

**AGENDA**  
**Cascade Charter Township Planning Commission**  
**Monday, September 19, 2022**  
**7:00 pm**  
**2870 Jacksmith Ave**

*Public may access the meeting via video conference software Zoom*  
<https://us02web.zoom.us/j/87044149458>

**Meeting ID: 870 4414 9458**  
**By Phone: +1 301 715 8592**

- ARTICLE 1. Call the meeting to order  
Record the attendance**
- ARTICLE 2. Pledge of Allegiance to the Flag**
- ARTICLE 3. Approve the current Agenda**
- ARTICLE 4. Disclose any Conflict of Interest**
- ARTICLE 5. Acknowledge visitors and those wishing to speak.  
(Comments are limited to five minutes per speaker)**
- ARTICLE 6. Case #22-3737: John Postma  
Public Hearing  
Property Address: 5479 Ranger Hills Drive SE  
Requested Action: Accessory building exceeding 832sqft.**
- ARTICLE 7. Case #22-3738/GDK Construction  
Property Address: 5251 36<sup>th</sup> St  
Requested Action: Site Plan Review for an amendment to an approved site plan for a 55,000 sq ft addition and parking lot renovations.**
- ARTICLE 8. Case #22-3739/Northpointe Bank  
Property Address: 5303 28<sup>th</sup> St Ct  
Requested Action: Basic Plan Review for an amendment to the PUD Ordinance to accommodate an addition to the existing office building.**
- ARTICLE 9. Review of Major Street Plan**
- ARTICLE 10. Old Business**
- ARTICLE 11. Any Other Business**
- ARTICLE 12. Acknowledge visitors and those wishing to speak.  
(Comments are limited to five minutes per speaker)**
- ARTICLE 13. Adjournment**

**Meeting format**

- 1. Staff Presentation**
- 2. Project presentation-**

*Staff report and recommendation*  
*Applicant presentation and explanation of project*

**a. PUBLIC HEARINGS**

- i. *Open Public Hearing. Comments are limited to five minutes per speaker; exception may be granted by the chair for representative speakers and applicants*
- ii. *Close public hearing*

3. **Commission discussion** – *May ask for clarification from applicant, staff or public*

4. **Commission decision - Options**

- a. *Table the decision*
- b. *Deny*
- d. *Approve with conditions*
- e. *Recommendation to Township Board f. approve*

## STAFF REPORT

STAFF REPORT: Case #22-3737  
REPORT DATE: September 14, 2022  
PREPARED FOR: Cascade Charter Township Planning Commission  
MEETING DATE: September 19, 2022  
PREPARED BY: Madison Smith-Jacoby, Zoning Administrator

### APPLICANT:

#### **John Postma**

STATUS  
OF APPLICANT: Property Owner's father

REQUESTED ACTION: The applicant is requesting approval of a Type 1 Special Use Permit for a 30' x 40' accessory building.

EXISTING ZONING OF  
SUBJECT PARCEL(S): R1

GENERAL LOCATION: South of Hall Street and East of Cascade Road

PARCEL SIZE: Approximately 1.02 acre

PROPERTY LOCATION: **5479 Ranger Hills Drive SE, Grand Rapids, Michigan 49546**

EXISTING LAND USE  
ON THE PROPERTY: Residential

ADJACENT AREA  
LAND USES: N – residential  
E- residential  
S – residential  
W – residential

ZONING ON  
ADJOINING PARCELS: N – R1  
S – R1  
E – R1  
W – R1

**STAFF COMMENTS:**

1. Mr. Postma's case is being brought back to Planning Commission due to locational amendments.
  2. The plans have been updated as the drain field location interfered with the previously approved plan. The previous 50-foot setback on the west side yard has been reduced to 24-feet to accommodate the drain field. The plans are still in compliance with the setback ordinance.
  3. The garage cannot be moved to the east as this would interfere with the drain field location when putting in the access drive and all old growth trees would have to be removed to accommodate the building.
  4. The orientation of the building is changed to be parallel with the west property line.
- 
5. The applicant is requesting permission to construct an accessory building on the property. The building will be 30' x 40' (1,200sq ft).
  6. The building will be 12'6" tall as measured to the midpoint of the roof.
  7. The carriage house is intended to house and display high end vehicles. There is no mechanical work or washing proposed as a use in the accessory building. There is no proposed commercial use. It should be noted that accessory buildings cannot be used for living space or to run a business.
  8. The required setback in the side yard is 10' and rear yard setback is 25' minimum.
  9. Any outdoor lighting will have to meet our standards, requiring it to be shielded and downcast.
  10. With less than 3 acres the applicant is only permitted one accessory building. There is currently no other accessory building observed on the property and this will be the first.
  11. The building will be sided with a shingle roof, matching the residential look of the surrounding area and existing home.
  12. There doesn't appear to be many accessory buildings in the nearby area but the proposed size is not uncommon for the Township.
  13. Other approved building at this size, on a similar parcel size, have been approved in previous years. Around the corner on Hall Street a 2,200 square foot garage was approved on a 1.7-acre lot.



**Conditions for Special Use Permit Approval**

Upon review of a Type 1 Special Use Permit for an accessory building, Section 17.03(1)(a) of the Zoning Ordinance requires the Planning Commission to consider several factors. I have listed those items for your consideration followed by my comments for each.

Factors	Comment
The intended use of the building.	The applicant has indicated that the building will be used for storage of vehicles.
The proposed location, type and kind of construction and general architectural character of the building.	The building is planned to be sided with vinyl and a shingle roof.
The size of the building in relation to the house, lot and zoning district.	The property is about 1.04 acres with a home of 2,912 finished living space.
The type and kind of principal and accessory buildings and structures located on properties which are adjoining and in the general area.	There are other small detached buildings in the general area.
The topography and vegetation in the area.	Relatively flat and wooded.
Whether the proposed building will affect the light and air circulation of any adjoining properties.	No impact.
Whether the proposed building will adversely affect the view of any adjoining property owner or occupant.	The location of the building would not have an adverse effect on adjoining property views.
Points of access to the proposed building and their relationship to adjoining properties and the view from the adjacent streets.	An access drive will be installed for the garage.

**STAFF RECOMMENDATION:**

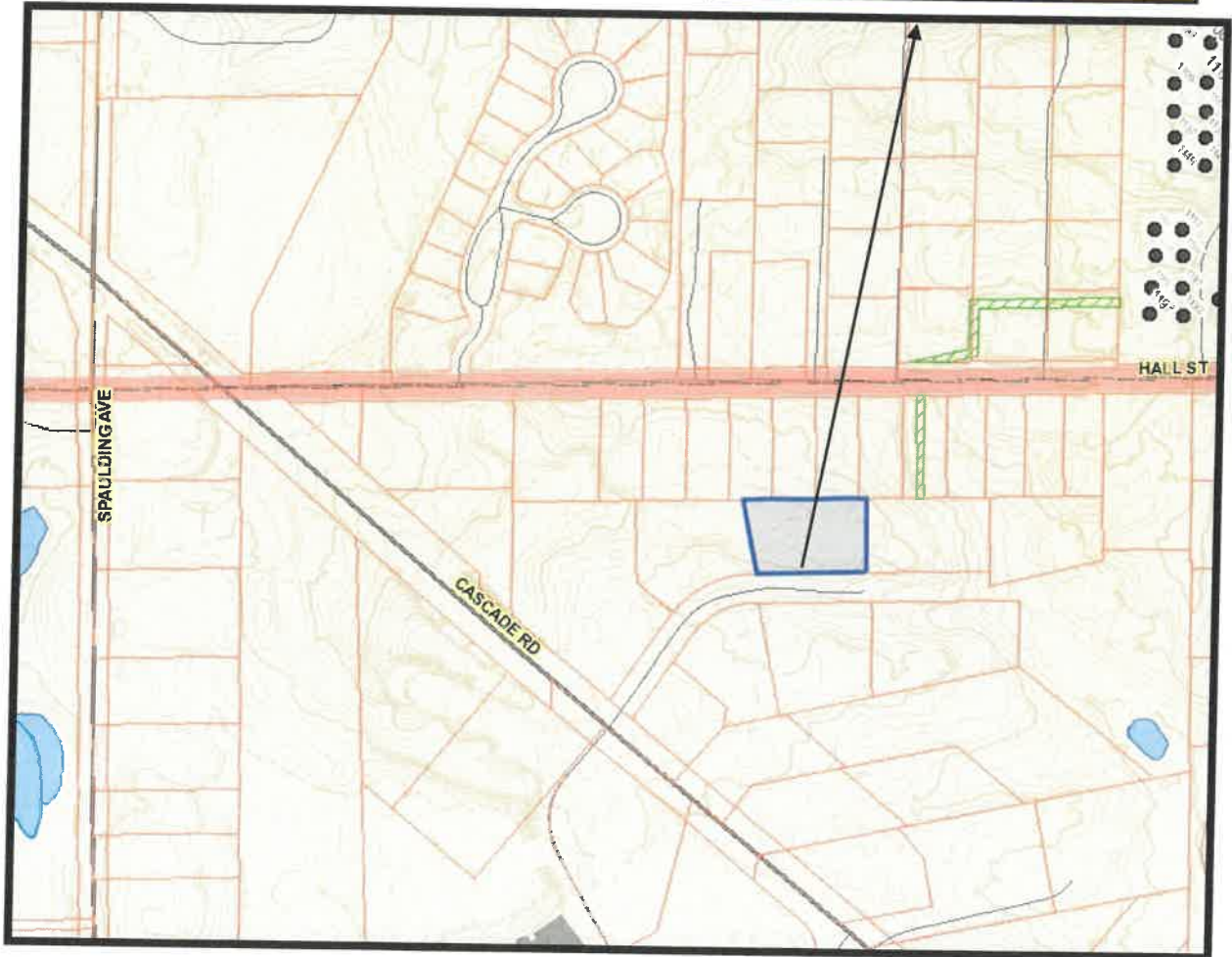
Staff recommends that you APPROVE the amended special use permit as requested with the following conditions. The building should be in compliance with all applicable zoning ordinance regulations, including:

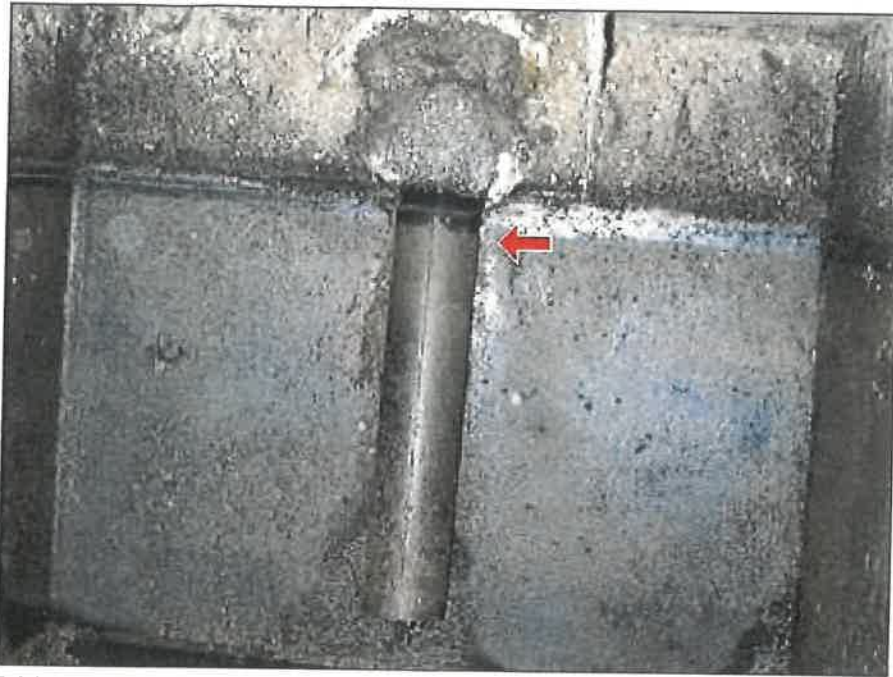
1. The building is not used for living space or to run a business.
2. Any outdoor lighting meets our ordinance standards.

**ATTACHMENTS:**

- Application packet
- Site Plan
- Map
- Accessory Building Inventory

5479 Ranger Hills Dr. SE Grand Rapids, MI



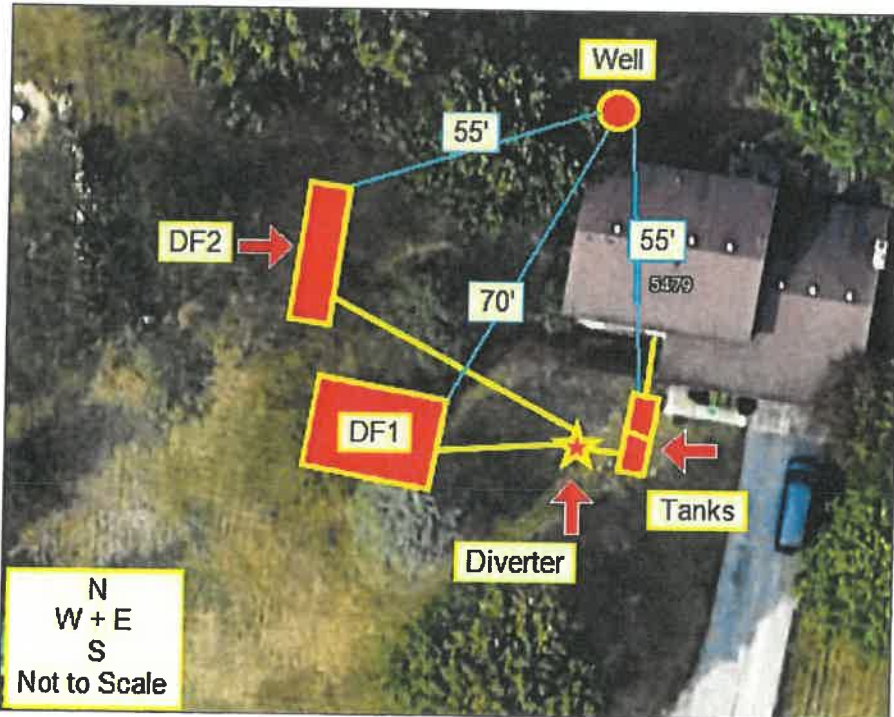


2.3 Item 2(Picture)

**2.4 GENERAL**

**Comments: FUNCTIONAL**

Map of septic system.



2.4 Item 1(Picture)

This report is not valid and cannot be relied upon unless the inspection is paid in full and a signed contract is attached.

Project No. 221009A  
 Date: August 23, 2022  
 For: Dustin Carpenter  
 D Carpenter Homes LLC  
 3433 Quincy Street  
 Hudsonville, MI 49426

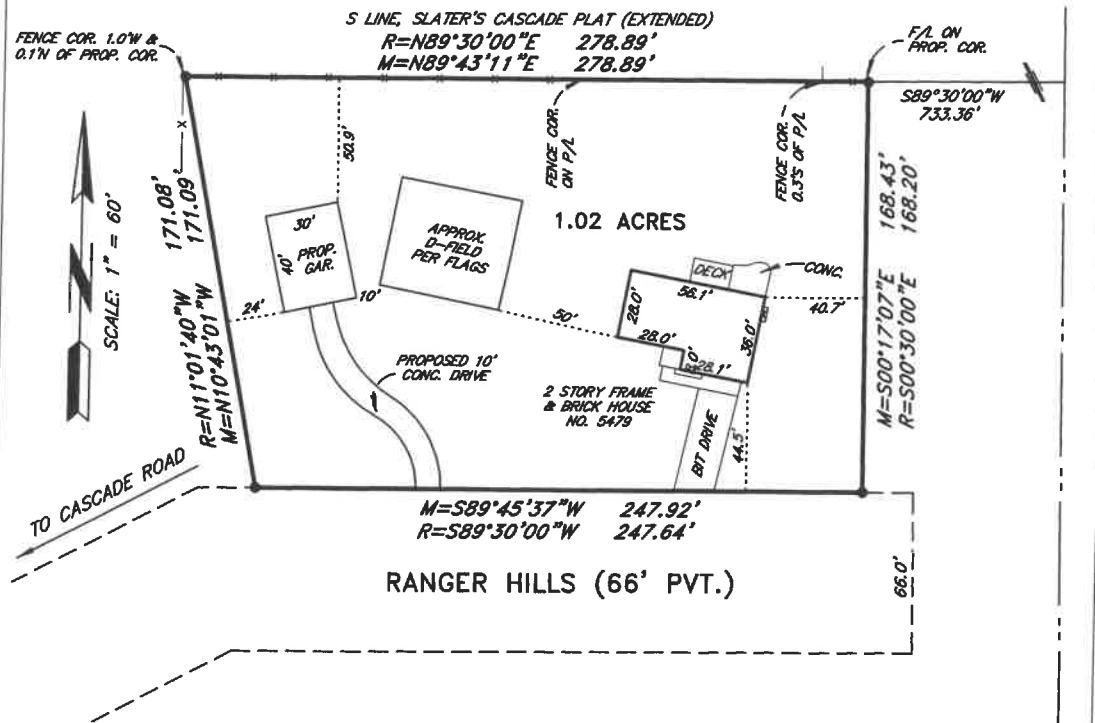
Prev. No. 220613  
 Prop. Address: 5479 Ranger Hills

**LEGAL DESCRIPTION**




NORTHEAST CORNER,  
 SECTION 6, T6N, R10W,  
 KENT COUNTY REMON.

That part of the Northeast 1/4 of Section 6, T6N, R10W, described as:  
 Commencing at the Northeast corner of said Section; thence South 264.0 feet  
 along the East line of said Section to the South line of Slaters' Cascade Plat,  
 according to the recorded plat thereof, as recorded in Liber 48 of Plats, Page 52,  
 Kent County Records, extended East; thence S89°30'W 733.63 feet along the South  
 line of said plat and the extension thereof to the place of beginning of this  
 description; thence S0°30'E 168.20 feet; thence S89°30'W 247.64 feet; thence  
 N11°01'40"W 171.08 feet to the South line of Slater's Cascade Plat; thence  
 N89°30'E 278.89 feet to the place of beginning.

Together with an easement for ingress and egress over a 66.0 foot wide strip, the  
 centerline of which is described as: commencing at the Northeast corner of said  
 Section; thence South 264.0 feet along the East line of said Section to the South  
 line of Slater's Cascade Plat extended East; thence S89°30'W 713.36 feet along the  
 South line of said plat and the extension thereof; thence S0°30'E 201.20 feet to  
 the place of beginning of this easement; thence S89°30'W 285.9 feet; thence  
 Southwesterly 174.74 feet on a 183.0 foot radius curve to the left, the chord of  
 which bears S62°08'45"W 168.17 feet; thence S34°47'30"W 239.79 feet to the North  
 line of Cascade Road (100 feet wide) and the point of ending.



