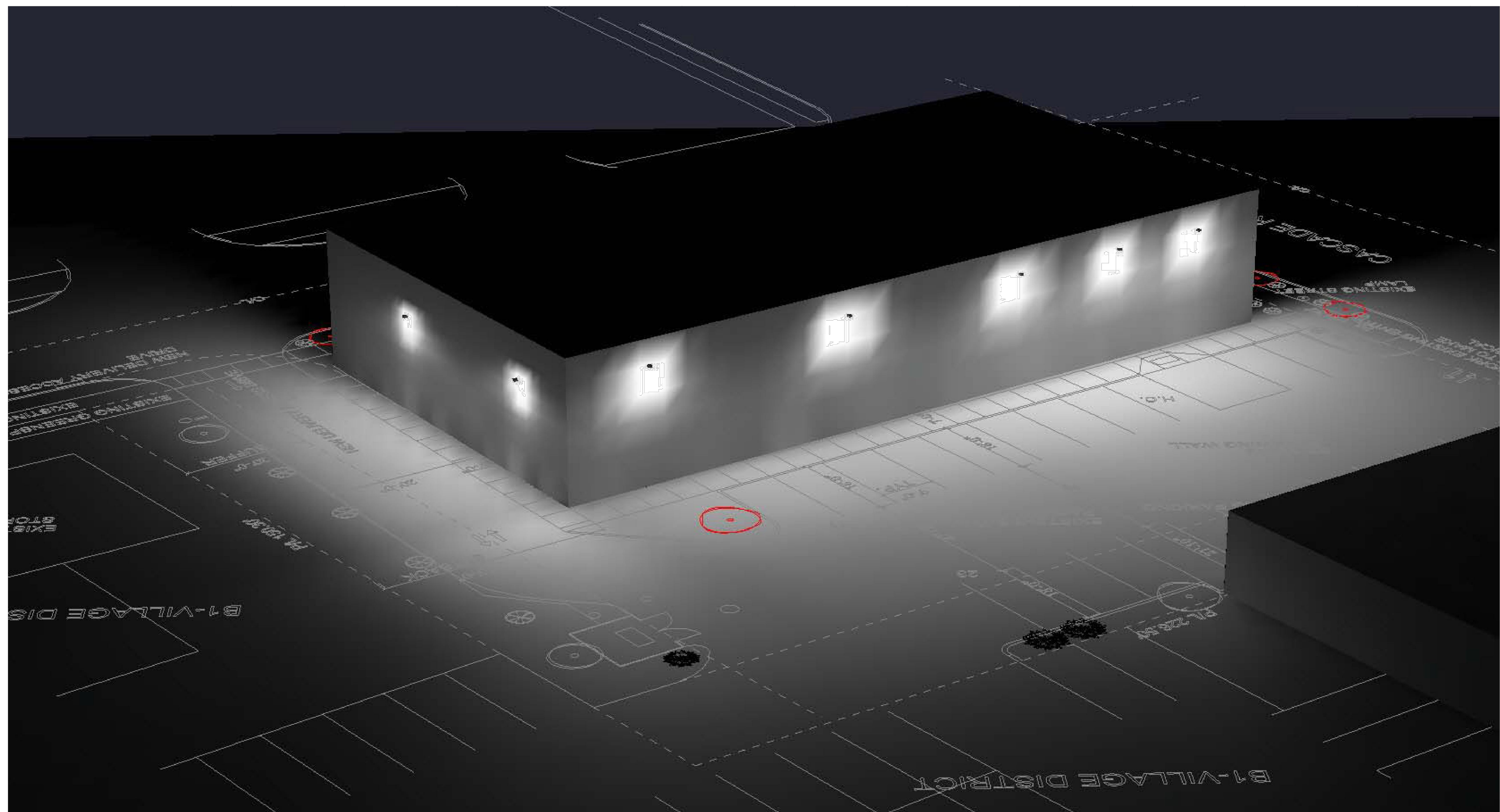
SHEET
1

PHOTOMETRIC PLAN
 SCALE: NTS

| Luminaire Schedule | | | | | | | | | | |
|--------------------|-----|-------|------------|-------|------------------------|----------------------|------------|----------|-----------|--------|
| Scenario: GEN | | | | | | | | | | |
| SYMBOL | QTY | LABEL | ARRANGMENT | LLF | [MANUFAC] | DESCRIPTION | MNT HEIGHT | MNT TYPE | TLT WATTS | LUMENS |
| → | 2 | WP2 | Single | 0.921 | COOPER - McGRAW-EDISON | GALN-SA1A-740-U-T2 | 16 | WALL | 66 | 4654 |
| → | 5 | WP4 | Single | 0.921 | COOPER - McGRAW-EDISON | GALN-SA1C-740-U-T4FT | 19 | WALL | 285 | 7098 |

| Calculation Summary | | | | | | | |
|---------------------|-------------|-------|------|-----|-----|---------|---------|
| Scenario: GEN | | | | | | | |
| Label | CalcType | Units | Avg | Max | Min | Avg/Min | Max/Min |
| LIGHT TRESPASS | Illuminance | Fc | 0.05 | 0.4 | 0.0 | N.A. | N.A. |
| PARKING LOT | Illuminance | Fc | 1.90 | 4.9 | 0.5 | 3.80 | 9.80 |

NOTES:
- CALC AT GRADE



CTA LIGHTING & CONTROLS
908C West River Center Dr
Comstock Park, MI 49321
616.647.2400
www.cta-lc.com

PHOTOMETRIC EVALUATION
NOT FOR CONSTRUCTION
Based on the information provided, all dimensions and luminaire locations represent a recommended application. The engineer and/or architect must determine the applicability of the layout regarding existing or future field conditions.
This lighting layout represents illumination levels calculated using laboratory data taken under controlled conditions in accordance with the Illuminating Engineering Society (IES) approved method. Actual performance of a manufacturer's luminaire may vary due to changes in electrical voltage, tolerance in LEDs, and other field conditions. Calculations may not include obstructions such as buildings, trees, landscaping, or other architectural elements. Fixture nomenclature may not include mounting hardware or poles. This layout is for photometric evaluation purposes only and should not be used as a construction document or as a field document for ordering product.