I hereby certify that the buildings and improvements are located entirely thereon and that said buildings and improvements are within the property lines and that there are no existing encroachments upon the lands and property described unless otherwise shown hereon.

<p><b>LEGEND</b></p> <ul style="list-style-type: none"> <li>○ - IRON STAKE - SET</li> <li>● - IRON FOUND</li> <li>□ - WOOD STAKE</li> <li>R - RECORDED DIMENSION</li> <li>D - DEED DIMENSION</li> <li>P - PLATTED DIMENSION</li> <li>M - MEASURED DIMENSION</li> <li>⊕ - CENTERLINE</li> <li>x-x - FENCE LINE</li> </ul>	 <p><b>Roosien &amp; Associates</b>    SURVEYING AND ENGINEERING</p> <p>5055 PLAINFIELD AVENUE, NE    GRAND RAPIDS, MICHIGAN 49525    TELE. (616) 361-7220    FAX (616) 361-1822</p>		<p>BY </p>
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# CASCADE CHARTER TOWNSHIP

5920 Tahoe Dr. SE, Grand Rapids,  
Michigan 49546-7140

## PLANNING & ZONING APPLICATION

Will drop off  
\$ 100 Fee

**APPLICANT:** Name: John Postma  
 Address: 5503 Denali Woods DR. SE  
 City & Zip Code: Grand Rapids 49546  
 Telephone: 616-975-5623  
 Email Address: jpostmare@gmail.com

**OWNER: \* (If different from Applicant)**  
 Name: David Postma  
 Address: 5479 Ranger Hills DR. SE  
 City & Zip Code: Grand Rapids 49546  
 Telephone: 616-682-0400  
 Email Address: DavidPostma21@gmail.com

**NATURE OF THE REQUEST: (Please check the appropriate box or boxes)**

<input type="checkbox"/> Administrative Appeal	<input type="checkbox"/> Administrative Site Plan Review
<input type="checkbox"/> Deferred Parking	<input type="checkbox"/> P.U.D. - Rezoning *
<input type="checkbox"/> P.U.D. - Site Condominium *	<input type="checkbox"/> Rezoning
<input type="checkbox"/> Site Plan Review *	<input type="checkbox"/> Sign Variance Subdivision
<input checked="" type="checkbox"/> Special Use Permit	<input type="checkbox"/> Plat Review *
<input type="checkbox"/> Zoning Variance	<input type="checkbox"/> Other: _____ *

*\* Requires an initial submission of 5 copies of the completed site plan*

**BRIEFLY DESCRIBE YOUR REQUEST:\*\***

owner wants to build a 30x40 carriage House/  
Museum. Strictly for storage of high end vehicles.  
No washing of cars or mechanical work.

(\*\*Use Attachments if Necessary)

-SEE OTHER SIDE-

**Warranty Deed - Statutory Form**  
C.L. 1948, 565.151 M.S.A. 26571

KNOW ALL MEN BY THESE PRESENTS: That Joseph A. Geffert and Deborah Geffert, husband and wife, whose street number and post office address is 5479 Ranger Hills Drive Se, Grand Rapids, MI 49546-6443, convey(s) and warrant(s) to David Postma, whose street number and post office address is 5479 Ranger Hills Drive Se, Grand Rapids, MI 49546-6443 the following described premises:

**For APN/Parcel ID(s): 41-19-06-226-042**

Land Situated in the State of Michigan, County of Kent, Township of Cascade.

That part of the Northeast 1/4 of Section 6, Town 6 North, Range 10 West, described as: commencing at the Northeast corner of said Section; thence South 264.0 feet along the East line of said Section to the South line of Slater's Cascade Plat, according to the recorded plat thereof, as recorded in Liber 48 of Plats, Page 52, Kent County Records, extended east; thence South 89 degrees 30 minutes West 733.36 feet along the South line of said plat and the extension thereof to the place of beginning of this description; thence South 0 degrees 30 minutes East 168.20 feet; thence South 89 degrees 30 minutes West 247.64 feet; thence North 11 degrees 01 minutes 40 seconds West 171.08 feet to the South line of Slater's Cascade Plat; thence North 89 degrees 30 minutes East 278.89 feet to the place of beginning.

Together with an easement for ingress and egress over a 66.0 foot wide strip, the centerline of which is described as: commencing at the Northeast corner of said Section; thence South 264.0 feet along the East line of said Section to the South line of Slater's Cascade Plat extended east; thence South 89 degrees 30 minutes West 713.36 feet along the South line of said plat and the extension thereof; thence South 0 degrees 30 minutes East 201.20 feet to the place of beginning of this easement; thence South 89 degrees 30 minutes West 285.9 feet; thence Southwesterly 174.74 feet on a 183.0 foot radius curve to the left, the chord of which bears South 62 degrees 08 minutes 45 seconds West 168.17 feet; thence South 34 degrees 47 minutes 30 seconds West 239.79 feet to the North line of Cascade Road (100 feet wide) and the point of ending

Commonly known as: 5479 Ranger Hills Drive Se, Grand Rapids, MI 49546-6443

for the full consideration of Real Estate Transfer Valuation Affidavit filed herewith.

Subject to easements, reservations, restrictions and limitations of record, if any, and further subject to:

NONE

Attached and incorporated to this deed is the Private Road Notice.



Accessory Building Inventory 2010-2022 (5/10/22)

Case	Name	address	Zoning	accessory building sq.ft	acres	home (FLS)
11-3029	Korhorn	3480 Buttrick Ave	ARC	900	2.5	1,800
11-3052	Buckius	4900 Streamside Point	ARC	2,304	4.5	3,500
10 2999	Downing	1400 Windy Ridge	ARC	1,728	5.6	2,600
10 3010	Pepin	5640 McCords	ARC	2,400	10	3,000
10 3017	Halfmann	4590 Quiggle Ave	ARC	1,020	3.6	3,000
12-3070	Thornapple Pointe GC	7211 48th St	ARC			
12-3073	Burd	5630 Buttrick Ave	ARC	1,200	4.9	2,700
12-3077	Morris	5225 Buttrick Ave	ARC	2,432	5	2,000
12-3101	Hilbrands	6482 52nd St	ARC	1,536	80	1,500
13-3145	harold Cornelisse	8773 Running Deer Lane	ARC	1,440	10	2,200
14-3216	Gary Jehnke	5766 Buttrick Ave	ARC	1,920	7.6	1,800
15-3239	Chad Weldy	9575 52nd St	ARC	1,728	2.3	2,400
15-3256	Robert Harmon	4150 Cherry Lane	ARC	1,536	7.8	3,100
15-3260	Jay Nehls	3100 Foxfire Lane	ARC	1,575	5	4,000
15-3267	Paul Kucharczyk	9150 52nd St	ARC	1,728	2.9	1,500
16-3315	Roelofs	9554 52nd St	ARC	4,864	4.4	3,700
17-3379	Shaffer	8665 28th st	ARC	1,066	2.5	2,500
17-3404	Teppo	3777 Cherry Lane	ARC	2,720	8.3	3,000
17-3411	Ruby	8358 28th St	ARC	2,192	1.9	2,500
18-3439	McConnell	5470 McCords	ARC	15,120	160	1,600
18-3448	Van note	8233 28th St	ARC	1,800	4.3	2,500
18-3482	Seeley	9404 28th St	ARC	1,680	17	2,800
18-3483	Hillman	8790 52nd St	ARC	2,688	4	2,800
18-3486	DeMeester	9478 Grand River Dr	ARC	3,136	12	3,300
18-3496	Eisen	7233 60th	ARC	1,728	4.4	2,300
19-3511	Doering	5500 McCords Ave	ARC	1,200	160	1,600
19-3524	Tolan	8505 60th St	ARC	1,600	11	2,100
19-3529	Hulst	3717 Cherry Lane	ARC	1,600	8	3,300
19-3530	Howard	8125 45th St	ARC	1,200	2.9	2,900
19-3546	Swift	8730 52nd St	ARC	1,344	2.5	2,600
20-3589	Dykhous	2645 Meadow Crossing	ARC	1,634	13	7,900
20-3598	Maslowski	9585 60th St	ARC	1,296	2	1,900
20-3601	Poolman	6667 60th St	ARC	4,288	4.5	3,800
20-3616	Staples	5288 Buttrick Ave	ARC	1,300	2.3	4,500
21-3637	Seely	4200 Cherry Ln	ARC	1,224	0.97	1,100
21-3638	Davis Flia Construction	6541 60th St	ARC	4,000	14.7	2,900

Accessory Building Inventory 2010-2022 (5/10/22)

21-3659	Lange	9205 28th St	ARC	1,600	3.4	2,800
21-3664	Eggleston	9091 36th St	ARC	1,680	9.2	2,900
21-3677	Elliott	6870 48th St	ARC	1,536	0.9	1,400
21-3682	Warren	5650 McCords Ave	ARC	1,561	2.9	2,700
22-3695	Downey	3030 Wood Duck Ln	ARC	3,456	4.6	5,100
12-3076	Lash	8951 Cascade Rd	FP	1,680	2.4	1,800
15-3265	Randy Gaskin	3505 Snow Ave	FP	1,536	2	1,400
18-3443	Carpenter	8650 36th St	FP	1,560	15	3,400
19-3531	Beatson	9100 Cascade Rd	FP	3,200	15	2,600
20-3600	Grzywacz	8683 Cascade Rd	FP	1,440	3.7	4,000
21-3625	Randall Burri Builder	4670 Quiggle Ave	FP	1,728	3.6	1,700
13-3161	Epique Homes	1415 Ballybunion Dr	PUD	4,500	6	6,600
16-3314	Reynolds	5701 Buttrick Ave	PUD 52	1,256	2.2	2,500
18-3494	Stibitz	3494 Bloomington Hills	PUD 66	1,500	1.39	2,200
10 3008	Koetje/Proos	8091 Ashwood Dr	PUD 89	1,120	2.5	4,520
19-3561	Hayes	3570 Buttrick Ave	PUD 61	1,200	2.2	2,600
21-3619	Krause	2439 Sturbridge Dr	PUD 65	1,728	6.6	4,000
21-3631	Bigger	4983 Clear Ridge Dr	PUD 72	1,200	1.2	2,800
22-3707	Harwood	8189 Ashwood Dr	PUD 89	1,260	1.9	4,550
10 3001	Ike	4390 Whitneyville	R1	1,200	3.8	1,000
10 3014	Borisch	5333/5200 Dayenu	R1	2,304	44	6,000
12-3082	DeVos	2020 Devonwood Lane	R1	8,500	35	17,000
14-3184	Jon DeGraff	6960 Thornview	R1	1,520	4.6	3,500
14-3185	James Hackett	1547 Briarcliff Dr	R1	1,400	2.2	7,500
14-3190	Aaron Schaap	1910 Laraway Lake Dr	R1	2,604	13	8,200
14-3197	John Shipley	7373 Biscayne Way	R1	1,000	2.6	3,200
15-3241	John Borisch	5200 Dayenu Dr	R1	3,000	9	6,000
15-3253	Derek Benedict	1961 Steketee Woods Lane	R1	1,936	2.9	6,900
15-3257	Jeff Shull	7500 Buttrick Park Dr	R1	1,440	3.03	3,600
15-3290	Hockstra	1350 Briarcliff	R1	1,232	1	4,000
16-3301	Keeler	8100 45th st	R1	1,504	1.2	2,500
16-3311	Borisch	5292 Dayenu	R1	5,000	3.8	5,000
16-3337	Romence	5752 Hall St	R1	1,200	1.7	2,200
16-3352	Rise	8200 48th st	R1	1,600	1.05	3,000
17-3383	Popp	1360 Briarcliff	R1	1,200	1.16	4,800
17-3417	Salmon	6350 Cascade Rd	R1	1,440	4.6	1,300
18-3452	Kortman	4555 Little Harbor Dr	R1	1,296	0.95	3,000



Accessory Building Inventory 2010-2022 (5/10/22)

Case	Name	address	Zoning	accessory building sq.ft	acres	home (FLS)
18-3474	Rowland	4250 Whitneyville Ave	R1	1,300	5	2,800
18-3480	Stachowiak	7871 Shadybrook	R1	1,800	2	2,200
18-3481	Doezema	5625 Alaska Ave	R1	1,944	5	2,000
19-3567	Brinks	1596 Buttrick Ave	R1	1,296	1.5	2,700
20-3595	Mayton	1468 Buttrick Ave	R1	1,326	1.8	4,700
21-3621	Engler	7080 Hidden Ridge	R1	3,312	4.4	7,000
21-3652	Waugh	7630 Cascade Rd	R1	1,200	1.8	2,000
21-3685	Renucci	5175 Buttrick	R1	2,520	55	
22-3699	D. Carpenter Homes	2011 Devonwood	R1	1,320	3.3	9,700
22-3702	Underwood	7675 Sudbury Ln	R1	1,292	2.4	3,100
22-3703	Matthews	8320 45th St SE	R1	1,200	1.3	1,550
11-3028	Slauer	3824 Goodwood Dr	R2	900	0.88	3,500
Avg				2,079	10.70	3,448
Avg ARC				2,274	15.33	2,790
Avg FP				1,857	6.95	2,483
Avg PUD				1,721	3.00	3,721
Avg R1				1,996	7.55	4,516

## STAFF REPORT

STAFF REPORT: Case # 22-3738/GDK Construction  
REPORT DATE: September 13, 2022  
PREPARED FOR: Cascade Charter Township Planning Commission  
MEETING DATE: September 19, 2022  
PREPARED BY: Brian Hilbrands, Planning Director

### APPLICANT

GDK Construction – Dustin Hemmes  
12 West 8<sup>th</sup> Street, Suite 250  
Holland, MI 49423

### STATUS

OF APPLICANT: Contractor

REQUESTED ACTION: Site Plan Review for an amendment to an approved site plan for a 55,000 sq ft addition and parking lot renovations.

EXISTING ZONING OF  
SUBJECT PARCEL: TI, Transitional Industrial

GENERAL LOCATION: North side of 36<sup>th</sup> St, west of Raleigh Dr

PARCEL SIZE: 8.3 Acres

PROPERTY LOCATION: 5251 36<sup>th</sup> St

EXISTING LAND USE  
ON THE PARCEL: Light Industrial/Research Development

ADJACENT AREA  
LAND USES: Industrial/Research Development

ZONING ON  
ADJOINING PARCELS: N,E,W - TI  
S - I

### STAFF COMMENTS:

1. The applicant is requesting site plan approval of an amendment to an approved site plan to construct a 55,000 sq ft addition to the existing industrial building which will result in a total building size of approximately 104,780 sq ft. The site plan was reviewed under Section 21.07 of the Site Plan Review Chapter of the Zoning Ordinance.

2. The site plan was originally approved by the Planning Commission at the July 18 meeting. Since the approval, the applicant as amended the site plan to remove an internal driveway and eliminate the underground detention basins. As a result of the underground basins being eliminated, the two aboveground basins have been slightly expanded.
3. The Township engineer has reviewed and approved the revised plan, and their letter is included in your packet. A stormwater maintenance agreement will need to be recorded.
4. The landscape plan has been revised to indicate that three existing trees along 36<sup>th</sup> Street will be removed, and are being replaced by three new trees.
5. There have been no other changes made to the site plan.

**Section 21.07: Criteria For Site Plan Approval:**

The Planning Commission shall use the following criteria in evaluating a site plan submittal:

1. Whether the required information has been furnished in sufficiently complete and understandable form to allow an accurate description of the proposed use(s) and structure(s) in terms of density, location, area, height, bulk, placement, setbacks, performance characteristics, parking, and traffic circulation.
2. Whether there are ways in which the configuration of uses and structures can be changed which would improve the impact of the development on adjoining and nearby properties, persons, and activities, and on the community, while allowing reasonable use of the property within the scope of district regulations and other regulations of this Ordinance that are applicable to the property and proposed use and structures.
3. The extent to which natural features and characteristics of the large trees, natural groves, watercourses, and similar will be preserved; the regard given to existing natural features that would add attractiveness to the property and environs if they were preserved; the preservation of natural drainage systems the dedication and/or provision, where appropriate, of scenic easements, natural buffering, and other techniques for preservation and enhancement of the physical environment.

**STAFF RECOMMENDATION:**

Staff is recommending Approval of the amended site plan for the 55,000 sq. ft. building addition with the same conditions that were required at the July 18 meeting:

1. Provide a bond in the amount of \$20,000 to ensure that the enclosed walkway is removed.
2. The applicant complies with the Township Engineer letter dated July 13, 2022, and all necessary permits are obtained before construction begins.
3. Record the stormwater maintenance agreement.
4. The two buildings located on what was 5251 36<sup>th</sup> Street are served by separate utilities to meet the Building Code requirements, as well as any requirements from the City of Grand Rapids.
5. Provide a landscape bond in the amount of \$10,000.