DESIGNED FOR:



INTERNATIONAL BEVERAGE
ADDRESS

SALES
TXMCBRIDE
DATE
XX28.2025
DESIGNER
J YONKERS

| REVISIONS | |
|-----------|------|
| DATE | NAME |
| XX | XX |

SHEET

2

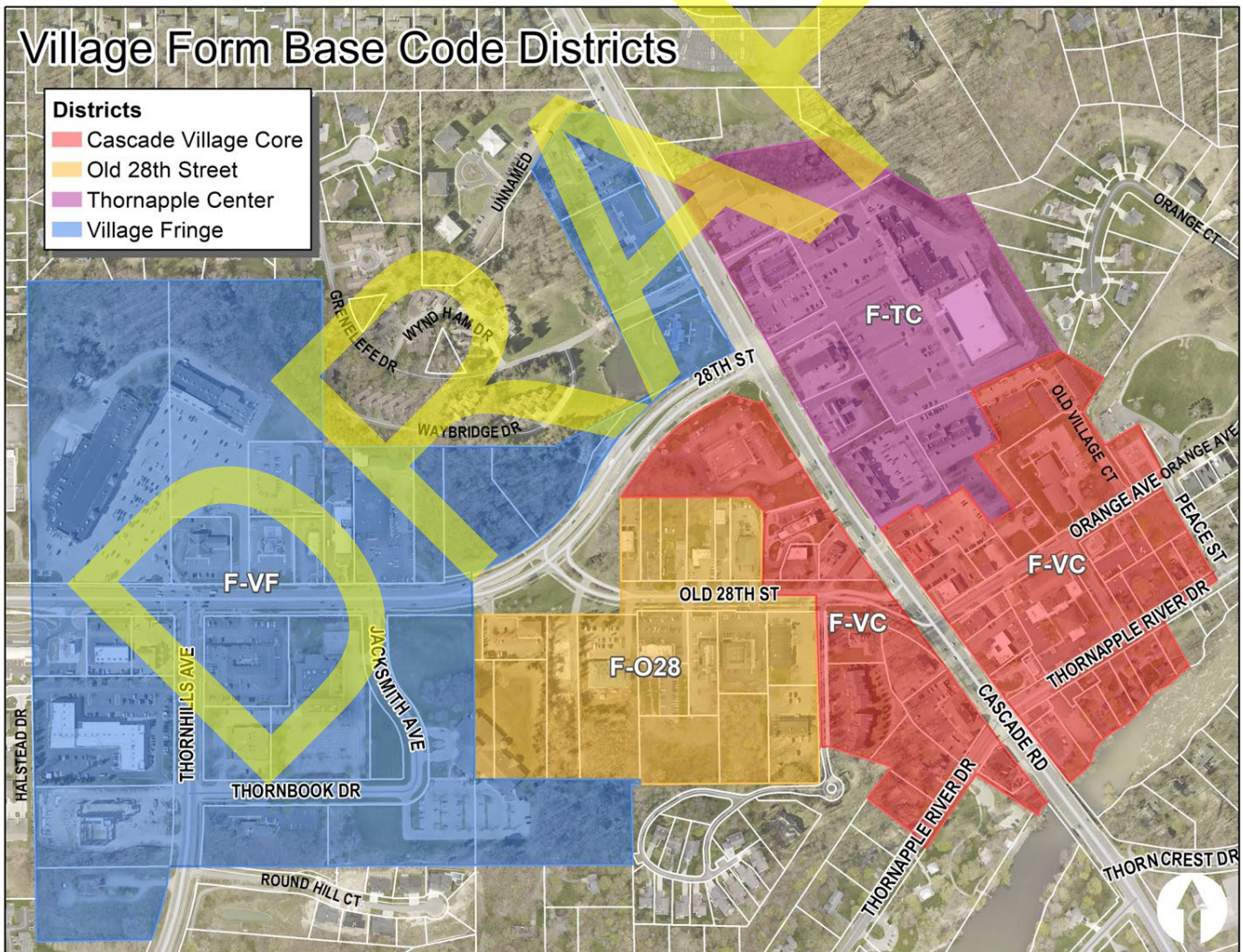
SCHEDULES

SCALE: NTS

Article 8. Form Based Code

Section 8.1 Purpose, Intent, and Applicability

- A. **Purpose and Intent.** The intent of the Form Based Code is to preserve, protect, and enhance the unique character of Cascade Village. The Form Based Code allows for a wide range of uses and encourages vertical mixed use development, while also providing standards on building massing, form, architectural features, and their relationship to the public realm. Rather than being based on Use and Dimensional Standards, the Form Based Code zone districts achieves this by regulating Building Types and Building Envelopes in the 4 Sub-Districts.
- B. Refer to Article 2, Section 2.5 for individual descriptions of the Form Based Code Districts.