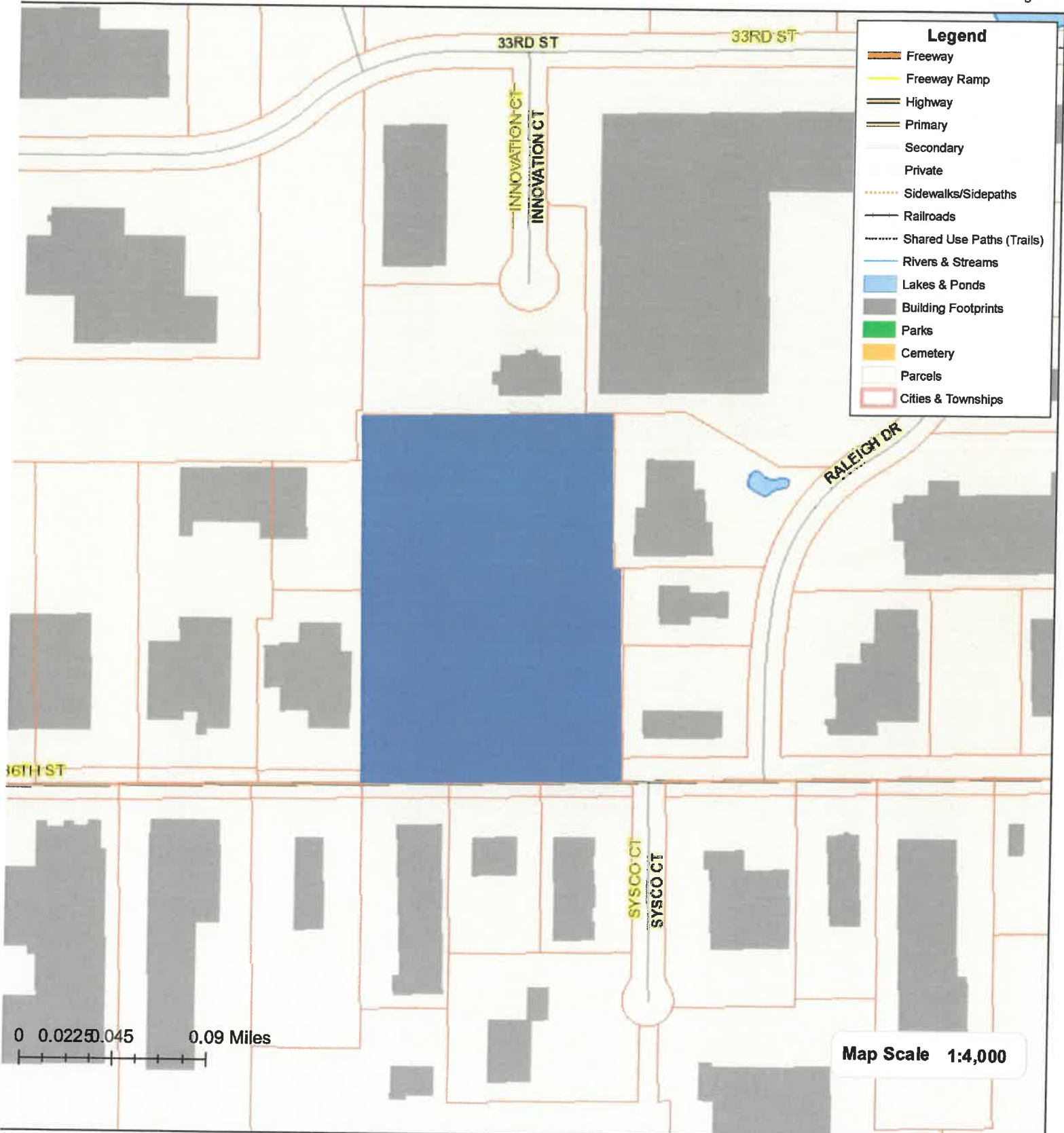
ATTACHMENTS:

Application  
Site plan

PC Report  
22-3738  
Page 2

Township Engineer letter  
7/18 Staff Report

# TITLE



- Legend**
- Freeway
  - Freeway Ramp
  - Highway
  - Primary
  - Secondary
  - Private
  - Sidewalks/Sidepaths
  - Railroads
  - Shared Use Paths (Trails)
  - Rivers & Streams
  - Lakes & Ponds
  - Building Footprints
  - Parks
  - Cemetery
  - Parcels
  - Cities & Townships

0 0.0225 0.045 0.09 Miles

Map Scale 1:4,000



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Printed 7/13/2022 1:21:20 PM



# CASCADE CHARTER TOWNSHIP

5920 Tahoe Dr. SE, Grand Rapids,  
Michigan 49546-7140

## PLANNING & ZONING APPLICATION

**APPLICANT:** Name: GDK Construction - Dustin Hemmes  
Address: 12 West 8th Street; Suite 250  
City & Zip Code Holland, MI 49423  
Telephone: (616) 396-4950  
Email Address: dhemmes@gdkconstruction.com

**OWNER: \* (If different from Applicant)**  
Name: GDP Properties LLC Attn: Chuck Geenen  
Address: 12 West 8th Street; Ste 250  
City & Zip Code: Holland, MI 49423  
Telephone: (616) 396-4950  
Email Address: cgeenen@gdkconstruction.com

NATURE OF THE REQUEST: (Please check the appropriate box or boxes)

<input type="checkbox"/> Administrative Appeal	<input type="checkbox"/> Administrative Site Plan Review
<input type="checkbox"/> Deferred Parking	<input type="checkbox"/> P.U.D. – Rezoning *
<input type="checkbox"/> P.U.D. – Site Condominium *	<input type="checkbox"/> Rezoning
<input checked="" type="checkbox"/> <b>Site Plan Review *</b>	<input type="checkbox"/> Sign Variance Subdivision
<input type="checkbox"/> Special Use Permit	<input type="checkbox"/> Plat Review *
<input type="checkbox"/> Zoning Variance	<input type="checkbox"/> Other: _____ *

*\* Requires an initial submission of 5 copies of the completed site plan*

**BRIEFLY DESCRIBE YOUR REQUEST:\*\***

Site plan approval for 55,000 square foot building addition and parking lot renovations. Revised from July 18, 2022 site plan approval.

(\*\*Use Attachments if Necessary)

**-SEE OTHER SIDE-**

**LEGAL DESCRIPTION OF PROPERTY\*\*:**

See attached

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(\*\*Use Attachments if Necessary)

PERMANENT PARCEL (TAX) NUMBER: 41-19 18-470-007 (part of)

ADDRESS OF PROPERTY: 5251 36th Street SE

PRESENT USE OF THE PROPERTY: Industrial/Offices

**NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS HAVING A LEGAL OR  
EQUITABLE INTEREST IN THE PROPERTY:**

Name(s)

Address(es)

N/A

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**SIGNATURES**

*I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) also agree to reimburse the Cascade Charter Township for all costs, including consultant costs, to review this request in a timely manner. I (we) understand that these costs may also include administrative reviews which may occur after the Township has taken action on my (our) request.*

*I (we) the undersigned also acknowledge that the proposed project does not violate any known property restrictions (i.e. plat restrictions, deed restrictions, covenants, etc.)*

*[Signature]*

Owner – Print or Type Name  
(\*If different from Applicant)

*[Signature]*

Applicant – Print or Type Name

\* *[Signature]*

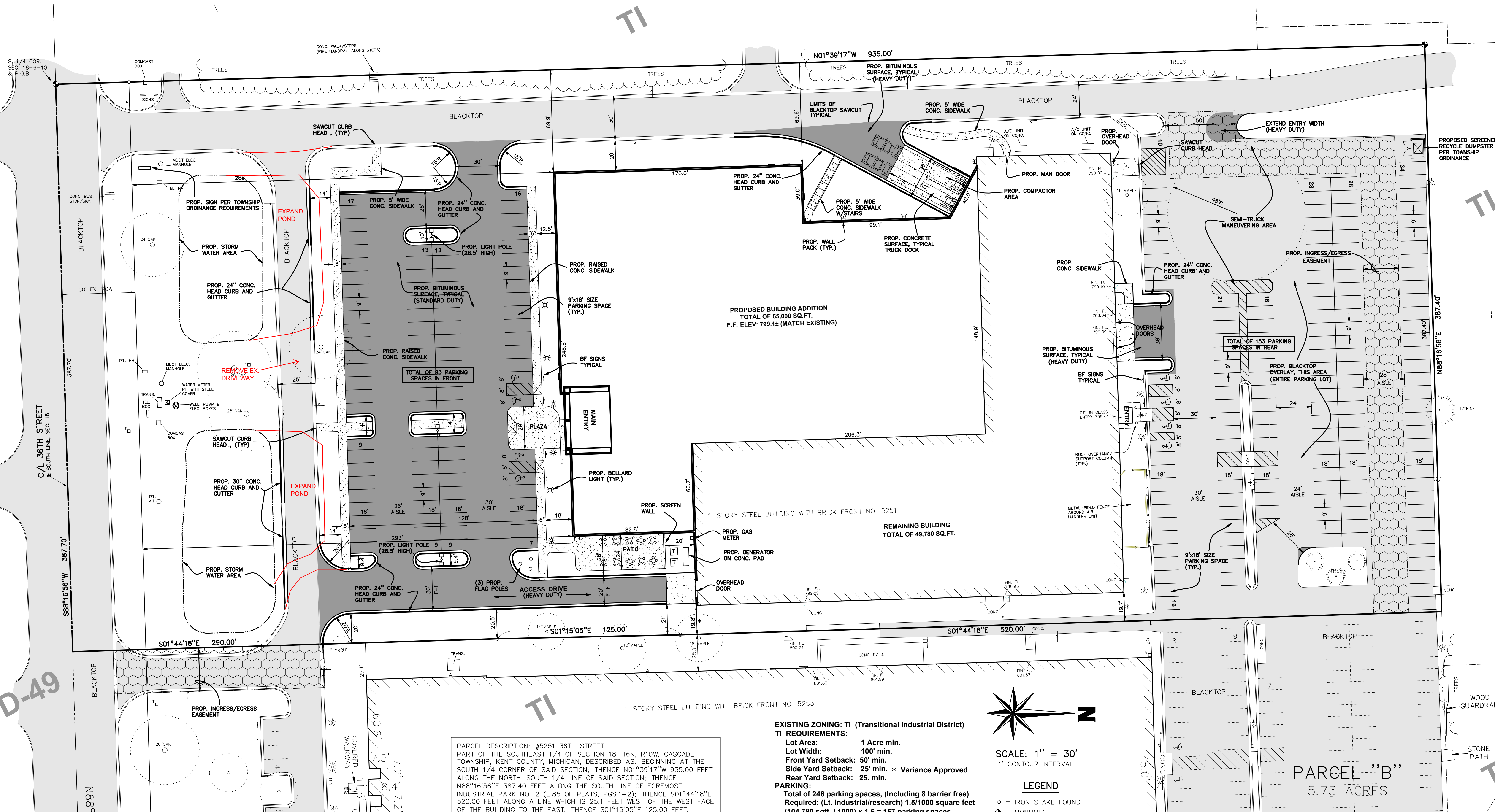
Owner's Signature & Date  
(\*If different from Applicant)

*[Signature]*

Applicant's Signature & Date

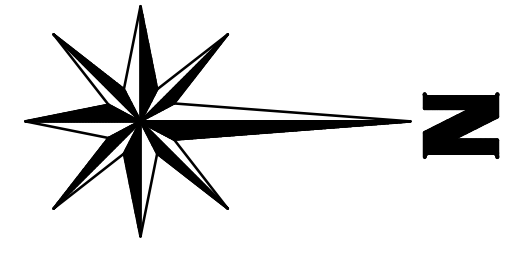
PLEASE ATTACH ALL REQUIRED DOCUMENTS NOTED IN THE PROCESS REVIEW SHEET – THANK YOU





**PARCEL DESCRIPTION: #5251 36TH STREET**  
 PART OF THE SOUTHEAST 1/4 OF SECTION 18, T6N, R10W, CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN, DESCRIBED AS: BEGINNING AT THE SOUTH 1/4 CORNER OF SAID SECTION; THENCE N01°39'17"W 935.00 FEET ALONG THE NORTH-SOUTH 1/4 LINE OF SAID SECTION; THENCE N88°16'56"E 387.40 FEET ALONG THE SOUTH LINE OF FOREMOST INDUSTRIAL PARK NO. 2 (L.85 OF PLATS, PGS.1-2); THENCE S01°44'18"E 520.00 FEET ALONG A LINE WHICH IS 25.1 FEET WEST OF THE WEST FACE OF THE BUILDING TO THE EAST; THENCE S01°15'05"E 125.00 FEET; THENCE S01°44'18"E 290.00 FEET; THENCE S88°16'56"W 387.70 FEET ALONG THE SOUTH LINE OF SAID SECTION TO THE POINT OF BEGINNING. PARCEL CONTAINS 8.32 ACRES. SUBJECT TO HIGHWAY RIGHT-OF-WAY FOR 36TH STREET ON THE SOUTH.

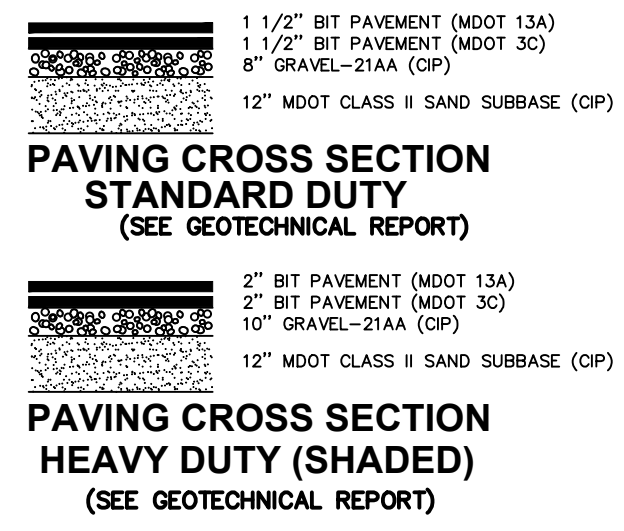
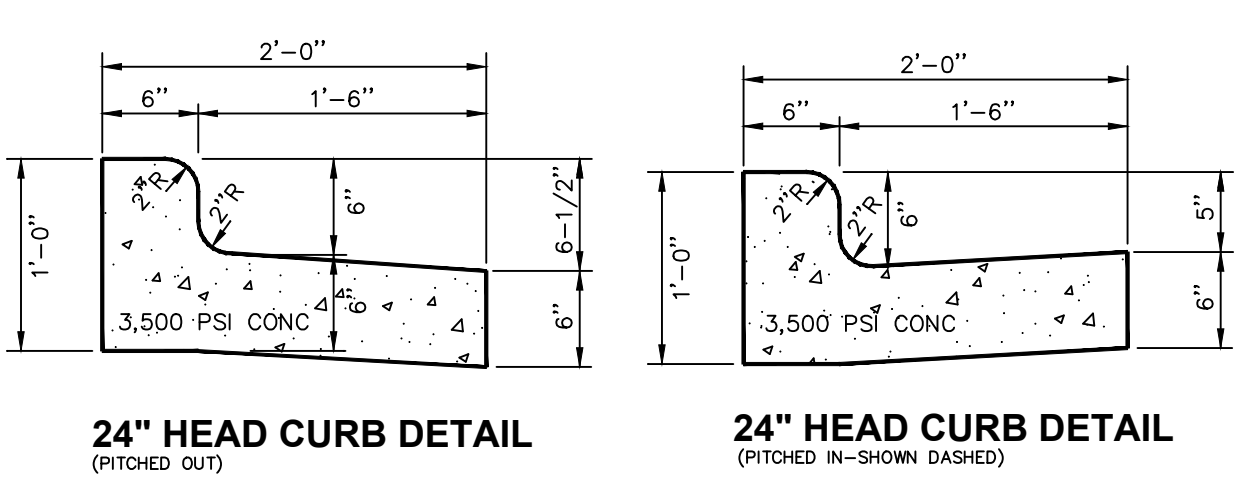
**EXISTING ZONING: TI (Transitional Industrial District)**  
**TI REQUIREMENTS:**  
 Lot Area: 1 Acre min.  
 Lot Width: 100' min.  
 Front Yard Setback: 50' min.  
 Side Yard Setback: 25' min. \* Variance Approved  
 Rear Yard Setback: 25' min.



**SCALE: 1" = 30'**  
 1" CONTOUR INTERVAL

**LEGEND**

- = IRON STAKE FOUND
- ⊙ = MONUMENT
- ⊕ = UTILITY POLE & GUY WIRE
- ⊛ = LIGHT POLE
- ⊠ = SIGN
- ⊙ = BOLLARD
- ⊕ = HYDRANT
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**PUD-49**

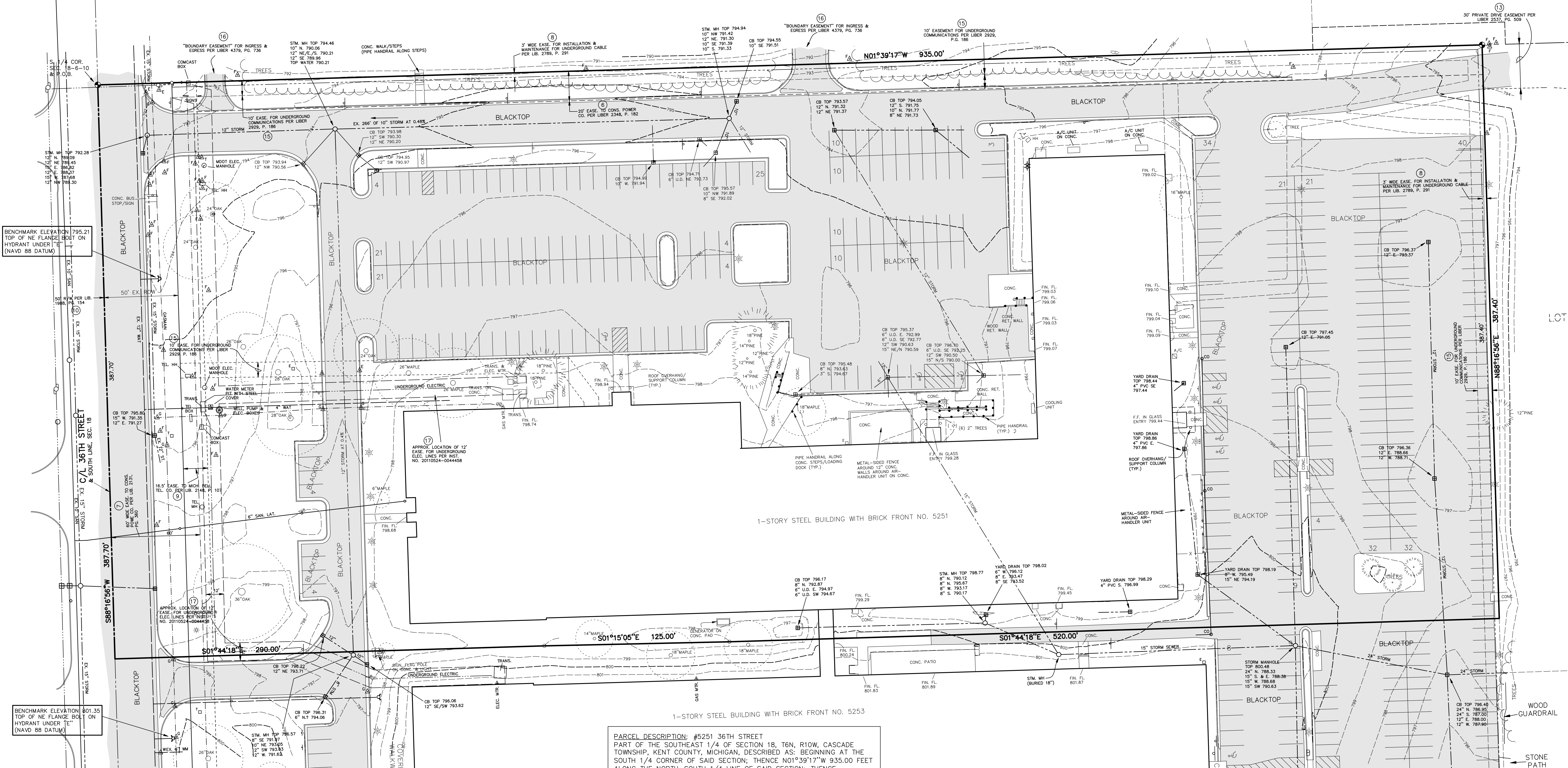
**PARCEL "B"**  
 5.73 ACRES

**SITE DEVELOPMENT PLAN - MAGNA MIRRORS**  
**RE: 5251 36TH STREET SE**  
**FOR: GEENEN DEKOCK PROPERTIES**  
**ATTN: CHUCK GEENEN**  
**12 WEST 8TH ST. (STE. 250)**  
**HOLLAND, MI 49423**  
 PART OF THE SE 1/4, SECTION 18, T6N, R10W, CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN



07/14/22	REV. PER TOWNSHIP	CDG	DRAWN BY: CDG	PROJ. ENG.: TRS	SHEET
07/28/22	REV. PER TOWNSHIP	CDG	APPROVED BY: TRS	PROJ. SURV.: BRENT	3 of 5
08/28/22	REV. PER TOWNSHIP	CDG	FILE NO.: 212129E	DATE: 06/10/2022	





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- Exceptions as listed in First American Title Insurance Company File No. 4004-15166:
- Easement in favor of Consumers Power Company and the Covenants, Conditions and Restrictions contained in instrument recorded in Liber 2348, page 182. Affects subject property and platted.
  - Easement in favor of Consumers Power Company and the Covenants, Conditions and Restrictions contained in instrument recorded in Liber 2131, Page 360. Affects subject property and platted.
  - Easement in favor of City Signal, Inc. and the Covenants, Conditions and Restrictions contained in instrument recorded in Liber 2789, Page 291. Affects subject property and platted.
  - Right of Way in favor of Michigan Bell Telephone Company and the Covenants, Conditions and Restrictions contained in instrument recorded in Liber 2148, Page 107. Affects subject property and platted.
  - Highway Easement in favor of the Kent County Road Commission and the Covenants, Conditions and Restrictions contained in instrument recorded in Liber 1988, Page 154. Affects subject property and platted.
  - Terms and Conditions contained in Sewer Easement as disclosed by instrument recorded in Liber 2333, Page 264 amendment in Liber 2543 page 448. Affects subject property and platted.
  - Terms and Conditions contained in Sewer Maintenance Agreement as disclosed by instrument recorded in Liber 2333, Page 265. Affects subject property and platted.
  - Terms and Conditions contained in Declaration and Grant of Easements as disclosed by instrument recorded in Liber 2537, Page 509. Affects subject property and platted.
  - Any rights, title interest or claim thereof to that portion of the land taken, used or granted for street, roads or highways.
  - Terms and Conditions contained in Easement for Underground Cable and Communications Systems as disclosed by instrument recorded in Liber 2929, page 186. Affects subject property and platted.
  - Terms and Conditions contained in Easement Agreement as disclosed by instrument recorded in Liber 4379, page 736. Affects subject property and platted.
  - Terms and Conditions contained in Easement for Underground Electric Lines as disclosed by instrument recorded in Instrument No. 20110524-0044458. Affects subject property and platted.

**LEGEND**

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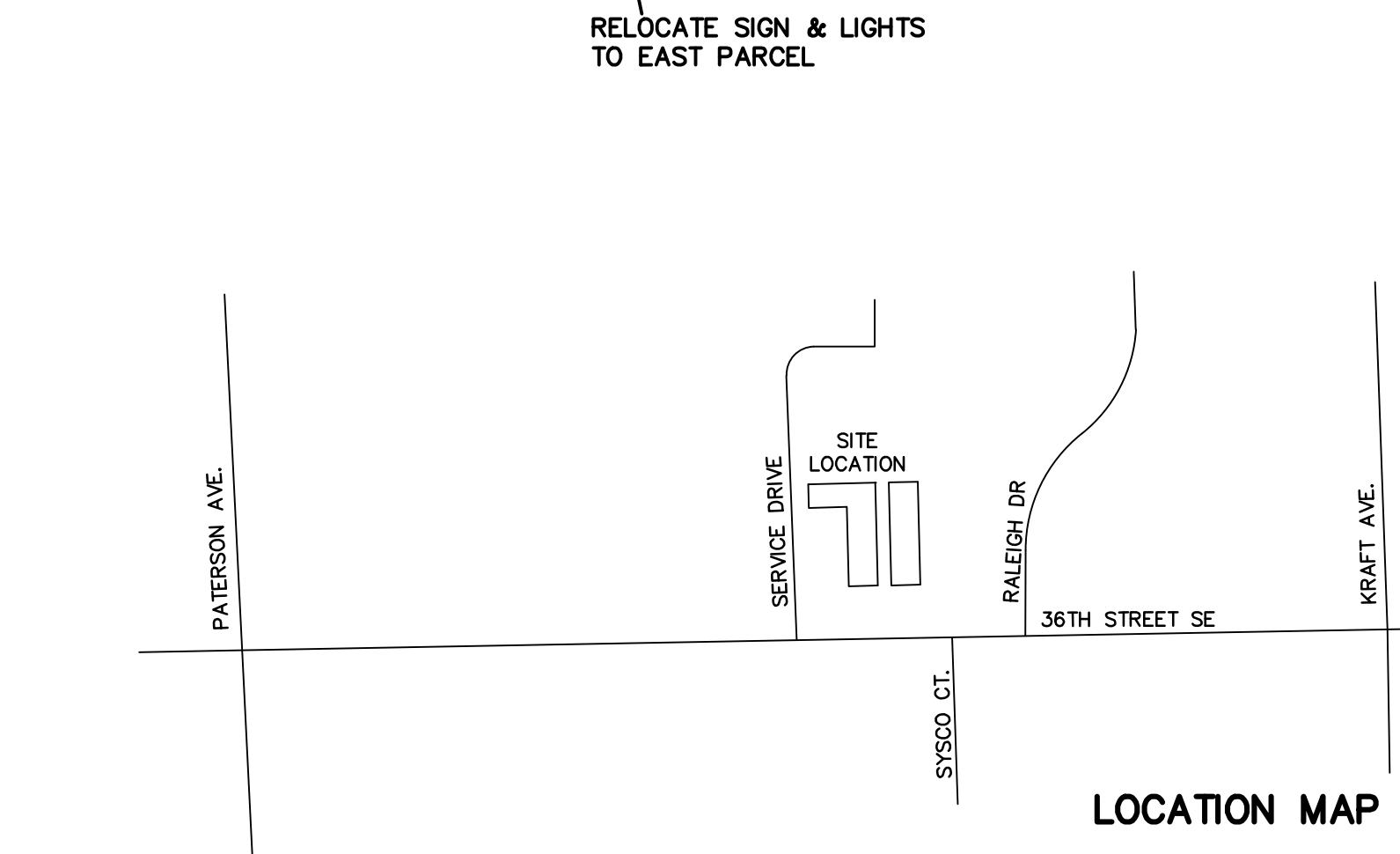
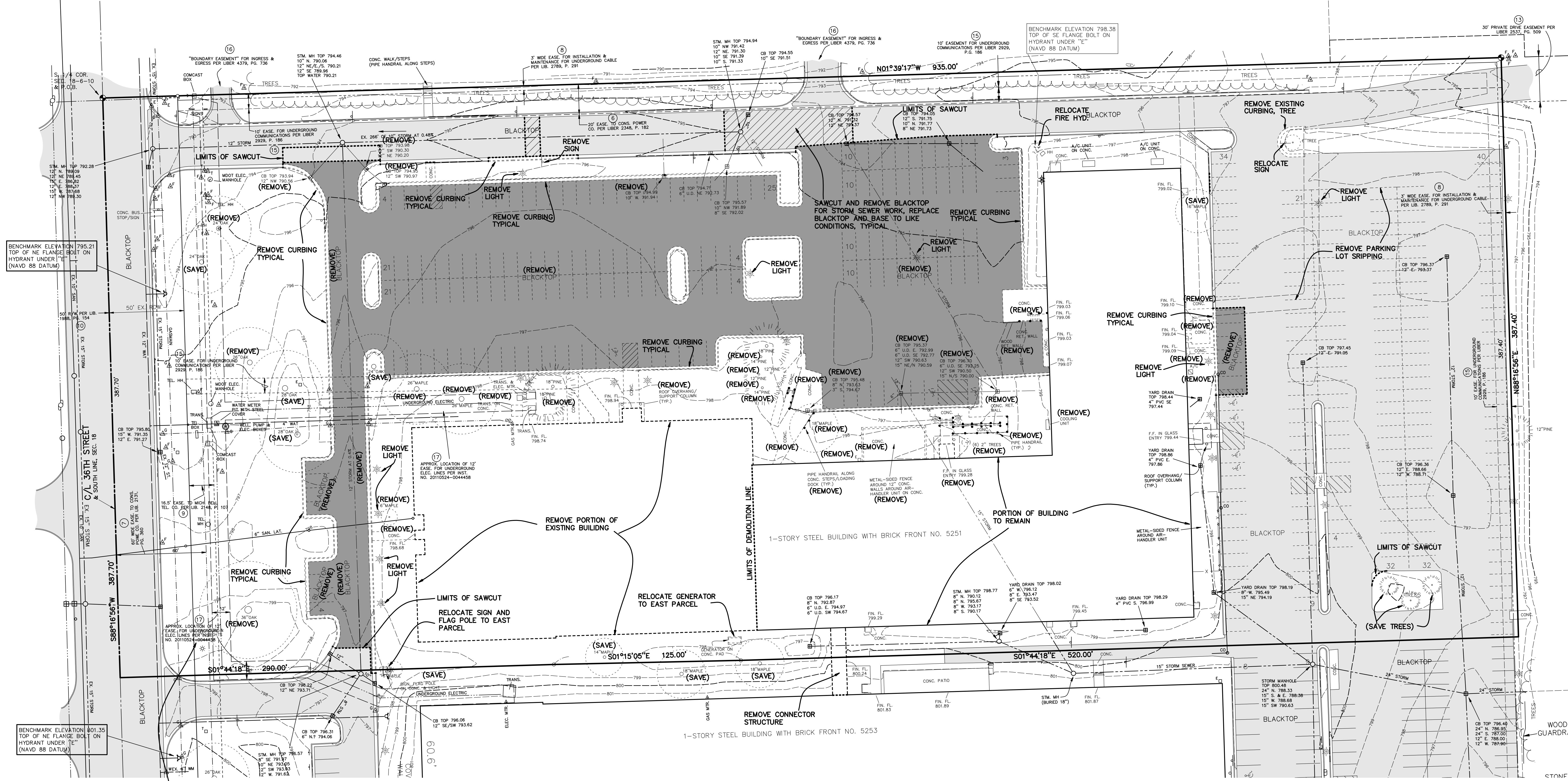
SCALE: 1" = 30'  
 1' CONTOUR INTERVAL

**TOPOGRAPHICAL SURVEY – MAGNA MIRRORS**  
**RE: 5251 36TH STREET SE**  
**FOR: GEENEN DEKOCK PROPERTIES**  
**ATTN: CHUCK GEENEN**  
**12 WEST 8TH ST. (STE. 250)**  
**HOLLAND, MI 49423**  
 PART OF THE SE 1/4, SECTION 18, T6N, R10W, CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN



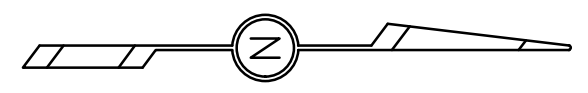
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07/14/22	REV. PER TOWNSHIP	CDG	PROJ. SURV.:	CDG	DATE:	06/10/2022	
07/08/22	REV. PER TOWNSHIP	CDG	FILE NO.:	212129E			
06/28/22	REV. PER TOWNSHIP	CDG					





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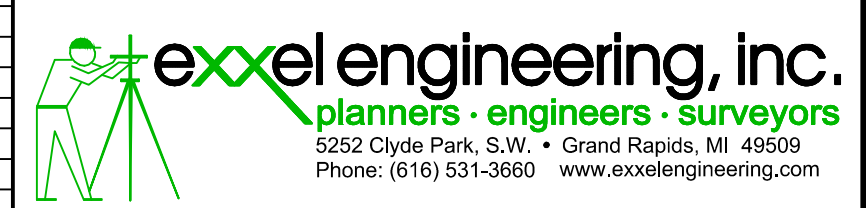
SCALE: 1" = 30'  
1' CONTOUR INTERVAL

**SITE DEMOLITION PLAN – MAGNA MIRRORS**  
**RE: 5251 36TH STREET SE**  
**FOR: GEENEN DEKOCK PROPERTIES**  
**ATTN: CHUCK GEENEN**  
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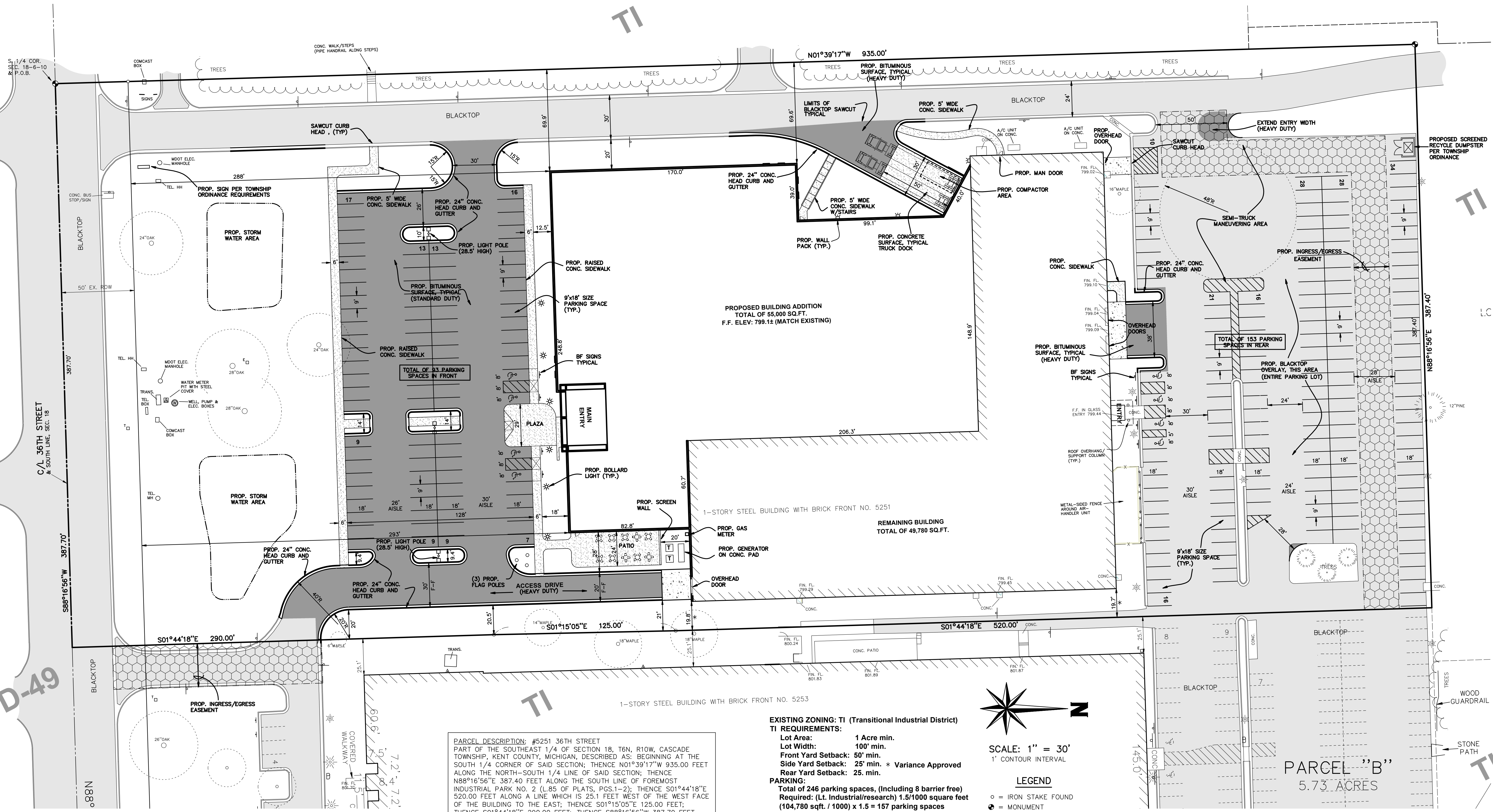
08/24/22	REV. STORMWATER SYSTEM	CDG		
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06/28/22	REV. PER TOWNSHIP	CDG		
DATE	REVISION	BY	FILE NO.	212129E

DRAWN BY:	CDG	PROJ. ENG.:	TRS	SHEET	2 of 5
APPROVED BY:		PROJ. SURV.:		DATE:	06/10/2022

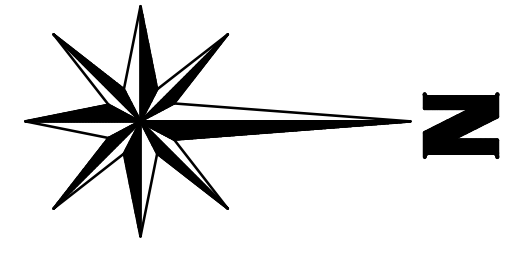






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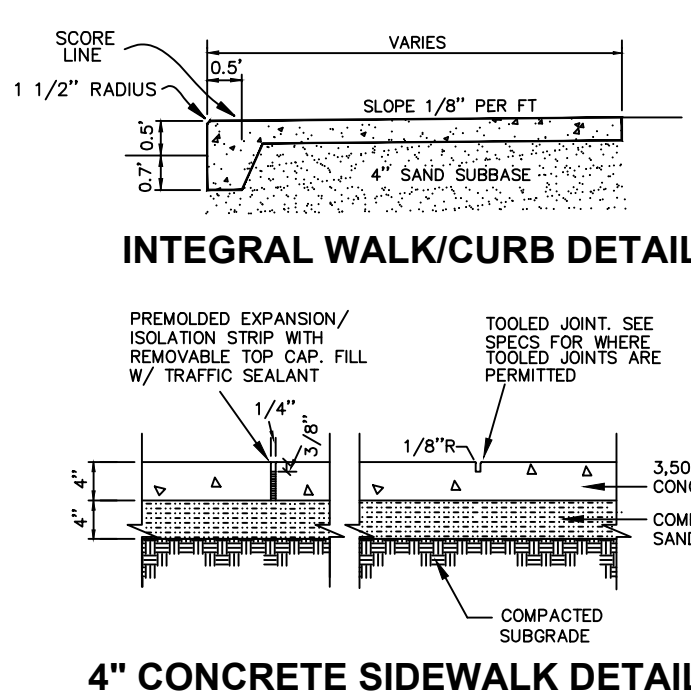
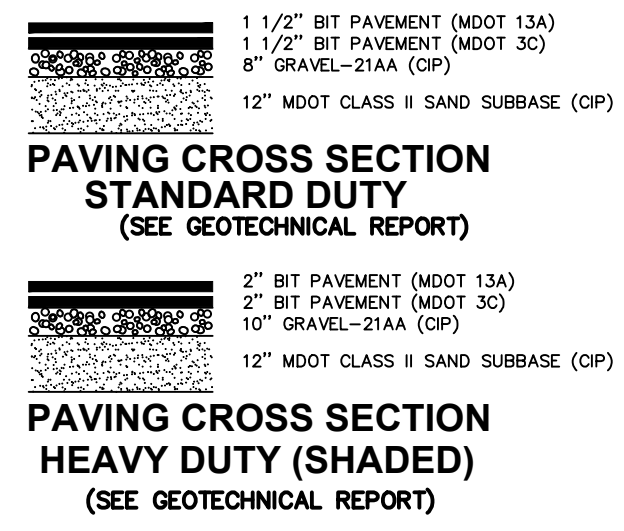
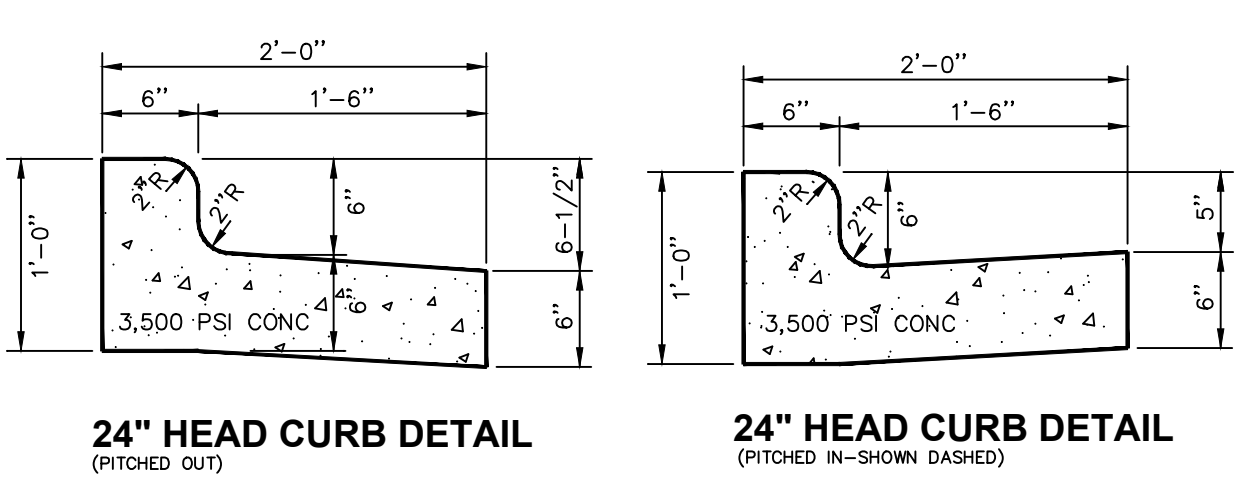
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**SITE DEVELOPMENT PLAN - MAGNA MIRRORS**  
**RE: 5251 36TH STREET SE**  
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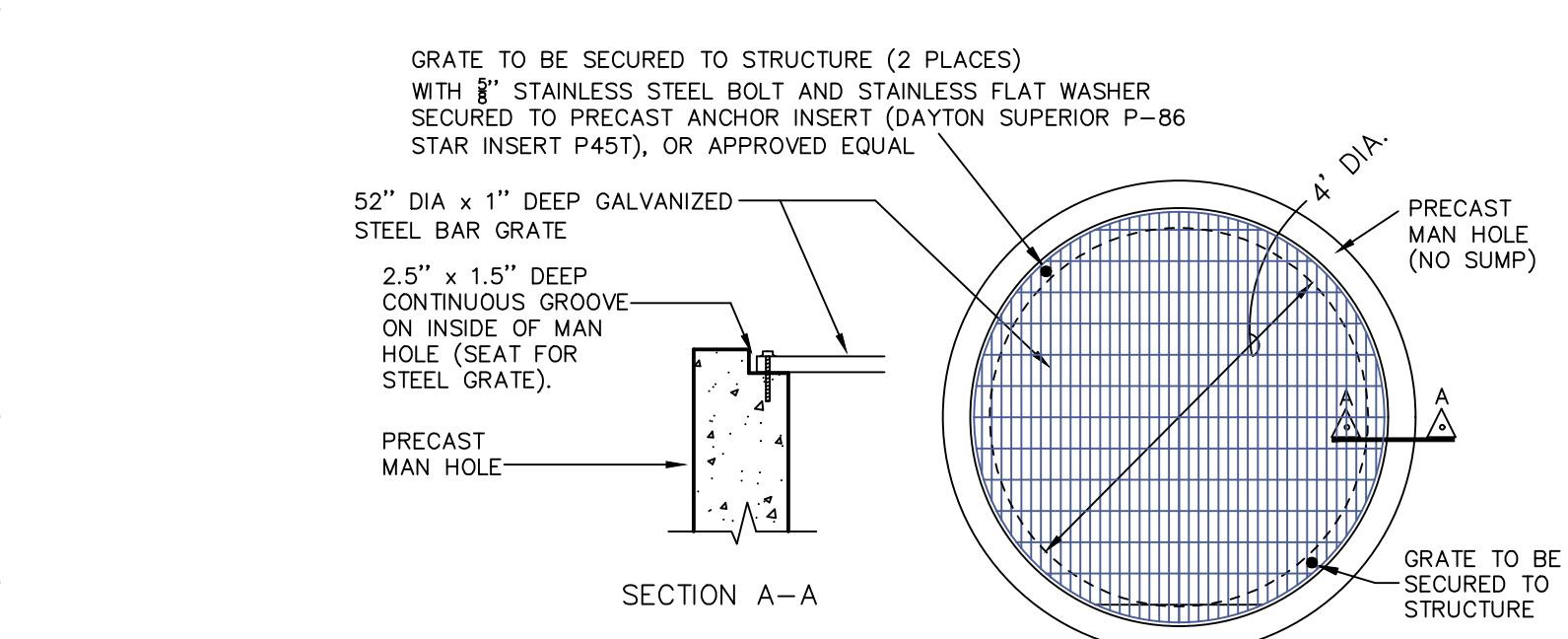
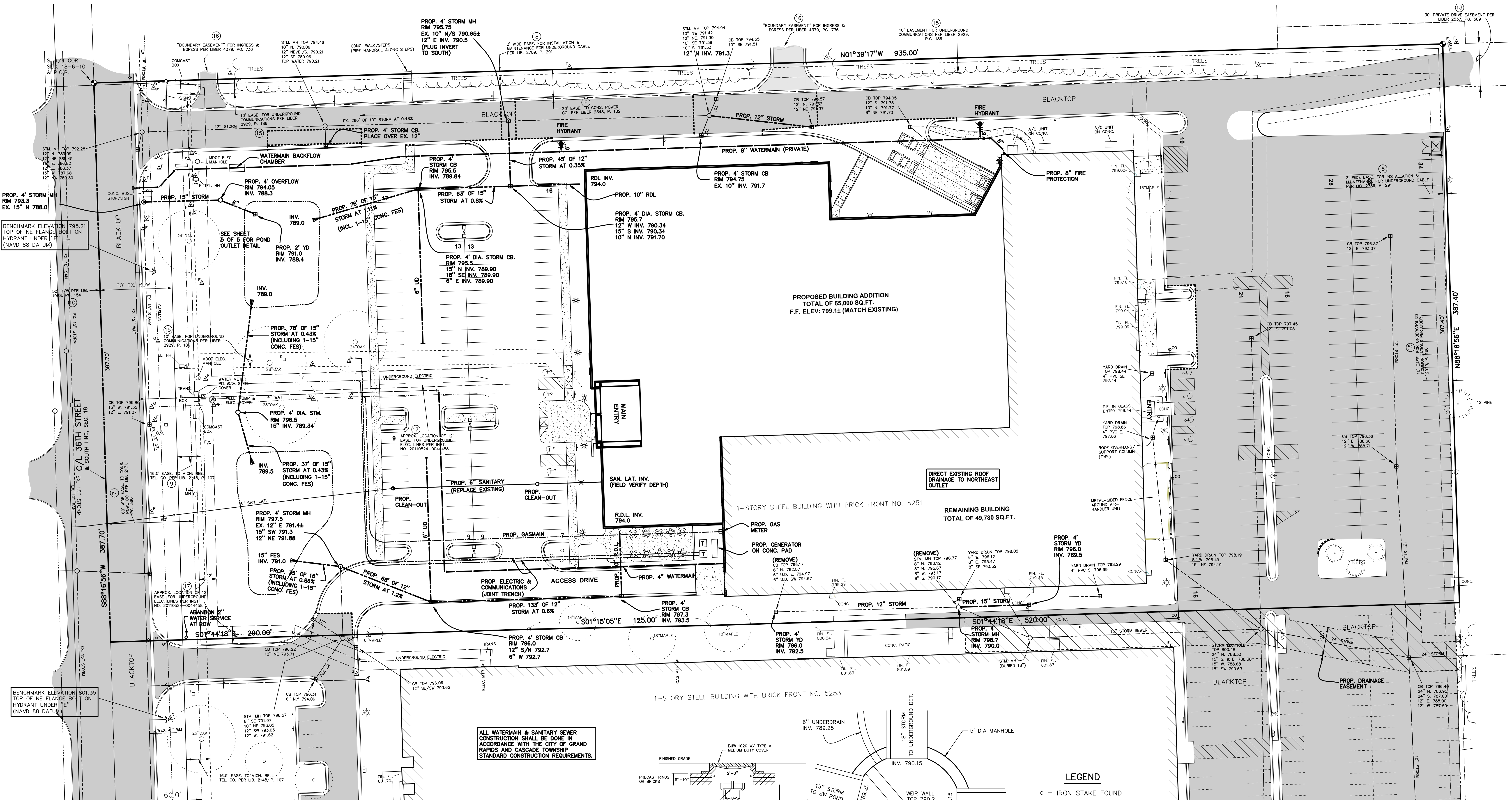


08/24/22	REV. STORMWATER SYSTEM	CDG	DRAWN BY: CDG	PROJ. ENG.: TRS	SHEET 3 OF 5
07/14/22	REV. PER TOWNSHIP	CDG	APPROVED BY: TRS	PROJ. SURV.: BRENT	
06/28/22	REV. PER TOWNSHIP	CDG	FILE NO.: 212129E	DATE: 06/10/2022	

**PUD-49**

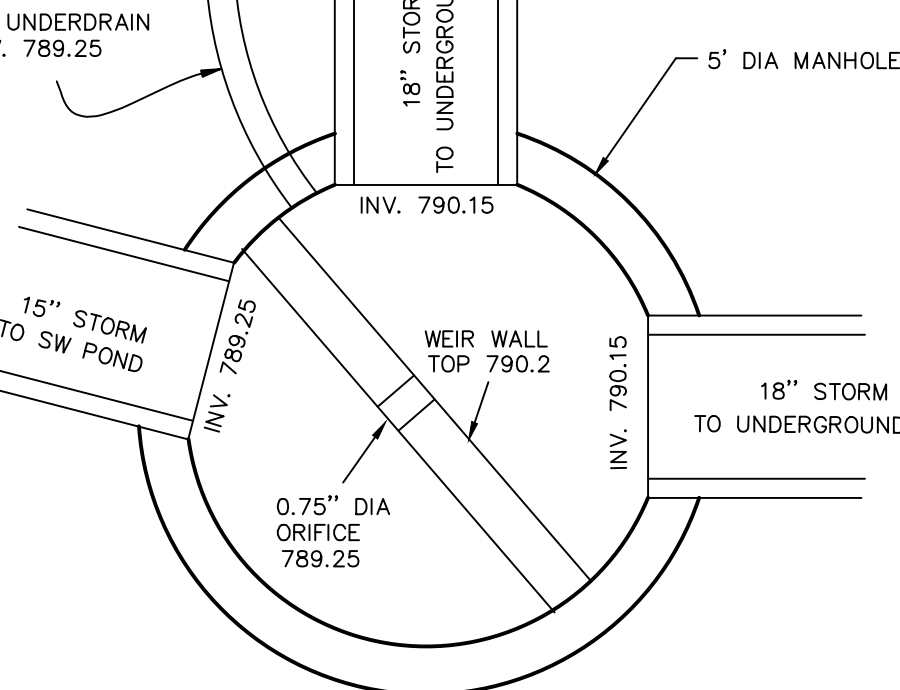
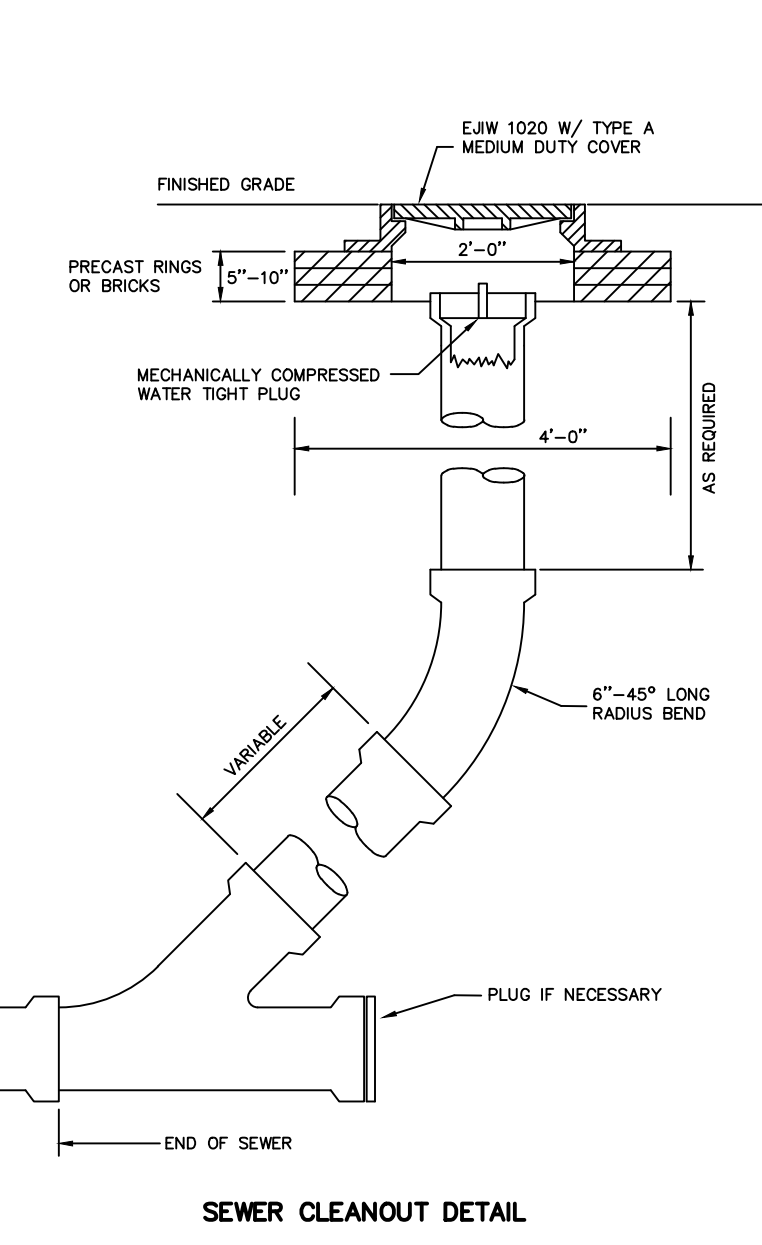
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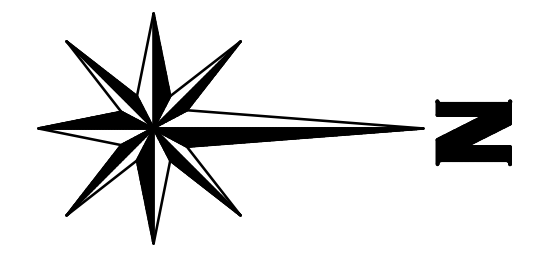


**OVERFLOW STRUCTURE GRATE DETAIL**

- GENERAL STORM SEWER NOTES**
- YARD DRAINS**
- ALL 2' & 4' DIA. YARD DRAINS (YD) SHALL HAVE 2' DEEP SUMPS. USE EJ #1046 CASTING WITH TYPE M1 GRATE.
- CATCH BASINS**
- ALL 4' DIA. CATCH BASINS (CB) WITHIN PARKING LOT AREAS SHALL HAVE 2' SUMPS AND USE EJ #5105 CASTING.
  - ALL 4' DIA. CATCH BASINS (CB) WITHIN 2' CONC. HEAD CURB SHALL HAVE 2' SUMPS AND USE EJ #7045 CASTING WITH TYPE M1 GRATE.
- MATERIAL TYPE**
- FOOTING DRAIN LEAD SHALL BE PVC SCH. 40
  - ALL STORM LABELED "STORM SEWER" SHALL BE SMOOTH-LINED CORRUGATED PLASTIC PIPE (SLCPP), (ADS N-12, HANCOR HI-Q OR APPROVED EQUAL)
- OTHER**
- ALL 6" - 10" (SLOPP) PIPE SHALL HAVE A SILT TIGHT COUPLER.
  - ALL 12" - 15" (SLOPP) PIPE SHALL HAVE A SILT TIGHT, SURE-LOCK TYPE COUPLER.
  - ALL MANHOLES SHALL HAVE NO SUMP UNLESS OTHERWISE NOTED AND SHALL USE EJ #1120 CASTING WITH TYPE B COVER.