C. Applicability.

1. Compliance with the requirements of this Article shall be required whenever a new principal building is constructed, or when the footprint or height of a principal building are expanded.
2. Site Plan Approval as described in Section 14.7 shall be required for all developments subject to this Article. Developments subject to this Article shall not be eligible for Administrative Site Plan Approval under Section 14.7.D.
3. All lots within the Form Based Code Districts existing prior to [insert adoption date] shall be considered conforming and buildable
4. **Village Design Review Committee.** Prior to the Planning Commissions consideration of a Site Plan, the Cascade Village Design Review Committee shall review the Site Plan in accordance with the requirements and procedures in Section 14.6.
5. **Relationship to Planned Unit Developments.**
 - a. The provisions of this Article shall not be waived or altered through a Planned Unit Development Agreement.
 - b. For lots where Planned Unit Developments have been approved, the Planned Unit Development, as approved, shall supersede the Overlay. However, any amendment to the Planned Unit Development after the effective date of this Article must include provisions replacing all conflicting provisions of the Planned Unit Development with provisions that comply with this Article. Alternatively, the property owner may choose to void the Planned Unit Development, and utilize the provisions of this Article to govern the expansion, improvement, alteration, or redevelopment of the lot in question.
6. **Conflicts.** In the event of a conflict, the regulations of this Article shall supersede all other regulations in this Ordinance.

Section 8.2 Permitted Uses and Dimensional Requirements

- A. **Permitted and Special Uses.** The Permitted and Special Uses shall be as described in Article 5.
- B. **Residential Density.** There shall be no maximum residential density in any Form Based Code District, provided that all Building Envelope and Building Design requirements are met.
- C. **Schedule of Dimensional Regulations in Form-Based Districts.** Refer to Section 6.1.
- D. The maximum building height may be expanded to allow for additional housing units or other permitted uses, by Special Land Use Approval, only in the F-VC district.

Section 8.3 Street Hierarchy and Corridor-Specific Regulations

- A. **Cascade Road and 28th Street.** As high-traffic, high-speed thoroughfares, these corridors require special and specific design of the built environment to support walkability and fine-grain village form. For that reason, the following shall apply:
 1. Special setbacks shall apply along the Cascade Road and 28th Street frontages, as described in Section 6.1.
 2. All buildings on lots abutting Cascade Road or 28th Street must have a working front entrance open to the general public facing Cascade Road and/or 28th Street. Entrances shall be designed so that architectural details enhance their appearance and prominence so that they are recognizable from the street and parking areas, and shall meet the requirements of Section 8.4.D.1.
 3. A sidewalk, at least six feet wide, open to the general public, and connecting to any existing sidewalks at the side lot lines, must be constructed along the road frontage, if one does not already exist.



4. A clear, obvious, attractive, and safe pathway must be created from the sidewalk to the front entrance, consisting of walkways and crosswalks perpendicular to the nearest section of the adjacent street.. Curbed and landscaped islands or bump-outs, featuring walkways, must be created within parking lots to ensure no crosswalk exceeds 30 feet in length.
 5. Frontage Landscaping:
 - a. Along 28th Street and/or Cascade Road, within all Form Based Districts, 1 tree and 2 shrubs per 40 feet must be planted between the sidewalk and the curbline of the roadway, unless such landscaping is prohibited by MDOT or the Kent County Road Commission.
 - b. An additional 1 tree and 4 shrubs per 80 feet must be planted within the front setback between the right-of-way line and the front of the building, unless the setback is under 15 feet, in which case the Planning Commission may waive or reduce the tree requirement, but the shrubs shall still be required
 - c. This section shall supersede all other frontage landscaping requirements in this Ordinance but shall not be understood to exempt lots in the Form Based Code Districts from all other requirements of Article 11.
 6. New driveways to 28th Street or Cascade Road shall not be created, unless the applicant can demonstrate to the Planning Commission's satisfaction that there are no existing driveways, abutting public streets, or abutting private/internal streets that can provide access to the lot in question.
 7. Driveways must be designed to have symmetrical curbs on either side, and to encourage slow speeds entering parking lots and crossing public sidewalks. The Planning Commission may allow the relocation of a driveway to meet this standard.
 8. Parking lots shall be setback from the Cascade Road or 28th Street by at least the minimum setback distance required for principal buildings.
 9. Parking lots visible from a public street, sidewalk, or adjacent residential district or use shall be screened by a decorative masonry wall, constructed along the edge of the parking lot pavement, that is not less than three (3) feet, and no greater than four (4) feet high. The design of the knee wall must be consistent with the Cascade Township Streetscape Design Plan. However, the wall must provide a break at intervals no greater than 50 ft. to allow pedestrian access, and at those breaks, a walkway must be provided to the public sidewalk.
 10. The 50 feet of the first floor of a building closest to the roadway along 28th Street or Cascade Road shall not be a residential use.
 11. Within the first 250 feet from 28th Street, any residential uses must be Mixed Use, and adhere to all applicable standards.
- B. Other Public Roadways:** The following shall apply to all other public roadways within the Form Based Code Districts, including, but not limited to, Thornapple River Drive, Old 28th Street, Orange Street, and Thornhills Drive.
1. All buildings must have a working front entrance facing all public roadways, open to the public unless the entire frontage is occupied by residential uses. Entrances shall be designed so that architectural details enhance their appearance and prominence so that they are recognizable from the street and parking areas, and shall meet the requirements of Section 8.4.D.1. For lots that abut Cascade Road or 28th Street, the Planning Commission may waive this requirement for frontages other than Cascade Road or 28th Street, provided that the requirements of Sections 8.3.A.2-4 are met.
 2. A sidewalk, at least six feet wide, open to the general public, and connecting to any existing sidewalks at the side lot lines, must be constructed along the road frontage, if one does not already exist.
 3. For buildings built with a front setback, a clear, obvious, attractive, and safe pathway must be created from the sidewalk to the front entrance, consisting of walkways and crosswalks. Curbed and landscaped islands or bump-outs, featuring walkways, must be created within parking lots to ensure to no crosswalk exceeds 30 feet in length.