**FLOW CONTROL STRUCTURE DETAIL**



SCALE: 1" = 30'  
1" CONTOUR INTERVAL

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**SITE UTILITY PLAN – MAGNA –MIRRORS**  
**RE: 5251 36TH STREET SE**  
**FOR: GEENEN DEKOCK PROPERTIES**  
**ATTN: CHUCK GEENEN**  
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**exxel engineering, inc.**  
 planners • engineers • surveyors  
 5252 Clyde Park, S.W. • Grand Rapids, MI 49509  
 Phone: (616) 531-3660 • www.exxelengineering.com

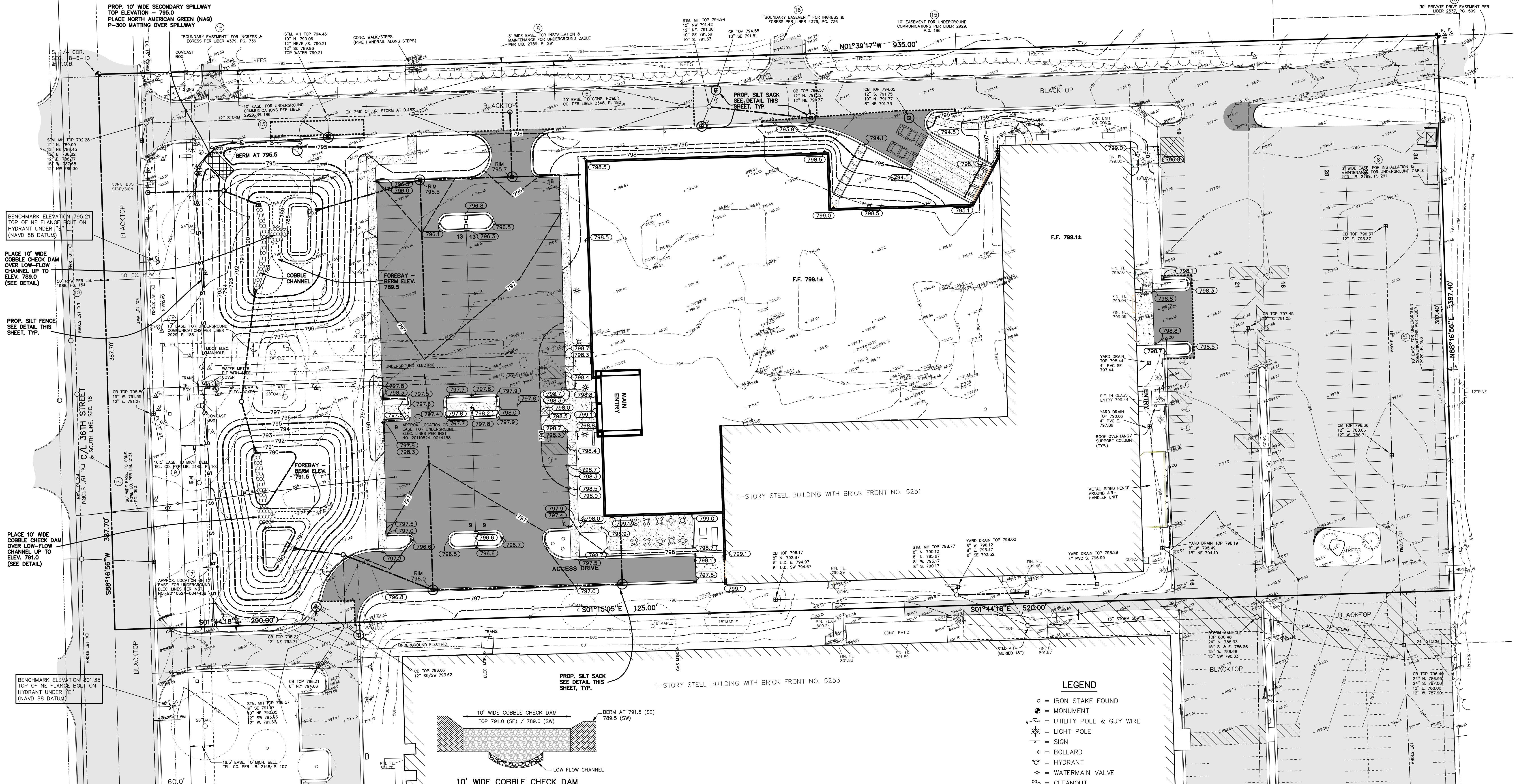
08/24/22	REV. STORMWATER SYSTEM	CDG
07/14/22	REV. PER TOWNSHIP	CDG
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06/28/22	REV. PER TOWNSHIP	CDG
DATE	REVISION	BY

DRAWN BY: CDG  
 APPROVED BY: TRS  
 FILE NO.: 212129E  
 DATE: 06/10/2022

**SHEET 4 of 5**

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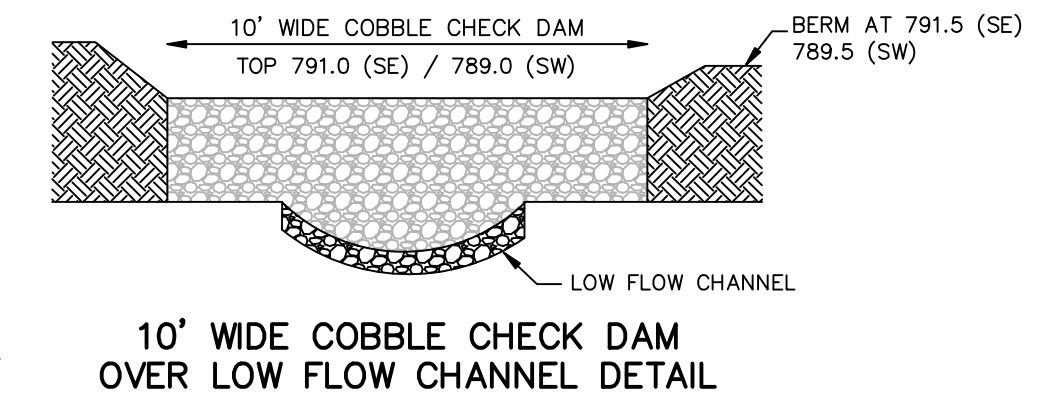
BENCHMARK ELEVATION 795.21  
TOP OF NE FLANGE BOLT ON  
HYDRANT UNDER "E"  
(NAVD 88 DATUM)

PLACE 10' WIDE  
COBBLE CHECK DAM  
OVER LOW-FLOW  
CHANNEL UP TO  
ELEV. 789.0  
(SEE DETAIL)

PROP. SILT FENCE  
SEE DETAIL THIS  
SHEET, TYP.

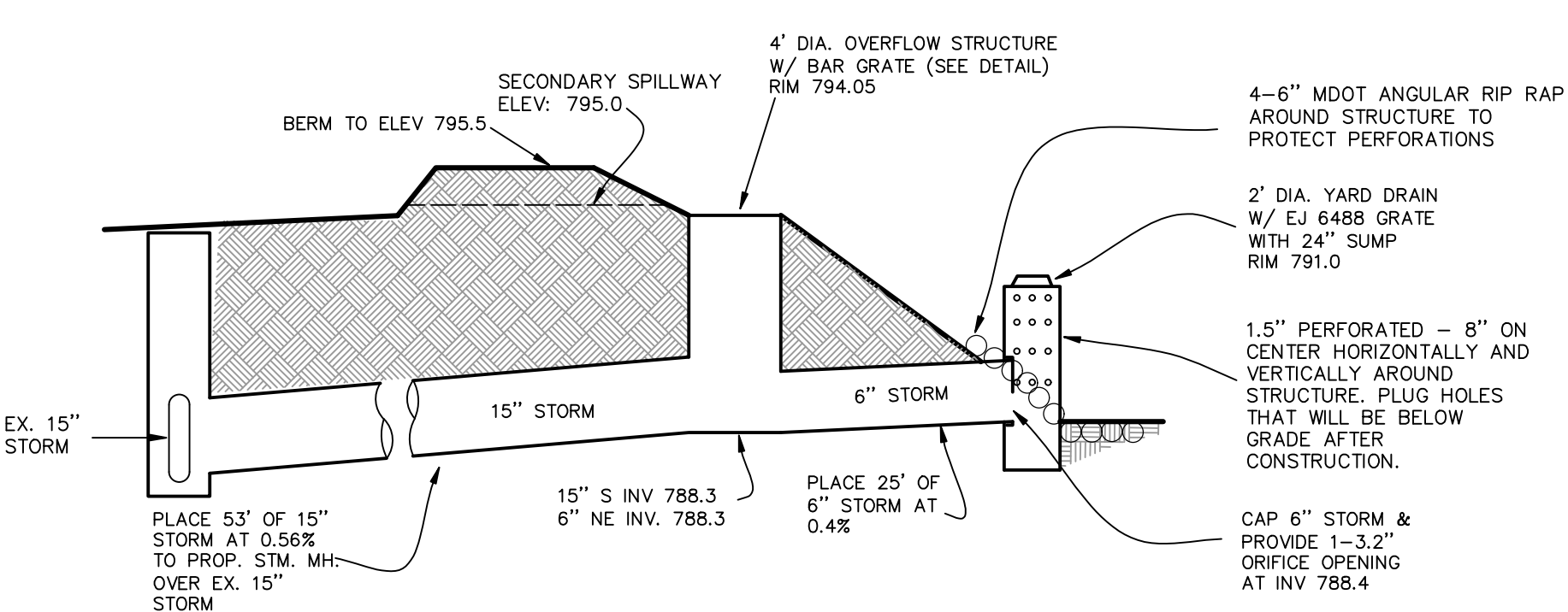
PLACE 10' WIDE  
COBBLE CHECK DAM  
OVER LOW-FLOW  
CHANNEL UP TO  
ELEV. 791.0  
(SEE DETAIL)

BENCHMARK ELEVATION 801.35  
TOP OF NE FLANGE BOLT ON  
HYDRANT UNDER "E"  
(NAVD 88 DATUM)

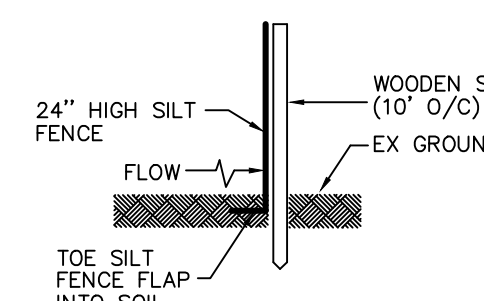


10' WIDE COBBLE CHECK DAM  
OVER LOW FLOW CHANNEL  
DETAIL

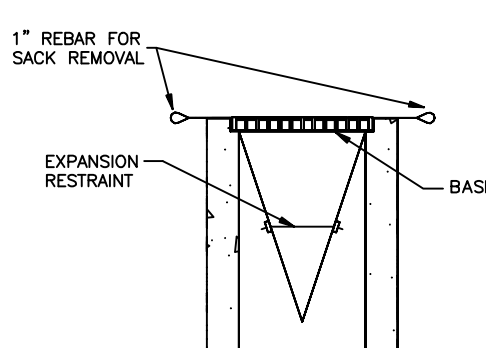
- SOIL EROSION CONTROL NOTES:**
- TOTAL AREA OF DISTURBANCE = 3.2 AC.
  - THE OWNER SHALL OBTAIN THE SOIL EROSION CONTROL PERMIT. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SOIL EROSION CONTROL PERMIT.
  - ALL SOIL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION AND MAINTAINED, AS NECESSARY, UNTIL THE SITE HAS BEEN PERMANENTLY STABILIZED.
  - ALL DISTURBED NON-PAVED AREAS SHALL BE PERMANENTLY STABILIZED WITH AT LEAST 4" OF TOPSOIL AND BE SEEDDED.
  - THE CONSTRUCTION ENTRANCE IS OFF 36TH STREET. PREVENT TRACKING SOIL OFF-SITE. IF TRACKING OCCURS, SWEEP SOIL IMMEDIATELY.
  - CONTROL DUST BY DISTRIBUTING WATER REGULARLY OVER DISTURBED AREAS.
  - INSPECT AND MAINTAIN ALL TEMPORARY SOIL EROSION CONTROLS DAILY AND AFTER EACH SIGNIFICANT RAINFALL EVENT.
  - THE SEDIMENT SHALL BE CONTAINED ON-SITE.
  - PLACE SILT FENCE AS SHOWN ON PLAN AND PER DETAIL AND ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
  - THE SILT FENCE MUST BE TOED IN A MINIMUM OF 6" ALONG ITS BASE.
  - THE MAINTENANCE NECESSARY FOR THE PERMANENT SOIL EROSION CONTROL MEASURES IS THE RESPONSIBILITY OF THE OWNER.



SOUTHWEST POND OUTLET DETAIL



SILT FENCE DETAIL



SILT SACK DETAIL

- LEGEND**
- = IRON STAKE FOUND
  - = MONUMENT
  - ⊕ = UTILITY POLE & GUY WIRE
  - ⊙ = LIGHT POLE
  - ⊖ = SIGN
  - ⊙ = BOLLARD
  - ⊕ = HYDRANT
  - ⊕ = WATERMAIN VALVE
  - ⊕ = CLEANOUT
  - ⊕ = POST INDICATOR VALVE
  - ⊕ = CATCH BASIN
  - = MANHOLE
  - HH = DOWNSPOUT
  - ⊕ = TELEPHONE BOX
  - ⊕ = BURIED FIBER OPTIC MARKER
  - ⊕ = BURIED GAS LINE MARKER
  - ⊕ = BURIED ELECTRIC MARKER
  - ⊕ = BURIED TELEPHONE MARKER
  - ⊕ = BURIED WATERMAIN MARKER
  - ⊕ = OVERHEAD WIRES

SCALE: 1" = 30'  
1' CONTOUR INTERVAL

**SITE GRADING & SOIL EROSION CONTROL PLAN**  
**RE: 5251 36TH STREET SE**  
**MAGNA - MIRRORS**  
 FOR: GEENEN DEKOCK PROPERTIES  
 ATTN: CHUCK GEENEN  
 12 WEST 8TH ST. (STE. 250)  
 HOLLAND, MI 49423  
 PART OF THE SE 1/4, SECTION 18, T6N, R10W, CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN

**excel engineering, inc.**  
 planners • engineers • surveyors  
 5252 Clyde Park, S.W. • Grand Rapids, MI 49509  
 Phone: (616) 531-3660 www.excelengineering.com

06/24/22	REV. STORMWATER SYSTEM	CDG
07/14/22	REV. PER TOWNSHIP	CDG
07/08/22	REV. PER TOWNSHIP	CDG
06/28/22	REV. PER TOWNSHIP	CDG
DATE	REVISION	BY

DRAWN BY: CDG  
 PROJ. ENG.: TRS  
 APPROVED BY: CDG  
 FILE NO.: 212129E  
 DATE: 06/10/2022

**SHEET 5 of 5**



September 7, 2022  
Project No. 170168

Brian Hilbrands  
Interim Planning Director  
Cascade Charter Township  
2865 Thornhills Avenue SE  
Grand Rapids, MI 49546

### **5251 36<sup>th</sup> Street SE – Magna Mirrors Site Plan Review**

Dear Brian:

We have reviewed the Site Plan for Magna Mirrors, prepared by Exxel Engineering, Inc. The applicant is proposing to split the lot at 5251 36th Street SE, and redevelop the western lot as a light industrial facility for Magna Mirrors.

We received the initial Site Plan for review on June 15, 2022. We reviewed that Site Plan and provided several items to be addressed in an email dated June 20, 2022. The applicant reviewed the comments and responded with questions and clarification about the comments, resulting in a resubmittal of the Site Plan on June 28, 2022. Subsequent comments and a final Site Plan were submitted. The basis for this review was delivered by email with a PDF file dated July 8, 2022.

### **Stormwater and Drainage**

The proposed project is being reviewed under the updated 2022 Stormwater Ordinance and the criteria in the Stormwater Standards Manual, revised March 03, 2019.

The project Site is in Flood Control Zone 2. The proposed project is a redevelopment and shall comply with the current standards for the redeveloped portion of the Site.

The overall layout of the Site includes an existing one story steel building, and parking areas located to the north and south. A new addition will be constructed on the south side of the existing building, and the south parking lot will be removed and replaced during this construction. The Site is subdivided into two tributary areas, which overall correspond to the existing Site drainage patterns. The northern portion of the Site discharges to the Foremost Industrial Park, which flows north into the Kent County Patterson Drain Detention Area. The southern portion of the Site discharges to a storm sewer located in 36th Street SE. The redeveloped portions of the lot all fall within the south tributary area.

The proposed stormwater controls include two aboveground dry detention basins with pre-treatment forebays.

### **Flood Control**

The proposed project is in Flood Control Zone 2, which requires detention of the 25-year storm with a maximum release rate of 0.13 cfs per acre.

The proposed Site Plan includes two dry detention basins which serve the southeast, and southwest sub-basins, respectively. These have been sized to store the required volume per the LGROW spreadsheet and to reduce peak outflows from the 25-year storm to 0.13 cfs per acre. The southeast detention basin flows into the southwest basin before discharging from the Site.

Pre-treatment is provided for the two dry detention basins using sediment forebay sized to store 15% of the water quality volume. Pre-treatment for the west basin is provided in the pre-treatment row of the underground storage chamber.

## **Water Quality and Channel Protection**

Water quality for the south tributary area will be provided through a treatment train of catch basin sumps, pre-treatment forebays, and the dry detention areas.

No channel protection is required for the south tributary area since 2-year runoff volumes do not exceed the pre-development condition.

The applicant provided the completed Lower Grand River Organization of Watersheds spreadsheet that calculates the volume required to satisfy these requirements.

## **Drainage Plan**

The applicant has submitted plans, calculations, and additional documentation as required in SWO Section 2.03, Drainage Plan. Please note that a maintenance agreement and a long-term maintenance plan are required before construction begins. The agreement should be submitted to the Township for review. The maintenance agreement and plan should include, at a minimum, the cleaning of pre-treatment areas, cleaning of the detention basins, cleaning of catch basin sumps, and sediment and debris removal from the outlet structures.

## **Utilities and General Comments**

### **Sanitary Sewer**

The Site Plan indicates the intent to utilize the existing sanitary lateral connection with replacement of a portion of the lateral on the property. The existing sewer lateral connection in 36th Street will be utilized. This work should not require any additional permits from the City of Grand Rapids however, it will need to be constructed in accordance with City requirements.

### **Water Services**

Two new services are being proposed to serve the building.