4. **Frontage landscaping as described below shall be required.** This section shall supersede all other frontage landscaping requirements in this Ordinance, but shall not be understood to exempt lots in the Form Based Code Districts from all other requirements of Article 11.
 - a. **Roadways within the F-VC District.** 1 tree 40 feet must be planted between the sidewalk and the curblineline of the roadway, unless such landscaping is prohibited the Kent County Road Commission. An additional 1 tree and 4 shrubs per 80 feet must be planted within the front setback between the right-of-way line and the front of the building, unless the setback is under 15 feet, in which case the Planning Commission may waive or reduce the tree requirement, but the shrubs shall still be required. Except for the required walkway in Subsection 4, the first 6 feet closest to the sidewalk must have a permeable ground cover such as grass or mulch.
 - b. **Roadways within the F-O28 District.** 1 tree and 2 shrubs per 40 feet must be planted between the sidewalk and the curblineline of the roadway, unless such landscaping is prohibited the Kent County Road Commission. An additional 1 tree and 4 shrubs per 80 feet must be planted within the front setback between the right-of-way line and the front of the building, unless the setback is under 15 feet, in which case the Planning Commission may waive or reduce the tree requirement, but the shrubs shall still be required.
 - c. **Roadways within the F-VF and F-TC Districts.** 1 tree and 2 shrubs per 40 feet must be planted between the sidewalk and the curblineline of the roadway, unless such landscaping is prohibited the Kent County Road Commission. An additional 1 tree and 4 shrubs per 80 feet must be planted within the front setback between the right-of-way line and the front of the building, if the building has a setback of 20 feet or greater. An additional 1 tree and 4 shrubs per 80 feet must be planted within the front setback between the right-of-way line and the front of the building, unless the setback is under 15 feet, in which case the Planning Commission may waive or reduce the tree requirement, but the shrubs shall still be required. Except for the required walkway in Subsection 4, the first 6 feet closest to the sidewalk must have a permeable ground cover such as grass or mulch.
5. Driveways must be designed to have symmetrical curbs on either side, and to encourage slow speeds entering parking lots and crossing public sidewalks.
6. Parking lots visible from a public street, sidewalk, or adjacent residential district or use shall be screened by a decorative masonry wall, constructed along the edge of the parking lot pavement, that is not less than three (3) feet, and no greater than four (4) feet high. The design of the knee wall must be consistent with the Cascade Township Streetscape Design Plan. However, the wall must provide a break at intervals no greater than 50 ft. to allow pedestrian access, and at those breaks, a walkway must be provided to the public sidewalk.
- C. **Private Roadways:** The Form Based Code Districts shall be exempt from the Township's ban on private streets in Section 10.2.B, provided that all of the following requirements are met. All new public roads constructed within the Form Based Districts shall also be subject to the requirements of this Section.
 1. The private road must meet all requirements of Section 10.2, except those that conflict with this Section, in which case this Section shall supersede.
 2. The private road must be contained within an easement or right-of-way at least 66 feet wide, and must allow permanent, unrestricted access to the general public. The private road must also be subject to a permanent maintenance agreement, with a dedicated funding mechanism approved by the Planning Commission and Township Attorney. The easement, maintenance agreement, and funding mechanism shall not be altered without approval of the Township Board.
 3. The easement or right-of-way must include the following:
 - a. Two-way drive lanes, at least 10 feet in width each.
 - b. A sidewalk, at least five feet wide, open to the general public, and connecting to any existing sidewalks at the side lot lines, on both sides of the road.
 - c. Curbs and associated stormwater infrastructure along both sides of the roadway.
 - d. A landscape tree lawn, at least 5 wide, between the sidewalk and the curb containing at least one tree per 40 feet of road frontage.



- e. On-street parallel or angled parking, if proposed, shall meet the dimensional requirements of Article 10.
 - f. The private road shall have a name and assigned addresses as approved by the US Post Office. The name must be approved by the Planning Commission, and shall reflect and enhance the historic character of Cascade Village.
4. Road networks must meet the following standards:
- a. **Existing Abutting Roadways.** All new road networks shall connect to all existing public streets that abut the lot in question, unless the applicant demonstrates to the satisfaction of the Planning Commission there is a physical, legal, public safety, or environmental preservation reason why a connection is not possible, or why a road connection should be replaced by a non-motorized pathway connection instead.
 - b. **Existing Stub Streets.** When a lot is developed, connections must be made to all existing stub streets, rights-of-way, or other access points that connect to the lot in question, unless the applicant demonstrates to the satisfaction of the Planning Commission there is a physical, legal, public safety, or environmental preservation reason why a connection is not possible, or why a road connection should be replaced by a non-motorized pathway connection instead.
 - c. **Creation of New Stub Streets.** For any development that includes the construction of new roadways, stub streets must be built to connect to all property lines that are 300 feet or longer. One stub street is required for every 300 feet of property line, though the minimum distance between stub streets shall only be 150 feet, to give flexibility in design. The Planning Commission may waive or alter this requirement, including allowing a non-motorized pathway connection in lieu of a stub street, if the applicant demonstrates to the satisfaction of the Planning Commission there is a physical, legal, public safety, or environmental preservation reason why a connection is not possible.
 - d. **Cul-de-sacs or dead-end streets shall be prohibited,** unless the applicant demonstrates to the satisfaction of the Planning Commission there is a physical, legal, public safety, or environmental preservation reason why a connection is not possible.
 - e. **Gated Communities Prohibited.** All private roads shall be open and available to the general public for access to the properties served by the street. Streets shall not be barricaded, gated, or blocked in any way to prevent access by the general public.
 - f. **Street Intersections.** Streets shall intersect one another at right angles or as nearly at right angles as conditions permit. Roads shall maintain consistent alignment through intersections. Street jogs with offsets of less than 125 feet shall not be permitted. Wherever more than two streets would coverage at one point, an appropriate design solution must be presented for approval by the township engineer and the planning commission.
5. Existing private drives or drive aisles located on private property may be converted to private roadways under this Ordinance, and thereafter be used as the primary access for buildings constructed along the private roadway. In order for the private drive to be approved, all requirements of Subsection 3 must be met, except that the Planning Commission may allow the easement to be under 66 feet wide, if the existing private drive or drive aisle is below 66 feet, and all other provisions of Subsection 3 can be met.
6. If approved, private roadways shall be treated like public roads for all regulations of the Article, including, but not limited to, front setback requirements.
7. In addition, the following shall apply to lots taking access from private roads:
- a. All buildings on lots taking access from an approve private road must have a front entrance facing the private roadway. Entrances shall be designed so that architectural details enhance their appearance and prominence so that they are recognizable from the street and parking areas, and shall meet the requirements of Section 8.4.D.1. For lots that abut public roadways as well as a private roadway, the Planning Commission may waive this requirements provided that an entrance meeting all applicable requirements is included facing a public roadway.