An 8-inch fire protection service will be tapped on the existing 12-inch main on the north side of 36th Street with the new private main being constructed along the west side of the building with a connection to the existing building. This fire protection line also includes two hydrants, and the backflow chamber.

A new 4-inch domestic service will be extended from the existing 4-inch water service that has already been in use. That service is shown to enter the existing building on the south side.

From the notes on the Site Plan, it seems that the engineer has been coordinating with the City of Grand Rapids. We expect the layout and location are acceptable; however, a permit from the City of Grand Rapids will need to be obtained prior to beginning any water main construction.

### **Driveways and Sidewalks**

The Site Plan indicates existing driveways that connect to 36th Street will remain in place. With no new drive connections to the public road, a drive permit should not be necessary from the Kent County Road Commission.

The Site Plan includes sidewalk surrounding the new parking lot on the south side of the building with a connection point to the main entry. Additional sidewalks are shown connecting to other entry points around the building.

## Soil Erosion and Sedimentation Control

**Soil Erosion and Sedimentation Control (SESC) falls under the review and approval of the Kent County Road Commission (KCRC) and a permit is required before construction can begin.**

SESC measures are provided on the plan drawings. The applicant has included silt fence along the downstream limits of the project, permanent and temporary seeding, mulch blankets on steep slopes, silt sacks in catch basins, and riprap at concentrated discharge areas. The Site does not include provisions to limit the tracking of sediment at construction entrances and exits. KCRC may require additional SESC measures beyond what is shown on the drawings.

The disturbed area of the Site does not exceed five acres.

## Summary

The proposed stormwater management design meets the Township SWO requirements for the Site location. Therefore, from an engineering point of view, we recommend approval.


If you have any questions or require additional information, please contact me at 616.464.3927 or [mberrevoets@fishbeck.com](mailto:mberrevoets@fishbeck.com).

Sincerely,



**Anthony Heath, PE**  
Civil Engineer

By email



**Michael L. Berrevoets, PE**  
Vice President/Senior Civil Engineer



**STAFF REPORT**

STAFF REPORT: Case # 22-3717  
REPORT DATE: July 13, 2022  
PREPARED FOR: Cascade Charter Township Planning Commission  
MEETING DATE: July 18, 2022  
PREPARED BY: Brian Hilbrands, Planning Director

APPLICANT

GDP Properties LLC, Douglas DeKock  
12 West 8<sup>th</sup> Street, Suite 250  
Holland, MI 49423

STATUS  
OF APPLICANT:

Contractor

REQUESTED ACTION:

Site Plan Review for a 55,000 sq ft addition and parking lot renovations.

EXISTING ZONING OF  
SUBJECT PARCEL:

TI, Transitional Industrial

GENERAL LOCATION:

North side of 36<sup>th</sup> St, west of Raleigh Dr

PARCEL SIZE:

8.3 Acres

PROPERTY LOCATION:

5251 36<sup>th</sup> St

EXISTING LAND USE  
ON THE PARCEL:

Light Industrial/Research Development

ADJACENT AREA  
LAND USES:

Industrial/Research Development

ZONING ON  
ADJOINING PARCELS:

N,E,W - TI  
S - I

STAFF COMMENTS:

1. The applicant is requesting site plan approval to construct a 55,000 sq ft addition to the existing industrial building which will result in a total building size of approximately 104,780 sq ft. The site plan was reviewed under Section 21.07 of the Site Plan Review Chapter of the Zoning Ordinance.

2. The existing building was built in 1972 and consists of two “wings” connected by an enclosed walkway. The applicant and property owner have applied for a lot split to create two lots. The new property line would run between the two buildings. The addition is being proposed for the building that will be located on the west parcel.
3. The applicant received a variance to allow for the existing building to be located 17.6’ from the side property line, with the condition that any new addition must meet the required setback of 25’. The proposed addition meets all of the setback requirements for the zoning district, as well as the height requirements.
4. In order to complete the lot split, the covered walkway between the two buildings will need to be removed since it runs through the new property line. The applicant has indicated that the approximate cost for removing the walkway will be \$20,000. The removal of the walkway is being coordinated with the separation of utilities between the two buildings. The applicant will need to provide a bond in the amount of no less than \$20,000 to ensure that the walkway is removed.
5. The site plan shows a total of 256 parking spaces which meets the minimum parking requirements for light industrial use.
6. No new access to the property is being requested so no review by the KCRC was needed.
7. The site plan has been reviewed by the Building and Fire Departments who have indicated that utility alterations will be necessary to make two compliant building, so that each building is being served by separate utilities.
8. The Township engineer has reviewed and approved the plan, and their comments are included in your packet. They note that there are two outstanding items that the applicant must address as a condition of approval, and that a stormwater maintenance agreement will also need to be recorded.
9. The Gerald R Ford Airport staff has been made aware of the project and has provided some comments relative to construction permits (cranes), landscaping materials and lighting.
10. A photometric plan was submitted that meets Township requirements.
11. A comprehensive landscape plan was submitted that includes new plantings around the building, as well as maintaining the existing vegetated area along the west property line. A landscape bond in the amount of no less than \$10,000 should be submitted.

**Section 21.07: Criteria For Site Plan Approval:**

The Planning Commission shall use the following criteria in evaluating a site plan submittal:

1. Whether the required information has been furnished in sufficiently complete and understandable form to allow an accurate description of the proposed use(s) and structure(s) in terms of density, location, area, height, bulk, placement, setbacks, performance characteristics, parking, and traffic circulation.

2. Whether there are ways in which the configuration of uses and structures can be changed which would improve the impact of the development on adjoining and nearby properties, persons, and activities, and on the community, while allowing reasonable use of the property within the scope of district regulations and other regulations of this Ordinance that are applicable to the property and proposed use and structures.

3. The extent to which natural features and characteristics of the large trees, natural groves, watercourses, and similar will be preserved; the regard given to existing natural features that would add attractiveness to the property and environs if they were preserved; the preservation of natural drainage systems the dedication and/or provision, where appropriate, of scenic easements, natural buffering, and other techniques for preservation and enhancement of the physical environment.

STAFF RECOMMENDATION:

Staff is recommending Approval of the site plan for the 55,000 sq. ft. building addition with the following conditions.

1. Provide a bond in the amount of \$20,000 to ensure that the enclosed walkway is removed.
2. The applicant complies with the Township Engineer letter dated July 13, 2022, and all necessary permits are obtained before construction begins.
3. Record the stormwater maintenance agreement.
4. The two buildings located on what was 5251 36<sup>th</sup> Street are served by separate utilities to meet the Building Code requirements, as well as any requirements from the City of Grand Rapids.
5. Provide a landscape bond in the amount of \$10,000.

ATTACHMENTS:            Application  
                                  Site plan  
                                  Township Engineer letter

**STAFF REPORT**

STAFF REPORT: Case #22-3739/Northpointe Bank  
REPORT DATE: September 14, 2022  
PREPARED FOR: Cascade Charter Township Planning Commission  
MEETING DATE: September 19, 2022  
PREPARED BY: Brian Hilbrands, Planning Director

APPLICANT:

Progressive AE, Ken Brandsen  
1811 4 Mile Rd  
Grand Rapids, MI 49525

STATUS

OF APPLICANT: Engineer for Owner

REQUESTED ACTION: Basic Plan Review for an amendment to the PUD Ordinance to accommodate an addition to the existing office building.

EXISTING ZONING OF SUBJECT PARCEL(S): PUD 25

PROPERTY ADDRESS: 5303 28<sup>th</sup> Street Ct

GENERAL LOCATION: West of Meijer at the end of 28<sup>th</sup> Street Ct

PARCEL SIZE: Approximately 8.5 acres

EXISTING LAND USE ON THE PROPERTY: Office – Northpointe Bank

ADJACENT AREA LAND USES:

N – YMCA  
W – Consumers Energy Easement, Highridge Condos  
E – Holiday Inn Hotel  
S – I-96 ROW

ZONING ON

ADJOINING PARCELS: N – PUD 81  
W – R1  
E – ES (Expressway Service)  
S – I-96 ROW

**STAFF COMMENTS:**

1. The applicant is requesting Basic Plan Review to amend the existing Planned Unit Development to allow for two additions to the existing office building. The additions

would total approximately 6,438 square feet, bringing the total building size to approximately 97,495 square feet.

2. The site was rezoned to PUD in 1988. It was originally rezoned to allow for a multi-tenant retail center. It appears that support for the retail center declined, and in 1993 the PUD was amended to allow for additional uses, including executive, administrative, and business offices.
3. The PUD ordinance limits the size of the building to 90,000 square feet. Since the additions would be exceeding this size, and amendment to the PUD is required.
4. It appears that the size limit was simply what was being requested at the time for the original retail center. With the use changing from a retail center to an office which would be less intense of a use, I do not have a concern with the slight increase in building size.
5. The building would still meet the setback and height requirements of the PUD ordinance.
6. The applicant will need to provide a full stormwater submittal for the Township engineer to review.
7. Any landscape plantings that are being removed should be replaced with an equivalent planting.
8. If any outdoor lighting is being proposed then a lighting photometric plan is required.
9. The applicant has submitted this package as required by Section 16.05 (2) of the Zoning Ordinance for Basic Plan Review.
10. If you find that all the procedural information has been provided, this application should proceed to a public hearing and consideration of a Preliminary Development Plan. It will be at that stage of the review process that the *merits* of the request will be considered, and the detailed site plans will be required and reviewed.

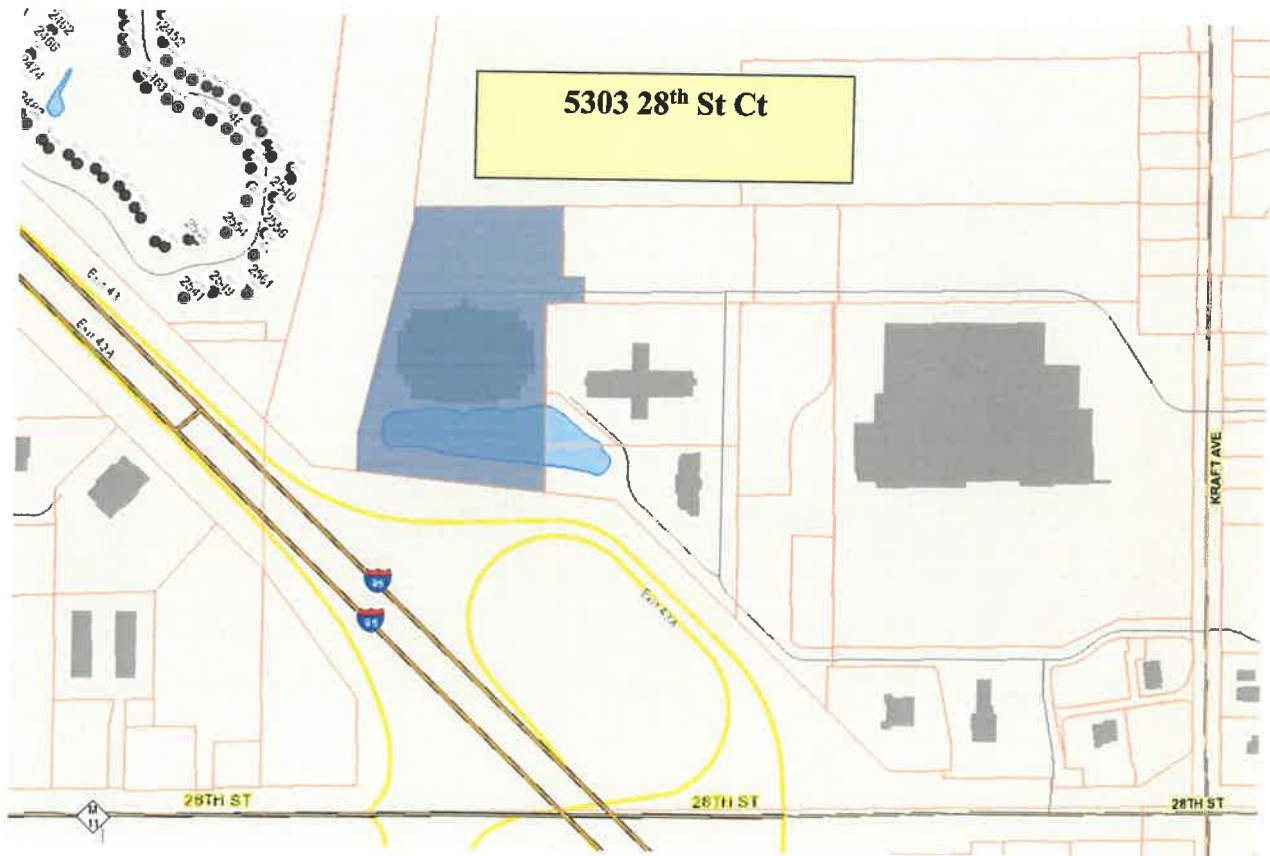
Before proceeding to the Preliminary Development Plan review (Public Hearing), I would recommend that the applicant submit the following information:

1. Photometric plan if new lights are being proposed.
2. Show landscape plantings on the site plan.
3. Approval from the township engineer for any required stormwater drainage facilities or improvements.

ATTACHMENTS:

Application  
Site Plan

PUD Ordinance – Home Design Center, #6 of 1988 and #3 of 1993





# CASCADÉ CHARTER TOWNSHIP

5920 Tahoe Dr. SE, Grand Rapids, Michigan 49546-7140

## PLANNING & ZONING APPLICATION

APPLICANT: Name: Progressive AE · Ken Brandsen  
 Address: 1811 4 Mile Rd NE  
 City & Zip Code: Grand Rapids, MI 49525  
 Telephone: 616-447-9329  
 Email Address: brandsenk@progressiveae.com

OWNER: \* (If different from Applicant)  
 Name: Northpointe Bank · Ashley Moser  
 Address: 5303 28th St. CT SE  
 City & Zip Code: Grand Rapids, MI 49512  
 Telephone: 616-974-8427  
 Email Address: ashley.moser@northpointe.com

NATURE OF THE REQUEST: (Please check the appropriate box or boxes)

<input type="checkbox"/> Administrative Appeal	<input type="checkbox"/> Administrative Site Plan Review
<input type="checkbox"/> Deferred Parking	<input type="checkbox"/> P.U.D. - Rezoning *
<input checked="" type="checkbox"/> P.U.D. - Site Condominium *	<input type="checkbox"/> Rezoning
<input type="checkbox"/> Site Plan Review *	<input type="checkbox"/> Sign Variance Subdivision
<input type="checkbox"/> Special Use Permit	<input type="checkbox"/> Plat Review *
<input type="checkbox"/> Zoning Variance	<input type="checkbox"/> Other: _____ *

\* Requires an initial submission of 5 copies of the completed site plan

### BRIEFLY DESCRIBE YOUR REQUEST:\*\*

In support of an office consolidation, the existing  
91,057 SF facility will expand by 6,438 SF  
totaling 97,495 SF.

(\*\*Use Attachments if Necessary)

-SEE OTHER SIDE-

LEGAL DESCRIPTION OF PROPERTY\*\*:

see attached ALTA survey  
dated 9/23/19.

(\*\*Use Attachments if Necessary)

PERMANENT PARCEL (TAX) NUMBER: 41-19 -07-451-013

ADDRESS OF PROPERTY: 5303 28th st. Ct SE, Grand Rapids, MI 49512

PRESENT USE OF THE PROPERTY: Business

NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS HAVING A LEGAL OR  
EQUITABLE INTEREST IN THE PROPERTY:

Name(s)	Address(es)
_____	_____
_____	_____

**SIGNATURES**

I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) also agree to reimburse the Cascade Charter Township for all costs, including consultant costs, to review this request in a timely manner. I (we) understand that these costs may also include administrative reviews which may occur after the Township has taken action on my (our) request.

I (we) the undersigned also acknowledge that the proposed project does not violate any known property restrictions (i.e. plat restrictions, deed restrictions, covenants, etc.)