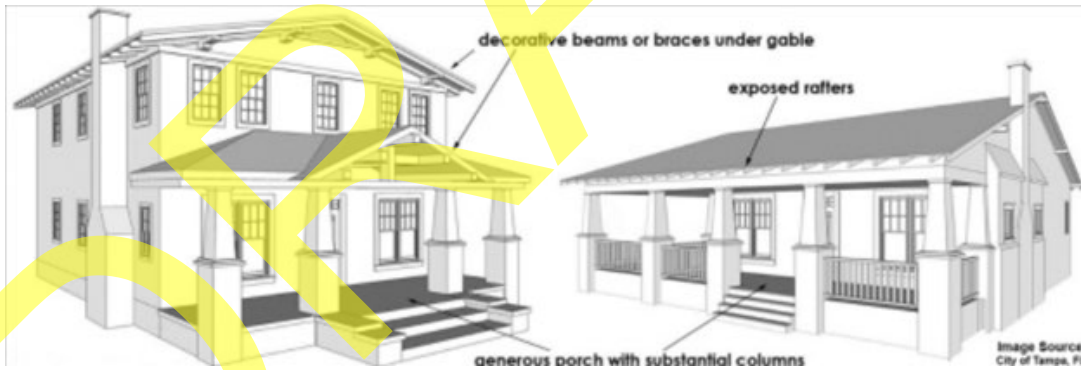


- b. For buildings built with a front setback, a clear, obvious, attractive, and safe pathway must be created from the sidewalk to the front entrance, consisting of walkways and crosswalks. Curbed and landscaped islands or bump-outs, featuring walkways, must be created within parking lots to ensure to no crosswalk exceeds 30 feet in length.
- c. Parking lots visible from a street, sidewalk, or adjacent residential district or use shall be screened by a decorative masonry wall, constructed along the edge of the parking lot pavement, that is not less than 3 ft. and no greater than 4 ft. High. If the wall abuts the sidewalk, it shall be no more than 4 feet in height. However, the wall must provide a break at intervals no greater than 50 ft. to allow pedestrian access, and at those breaks, a walkway must be provided to the sidewalk.

Section 8.4 Regulations Applicable to New Construction

A. **Architectural Design Options.** All newly constructed buildings be designed to achieve key characteristics of one of three Midwestern vernacular architectural styles - Craftsman, Main Street, or Victorian. The characteristics of those styles follow. The Planning Commission shall determine whether a design adequately addresses the key design aspects of each style, based on the specific requirements of Subsections C and D as well as the Planning Commission's interpretation of the design as compared to the following descriptions:

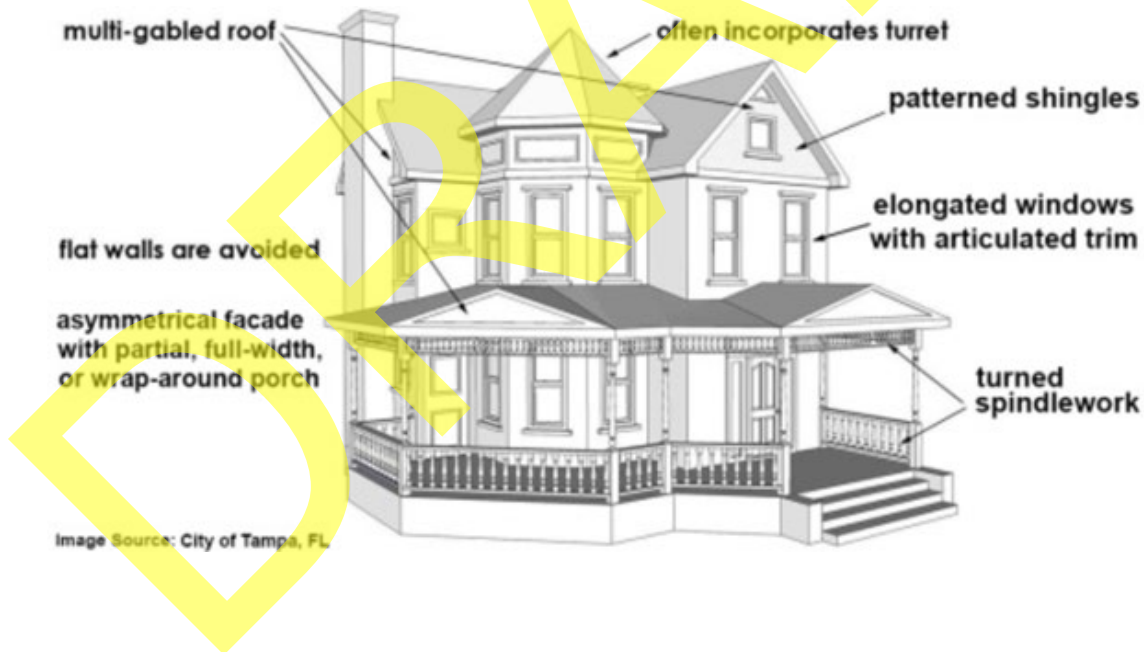
1. **Craftsman Style.** The architectural style emphasizes homes ranging from 1 to 2.5 stories in height, featuring low-pitched gabled or pitched roofs with wide overhangs, often adorned with prominent dormers and exposed rafters. Facades may be asymmetrical but maintain balanced proportions. A defining element is the large, covered front porch supported by tapered or square columns resting on a pier. Horizontal design lines, large double-hung windows with deep sills, and intricate decorative trims enhance the aesthetic, maximizing natural light and craftsmanship. Traditional Craftsman-style showcase detailed woodwork, decorative moldings, and exposed beams, especially in cases where second-story patios exist. This style encompasses subcategories such as Prairie style, American Foursquare, and Craftsman Bungalow, offering flexibility for both small and large homes, typically ranging from 1,200 to 2,600 square feet.



2. **Main Street.** Italianate-style commercial architecture, commonly found in 19th-century downtown Main Street buildings across the U.S., particularly in the Midwest, is characterized by its ornate detailing and vertical proportions. These buildings typically feature tall, narrow windows with arched or segmental tops, often adorned with decorative moldings or lintels. Elaborate bracketed cornices define the roofline, while decorative window hoods and contrasting trim further emphasize the façade. Constructed primarily of brick, these buildings are often painted in various colors to highlight architectural details. The ground level typically features large display windows suited for retail use, with office or residential spaces above. Entrances are positioned directly along the sidewalk, often recessed within the storefront, with secondary access points at the side or rear. Parapets and cornices add visual interest and height variation. Parking is generally not located in the front; instead, shared lots or rear alley-loaded parking are common.



3. **Victorian.** Victorian-style buildings are characterized by their ornate, intricate detailing and vertical, asymmetrical forms. Typically ranging from 2 to 3 stories in height, these homes feature steeply pitched gabled or hipped roofs, often adorned with multiple gables. The façades are complex and asymmetrical, with vertical design lines that enhance the sense of height. Prominent towers, usually positioned at the corners, add to the dramatic presence of the home. Roof overhangs, beams, and gable ends are highly detailed, often featuring ornamental trims. Some Victorian homes are distinguished by colorful exteriors that highlight their intricate features. Additionally, bay windows are a common element, contributing to the home's unique, dynamic appearance.



B. **Architectural Variation Requirement.** The following shall apply to all new construction within the Form Based Code Districts:

1. For developments consisting of a single building, the Architectural Design Option shall not be the same as more than one adjacent building. Buildings across a street shall not be counted for this purpose.
 - a. Each Main Street style building must have a vertical architectural element or other architectural differentiation every 20 feet to break up the design of the façade.
2. For developments containing more than one building:

- a. No two buildings shall be identical in design.
 - b. No more than 60% of the buildings shall be the same Architectural Design Option.
 - c. Each Architectural Design Option must represent at least 20% of the buildings, except for developments with 5 or fewer buildings, which shall be exempt from this requirement.
- C. **Building Materials.** Materials shall reflect and complement the materials and construction techniques of West Michigan's regional architecture. The following materials are permitted on exterior facades and building walls, for each Building Design Option. Within the Form Based Code Districts, all exterior facades shall be subject to these requirements. The Planning Commission may allow the use of materials that give the appearance of the materials listed below, provided that the replacement material will retain a high-quality appearance, without degradation, over the long term. A sample of proposed building materials must be submitted to the Village Design Review Committee and Planning Commission for consideration during review of the proposed building design.
1. **Craftsman**
 - a. **Brick:** Used for chimneys, accent features, and exterior construction. Colors must be dark and muted, not bright or pastel.
 - b. **Wood:** Employed for sidings, beams, and shingles.
 - c. **Stone:** Used for chimneys, piers, and base accents.
 - d. **Stucco:** For textured finishes.
 - e. **Stained Glass:** Adds decorative and functional elements.
 - f. **Fiber Cement:** A modern, durable alternative to wood siding.
 - g. **Asphalt Shingles:** Commonly used for roofing.
 2. **Victorian**
 - a. **Wood Siding:** Predominantly used for the walls, offering a warm, textured finish.
 - b. **Brick:** In red, brown, or tan hues, adding a sturdy and traditional aesthetic.
 - c. **Stone:** Limestone or sandstone is often used for its durability and luxurious appearance, especially in more upscale constructions.
 - d. **Stucco:** Employed in Italianate Victorian styles, providing a smooth, refined exterior.
 - e. **Roofing:** Slate, asphalt, and wood shingles are used to create distinct rooflines and contribute to the home's character.
 - f. **Metal:** Cast iron or copper trims and cresting add decorative elements that highlight craftsmanship and fine detail.
 3. **Main Street**
 - a. **Brick.** Typically red, brown, blonde, or tan clay brick. Can feature painted or glazed surfaces. Often arranged in Flemish bond or running bond patterns, though other patterns may be approved by the Planning Commission. For a Main Street building, at least 80% of the front facade must be brick or a brick-like material approved by the Planning Commission.
 - i. There must be a predominant brick color. Other colors shall only be used for Horizontal Expression lines, accenting doors and windows, and other detailing as approved by the Planning Commission.
 - b. **Stone:** Limestone or sandstone used for lintels, sills, and decorative banding. Granite or marble are also acceptable. Stone should be used at the bottom of buildings, with brick above.
 - c. **Metalwork:** For architectural detailing only.



D. Building Design Elements

1. Entrances

- a. **When Required.** The regulations of this section shall apply to all entrances facing public streets, or private streets approved under Section 8.3.C.
- b. Entry door threshold shall be at the same elevation as adjacent sidewalk grade (zero step entry), except where a porch has been approved under Subsection D.2.
- c. The doorway must be recessed at least four (4) feet, and may be recessed up to a maximum of 10 feet, behind the front wall of the building.
- d. The entrance shall either be designed as a **storefront**, with a doorway flanked by windows meeting the requirements of Subsection 4 that are at least 12 feet wide on either side, and extend from 2 feet above grade to a point even with the top of the door, or as a **door yard** with a unique decorative architectural feature consistent with the description of the chosen Architectural Design Option that differentiates the entrance from the rest of the facade in Subsection A and a canopy or awning meeting the requirements of Subsection D.6.
- e. For a residential building with three or fewer dwelling units, only one front entrance is permissible. Side and rear entrances are permitted. Residential buildings with four dwelling units, up to two front entrances are permitted. In residential buildings with five or more residential units all dwelling units are permitted to have a front entrance.

2. Porches. Porches shall be permitted if they meet the following requirements, and where a zero step entry has been provided elsewhere in the building with barrier-free access to both ADA-compliant parking spaces and a public sidewalk.

- a. **Victorian.** Porches on Victorian-style buildings shall be at least 6 feet in depth, and shall feature a decorative railing and pillars. The porch must extend across at least one entire frontage of the building facing a roadway, and must wrap around on at least one other side, covering at least 20% of the second facade. The porch must be covered with a roof, which must be pitched as required in Subsection D.5.
- b. **Craftsman.** Porches on Craftsman-style buildings shall be at least 6 feet in depth, and shall feature columns consistent with the description of Craftsman architecture in Subsection A. They shall extend across at least 60% of a facade facing a roadway. The porch must be covered with a roof, which must be pitched as required in Subsection D.5.
- c. **Main Street:** Porches shall not be permitted.

3. Corner Treatments. All buildings on corner lots, including lots with frontage on both public and private roadways, must include corner architectural features designed to provide a welcoming gateway to the block. Acceptable corner architectural features include the following. The Planning Commission may approve alternate architectural features upon determining that they meet the intent of this section, and may reject proposed corner treatments for being too duplicative with nearby corner treatments.

- a. Peaked or decorative roof angled towards the corner.
- b. Exterior wall angled towards the corner. If this option is chosen, the angled portion of the wall may exceed the required maximum setback. This option must include an entrance on the angled wall, facing the corner. The entrance must meet all requirements for entrances in this Article, except for the requirement for recessed entrances. The entrance shall count as the required entrance facing both roadways.
- c. Clocktower or similar tower feature, with a minimum width, along both streets, of at least 10 feet. The tower may exceed the height of the main roof by up to 15 feet and may exceed the maximum height for the district without requiring Special Use Approval. For buildings utilizing the Victorian Architectural Design Option, the Planning Commission may require a tower as the required corner treatment.

- d. Support column for upper floors, leaving open, shaded pedestrian space. This option shall include an entrance to the building from the covered space, as described in Subsection D.3.B. The maximum setback shall be measured to the support column, not the wall. The open space shall not exceed 10% of the building footprint.
 - e. Another option as approved by the Planning Commission that meets the spirit of this subsection.
4. **Windows.** Windows shall meet the following requirements:

- a. **All Facades:** The following shall apply to all building frontages, regardless of whether they face a street:
 - i. Windows shall not span vertically more than one story.
 - ii. Windows shall correspond to interior space and not span horizontally across the building.
 - iii. Windows must have distinguishing architectural feature surrounding them, with at least a section of the surrounding architectural feature above the window, consistent with Architectural Design Options in Section 8.4.A. Changing color does not count to fulfill this requirement.
 - iv. Windows shall not be covered by interior equipment or retail displays.
 - v. Windows shall have horizontal or vertical grills or other decorative internal features, except for first floor windows on buildings using the Main Street Architectural Design Option, for which grills shall be optional. The grills or other decorative features may be applied to the exterior of the glass and need not be integral to the window itself. Grills must intersect each other and the surrounding walls at 90 degree angles.
 - vi. Windows shall have a minimum transparency of 80% Visible Light Transfer (VLT).
- b. **Street Facing and Other Facades:** The following table includes applicable standards for facades that face a street (Street Facing Facades) and ones that do not face a street (Other Facades). No transparency shall be required on side or rear walls with zero setback.

| Façade Type | Required Transparency Percentage | Victorian | Craftsman | Main Street |
|-----------------------|---------------------------------------|-----------|-----------|-------------|
| Street-Facing Facades | First Floor (Windows and Glass Doors) | 50% | 60% | 70% |
| | Upper Floor (Windows) | 30% | 30% | 40% |
| Other Facades | First Floor (Windows and Glass Doors) | 50% | 50% | 40% |
| | Upper Floor (Windows) | 30% | 30% | 40% |

5. **Roofs.** Roofs shall meet the following requirements, based on the proposed Architectural Design Option:
- a. **Victorian:** The roof must be pitched between 10:12 and 18:12. The Planning Commission may Victorian-style buildings that exceed the maximum height due to a high roof pitch without a Special Use Permit, upon determining that the proposed design is appropriate for the character of the Cascade Village.
 - b. **Craftsman:** The roof must be pitched between 4:12 and 6:12, and must include dormer windows facing at least one direction.
 - c. **Main Street.** Pitched roofs shall not be permitted. A flat roof is required, and must include a cornice that extends at least 36 inches above the roofline along the entirety of all street-facing frontages.



6. Expression Line.

- a. **Main Street:** A horizontal line on the façade known as the Expression Line (EL) shall distinguish the base of the building from the remainder to enhance the pedestrian environment. The EL shall be set so that the bottom of the line is no higher than fourteen (14) feet above grade. The EL shall be created by a change in material, a change in design, or by a continuous setback, recess, or projection above or below the EL. Elements such as cornices, belt courses, corbelling, molding, stringcourses, ornamentation, and changes in material or color or other sculpturing of the base, are appropriate design elements to include with an EL.

Section 8.5 Expansion of Existing Buildings

- A. Any expansion of a principal building, including a dimensionally non-conforming building or a building containing a non-conforming use, shall be allowable, but must be approved by the Planning Commission using the Site Plan Approval process. The following shall apply to the Site Plan Review:
 1. Dimensional non-conformities shall not be required to be brought into compliance with Section 8.2.C, but no dimension shall be made more non-conforming than it was previously.
 2. The building must be brought into full compliance with all applicable standards of Section 8.3.
 3. The exterior design of the building must be brought into compliance with the requirements of Section 8.4, to the extent determined practical by the Planning Commission, based on the factors described below:
 - a. The applicant shall select an Architectural Design Option based on the requirements of Section 8.4.B and the Planning Commission shall evaluate the design against the descriptions in Section 8.4.A.
 - b. Any new building materials added to the building must comply with Section 8.4.C. The Planning Commission may allow existing building materials to remain in place, upon determining that the building material is consistent with the spirit of the Architectural Design Option as described in Section 8.5.A.
 - c. The applicant shall provide a written description of how the proposed design complies, or does not comply, with all applicable requirements of Section 8.4.D. The Planning Commission may waive aspects of Section 8.4.D upon determining that the requirement is not practical given the pre-existing design of the building, and that the building still reflects the spirit of the Architectural Design Option as described in Section 8.4.A, even without meeting the requirement in question.
 4. Any permanent demolition of a portion of a structure must result in a conforming resulting structure, or must reduce any previously existing non-conformities.
 5. All other applicable requirements of this Article shall be met.

Section 8.6 General Site Design Provisions

- A. **Lighting.** Light fixture design must be approved by the Planning Commission as part of the Site Plan Review Process, and shall meet the requirements of Article 12, except for the follow requirements and allowances, which shall supersede Article 12.
 1. No freestanding light fixture shall exceed 15 feet in height.
 2. Light fixture design shall be evaluated against the Architectural Design Option descriptions in Section 8.4.
 3. Light fixtures may be approved which do not meet the requirements of Article 10 if they are consistent with light fixture design standards developed by the Downtown Development Authority.
 4. Uplighting of architectural features may be permitted by the Planning Commission, even if the light fixture would otherwise violate a standard of Article 10.
- B. **Landscaping.** Landscaping shall meet the requirements of Article 11, except as described below:



1. The provisions of Section 8.4 and any other provisions of this Article that conflict with Article 11 shall supersede Article 11.
 2. Parking lots with fewer than 20 parking spaces shall not be subject to the requirements of Section 11.5.
- C. **Parking.** The minimum parking requirement for non-residential uses shall be 75% of the requirement listed in Article 10. Residential uses shall meet the full minimum parking requirement listed in Article 10.
- D. **Fences.** Chain link fences shall be prohibited in the Form Based Districts, except accessory to single family homes.
- E. **Shared Trash Receptacles.** Shared dumpster agreements may be approved by the Planning Commission for multiple lots sharing a single dumpster or dumpster enclosure.

Section 8.7 Signage

- A. **General.** The Provisions of the Cascade Township Sign Ordinance (Ordinance 14 of 1997, as amended) applicable to the GB Zone District shall apply within the Form Based Districts, except the provisions of this section shall supersede any conflicting regulations in the Sign Ordinance.
- B. **Freestanding Signs.** Freestanding signs shall only be permitted along road frontages where the principal building is set back at least 25 feet from the right-of-way. No freestanding sign shall exceed 8 feet in height and 48 square feet in area.
- C. **Projecting Signs.**
1. One projecting sign shall be permitted per entrance to a retail or office use.
 2. The projecting signs must be along a street frontage.
 3. Projecting signs shall not exceed 16 square feet.
 4. Projecting signs shall not be square or rectangular, but should instead be circular or irregular shapes to promote visual interest.
 5. The lowest point on a projecting sign must be at least 8 feet above the ground, and shall not be higher than 12 feet. The highest point on the sign shall not be higher than 18 feet above of the ground.
 6. Projecting signs may extend over a public right-of-way or private road easement.
- D. **Illumination.** No sign in the Form Based Districts shall be internally illuminated.
- E. **Electronically Changeable Display.** No electronically changeable display shall be permitted in the Form Based Districts.

Figure 8.1: Form Based District Signage

Section 8.8 Landmark Buildings and Other Waivers

- A. **Landmark Buildings.** The Planning Commission may approve, by Special Land Use Approval, a proposed new building as a Landmark Building. A Landmark Building shall be exempt from the requirements of Section 8.4, but shall meet all other requirements of this Article. The Planning Commission may grant a waiver from the maximum building height for an architectural feature, such as a cupola or steeple. To be approved as a Landmark Building, the Planning Commission shall find that:
1. The building contains one or more of the following uses. Additional uses may also be present in the building, so long as at least one of the uses below will be included.
 - a. Worship Space for a Religious Institution

b. Civic/Municipal/Library Use

2. The building addresses all street frontages to promote a safe and attractive pedestrian environment, and proactively enhances the vision for Cascade Village as expressed in the Master Plan.
3. The proposed use of the building would be significantly hindered in a building designed to meet the Architectural Design regulations.

B. **General Architectural Waivers.** During the Site Plan Approval Process, and upon recommendation of the Village Design Review Committee, the Planning Commission may waive up to two provisions of Section 8.4 upon determining that the building design meets the spirit of the chosen Architectural Design Option as described in Section 8.4.A despite not meeting the specific regulations.

C. **Incompatible Regulations.** If, during the Site Plan Approval process, the Planning Commission finds that two or more requirements of this Article cannot be met simultaneously due to the specific conditions of the site in question, the Planning Commission shall choose which incompatible provision to waive.

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