Ashley L. Moser  
Owner – Print or Type Name  
(\*If different from Applicant)

  
Owner's Signature & Date  
(\*If different from Applicant)

Kendall Brandsen  
Applicant – Print or Type Name

  
Applicant's Signature & Date

PLEASE ATTACH ALL REQUIRED DOCUMENTS NOTED IN THE PROCESS REVIEW SHEET – THANK YOU







# NORTHPOINTE BANK

# NPB OPS CENTER - PHASE 2

5303 28TH ST. CT SE  
GRAND RAPIDS, MI, 49512

## DRAWING INDEX - PHASE 2

GENERAL	
TD001-B	TITLE DRAWING
G001-B	PROJECT INFORMATION AND TYPICAL DETAILS
G101-B	CODE COMPLIANCE PLAN
CIVIL	
C100-B	SITE CONTEXT PLAN
C101-B	SITE DEMOLITION PLAN
C201-B	SITE LAYOUT PLAN
C301-B	SITE GRADING PLAN
STRUCTURAL	
S001-B	GENERAL NOTES - PHASE II
S002-B	DESIGN CRITERIA AND SCHEDULES - PHASE II
S003-B	SPECIAL INSPECTIONS - PHASE II
S101-B	FOUNDATION PLANS - PHASE II
S102-B	FRAMING PLANS - PHASE II
S201-B	ELEVATIONS
S301-B	TYPICAL CONCRETE DETAILS - PHASE II
S501-B	TYPICAL STEEL DETAILS - PHASE II
ARCHITECTURAL	
AD101-B	DEMOLITION PLAN
AD102-B	REFLECTED CEILING DEMOLITION PLAN
A101-B	OVERALL FLOOR PLAN
A102-B	ENLARGED PLANS - PART SE & SW
A103-B	ROOF PLAN
A111-B	OVERALL REFLECTED CEILING PLAN
A112-B	ENLARGED REFLECTED CEILING PLAN - PART A & B
A121-B	OVERALL FINISH PLAN - PART SE & SW
A122-B	ENLARGED FINISH PLAN - PART SE & SW
A201-B	EXTERIOR ELEVATIONS
A301-B	BUILDING SECTIONS
A302-B	WALL SECTIONS
A303-B	WALL SECTIONS
A311-B	EXTERIOR & INTERIOR DETAILS
A601-B	DOOR AND WINDOW SCHEDULE, ELEVATIONS, AND DETAILS Copy 1

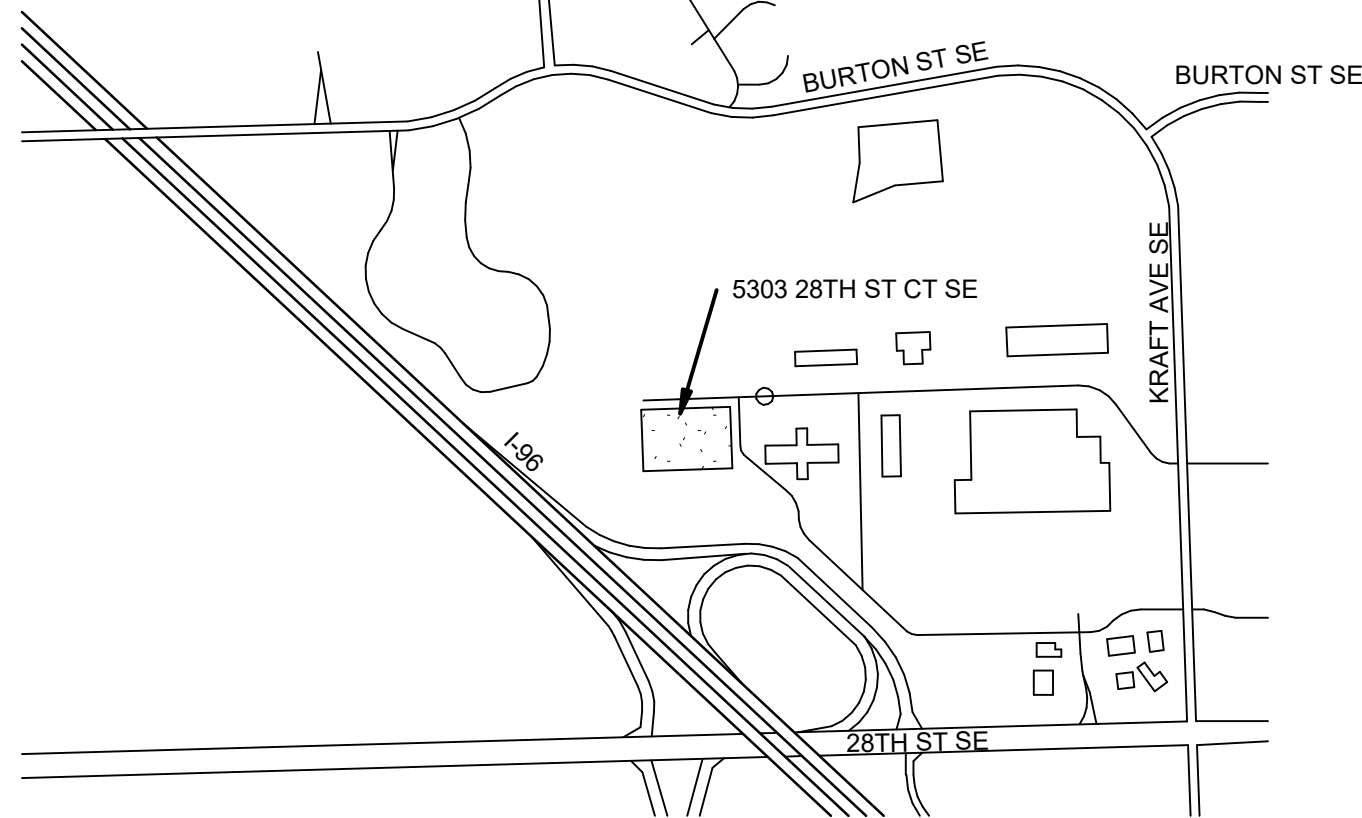


### PROJECT NARRATIVE

PHASE I: OFFICE ADDITION IN THE NORTHEAST CORNER OF THE EXISTING BUILDING TO ACCOMMODATE EXECUTIVE OFFICE EXPANSION ALONG WITH A RENOVATION OF THE INTERIOR SPACE.

PHASE II: ADDITION OF THE SOUTHEAST AND SOUTH WEST CORNERS OF THE BUILDING TO ACCOMMODATE AN OFFICE EXPANSION ALONG WITH A RENOVATION OF THE INTERIOR SPACE.

### PROJECT LOCATION



8/20/2022 11:52:27 AM Autodesk AutoCAD 2021 Northpointe Bank Operations Center 03/01/2021 NPB OPS CENTER.dwg

THIS DOCUMENT HAS BEEN PREPARED BY PROGRESSIVE AE, INC. ENGINEERING, INC. SHALL BEAT ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT THERE TO.

progressive ae

NORTHPOINTE BANK  
NPB OPS CENTER - PHASE 2

NOT FOR  
CONSTRUCTION

ISSUANCE  
9/29/2022 PUD AMENDMENT  
SUBMITTAL

PROJECT NUMBER  
33810001  
PROJECT MANAGER  
J. HORMAN  
PROFESSIONAL  
R. D'ALESSANDRO  
DRAWN BY  
L. MIAASHER, J. STONE  
CHECKED BY  
R. D'ALESSANDRO

TITLE DRAWING  
TD001-B

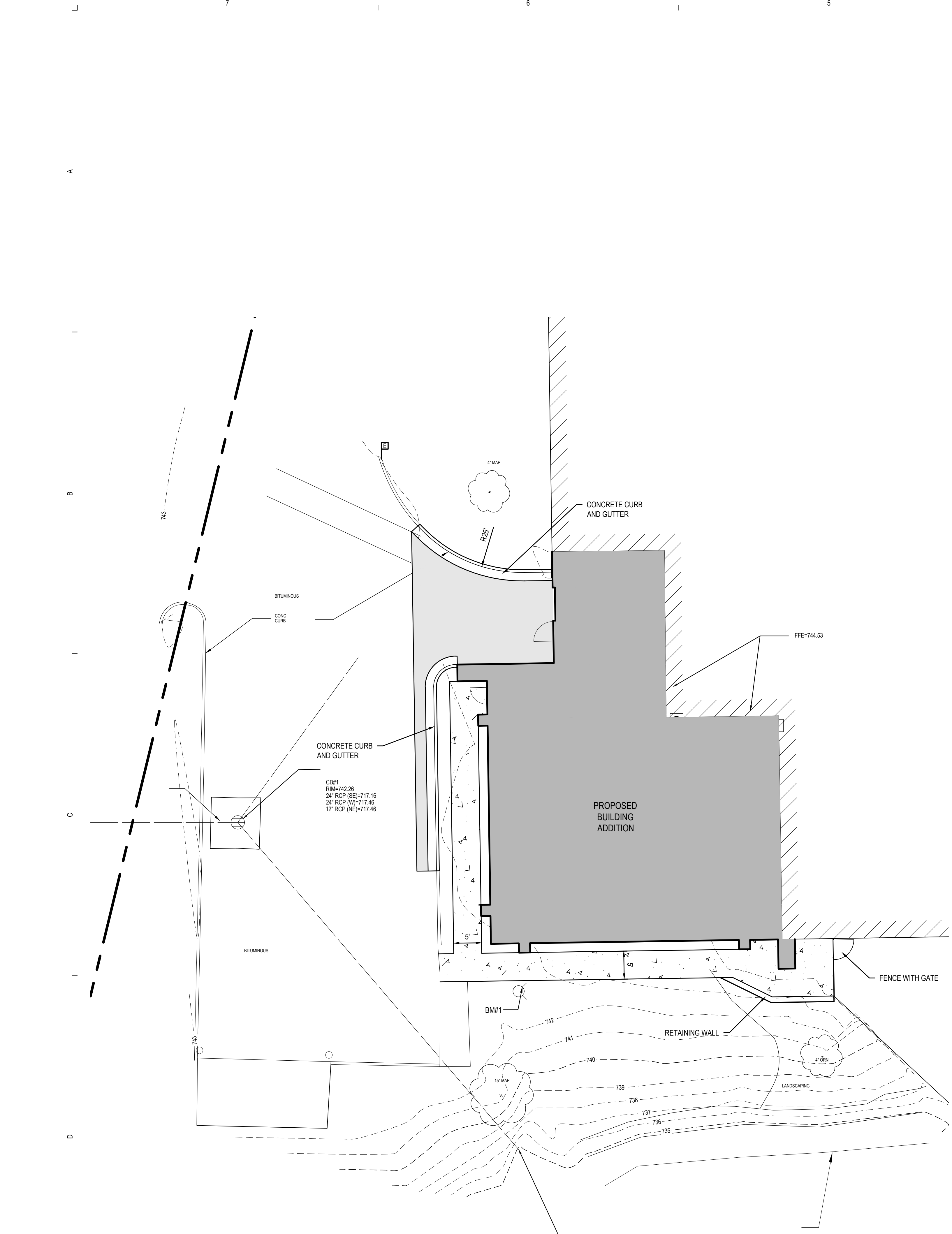




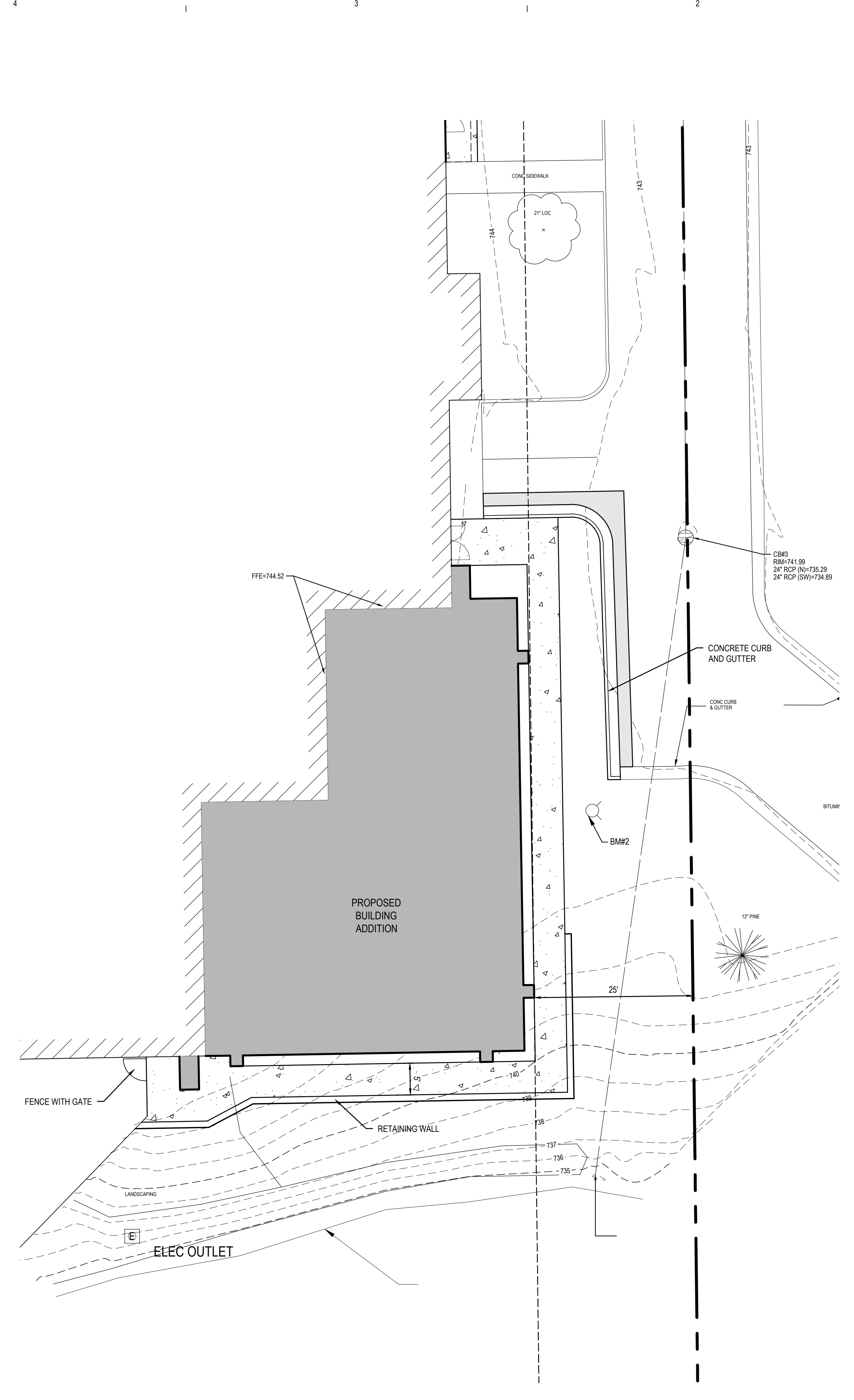








**SW QUADRANT - SITE LAYOUT PLAN**  
 1" = 50'  
 NORTH



**SE QUADRANT - SITE LAYOUT PLAN**  
 1" = 50'  
 NORTH

**PAVEMENT LEGEND**

	STANDARD CURB AND GUTTER
	PITCH OUT CURB AND GUTTER
	BITUMINOUS PAVEMENT
	CONCRETE SIDEWALK

1 1/2" (165 LB/SYD) MDOT 36A BIT. WEARING COURSE  
 MDOT TACK COAT @ 0.15 GAL/SY  
 1 1/2" (165 LB/SYD) MDOT 13A BIT. LEVELING COURSE  
 6" AGGREGATE BASE, MDOT 21AA MOD  
 12" SUBBASE, CL II SAND OR APPROVED NATIVE MATERIAL

4" CONCRETE  
 4" MDOT CLASS II GRANULAR BASE  
 APPROVED COMPACTED SUBBASE

- GENERAL SITE LAYOUT NOTES**
1. ALL WORKMANSHIP AND MATERIALS SHALL BE ACCORDING TO THE CURRENT MICHIGAN DEPARTMENT OF TRANSPORTATION (M.D.O.T.) STANDARD SPECIFICATIONS FOR CONSTRUCTION.
  2. CONTACT "MISS DIG" TOLL FREE AT 1-800-482-7171 THREE (3) DAYS PRIOR TO THE START OF CONSTRUCTION, EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS.
  3. NO DIMENSION MAY BE SCALED. REFER UNCLEAR ITEMS TO THE ENGINEER FOR INTERPRETATION.
  4. DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED AS B-B (BACK TO BACK) OR E-E (EDGE OF METAL TO EDGE OF METAL).
  5. CONTRACTOR TO PAINT STRIPE ALL PARKING SPACES SHOWN. PAINT COLOR TO BE YELLOW.
  6. UPON REQUEST, ELECTRONIC INFORMATION WILL BE PROVIDED FOR SITE LAYOUT PURPOSES. CONTRACTOR SHALL REQUEST ALL INFORMATION IN WRITING THROUGH PROGRESSIVE AE. LAYOUT OF ALL NEW CONSTRUCTION SHALL BE DONE BY A LICENSED SURVEYOR.
  7. ALL CONCRETE JOINTS SHALL BE TOOLED PER SPECIFICATIONS.
  8. CONTRACTOR MUST RESTORE AND REPAIR ANY EXISTING CONDITIONS DISTURBED BY CONSTRUCTION. THIS IS TO INCLUDE BURIED UTILITIES, LIGHTING, LANDSCAPING, SPRINKLING, ETC.
  9. ANY AREA DISTURBED BY CONSTRUCTION TO BE RESTORED TO CONDITION EQUAL TO OR BETTER THAN BEFORE CONSTRUCTION BEGAN.
  10. ALL PAVEMENT, CURB & GUTTER, SIDEWALK AND UTILITIES WITHIN PUBLIC RIGHT-OF-WAY SHALL MEET CITY OF GRAND RAPIDS STANDARDS.

- GENERAL LANDSCAPE NOTES**
1. CONTRACTOR RESPONSIBLE FOR UNDERSTANDING PROJECT CONDITIONS AND VERIFYING PLANT QUANTITIES. NOTIFY LANDSCAPE ARCHITECT OF ANY PLAN DISCREPANCIES.
  2. PLANT LOCATIONS TO BE STAKED IN THE FIELD FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT AND OWNER. CONTRACTOR WILL BE RESPONSIBLE FOR VERIFYING ALL EXISTING UNDERGROUND UTILITIES. CONTACT THE APPROPRIATE UTILITY COMPANY FOR FIELD STAKING ALL LINES.
  3. ALL AREAS DISTURBED BY CONSTRUCTION TO BE TOPSOILED AND SEEDED UNLESS SHOWN OTHERWISE ON PLANS.
  4. CONTRACTOR TO CONTACT MISS DIG AT PHONE NUMBER 811 AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES.
  5. CONTRACTOR TO COORDINATE PLANTING SCHEDULE WITH IRRIGATION CONTRACTOR.
  6. NOTIFY LANDSCAPE ARCHITECT IF AREAS OF POOR DRAINAGE OR OTHER UNUSUAL SUB-GRADE CONDITIONS ARE ENCOUNTERED DURING EXCAVATION FOR PLANTING PITS.
  7. SHRUB PLANTING BEDS AND TREE SAUCERS TO RECEIVE 3" SHREDDED HARDWOOD MULCH. PERENNIAL BEDS TO RECEIVE 2" DEPTH MULCH AND GROUND COVER AREAS TO RECEIVE 1" DEPTH MULCH.
  8. ALL SHRUB BEDS TO HAVE ALUMINUM EDGING AND WEED BARRIER FABRIC.
  9. PLANTING MIXTURE FOR PERENNIALS SHALL BE SIX INCH DEPTH OF FOUR PARTS BY VOLUME OF TOPSOIL TO ONE PART OF SPHAGNUM PEAT MOSS.
  10. CONTRACTOR SHALL PROVIDE SPECIFIED SHRUBS, GROUND COVERS AND OTHER PLANT MATERIALS THAT COMPLY WITH ALL RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z601 "AMERICAN STANDARD FOR NURSERY STOCK". PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS STOCK, GROWN WITH GOOD HORTICULTURAL PRACTICE AND INSTALLED IN ACCORDANCE WITH METHODS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN.
  11. CONTRACTOR TO PROTECT EXISTING IRRIGATION SYSTEM AS MUCH AS POSSIBLE. REPAIR DAMAGE TO EXISTING IRRIGATION SYSTEM AND RECONFIGURE SPRINKLER LAYOUT TO ACCOMMODATE THE NEW IMPROVEMENTS.

**SEED MIXTURE**  
 EGS GREEN GROUNDS SEED MIX \*Note: High end mix\*  
 19.96% KELLY KENTUCKY BLUEGRASS  
 19.94% BARON KENTUCKY BLUEGRASS  
 19.91% SOX FAN PERENNIAL RYEGRASS  
 19.82% EXACTA II GLSR PERENNIAL RYEGRASS  
 19.73% JUMPSTART KENTUCKY BLUEGRASS  
 BY ECO GREEN SUPPLY, SEED AT RATE OF 5-7 LBS. PER 1,000 SQ. FT.

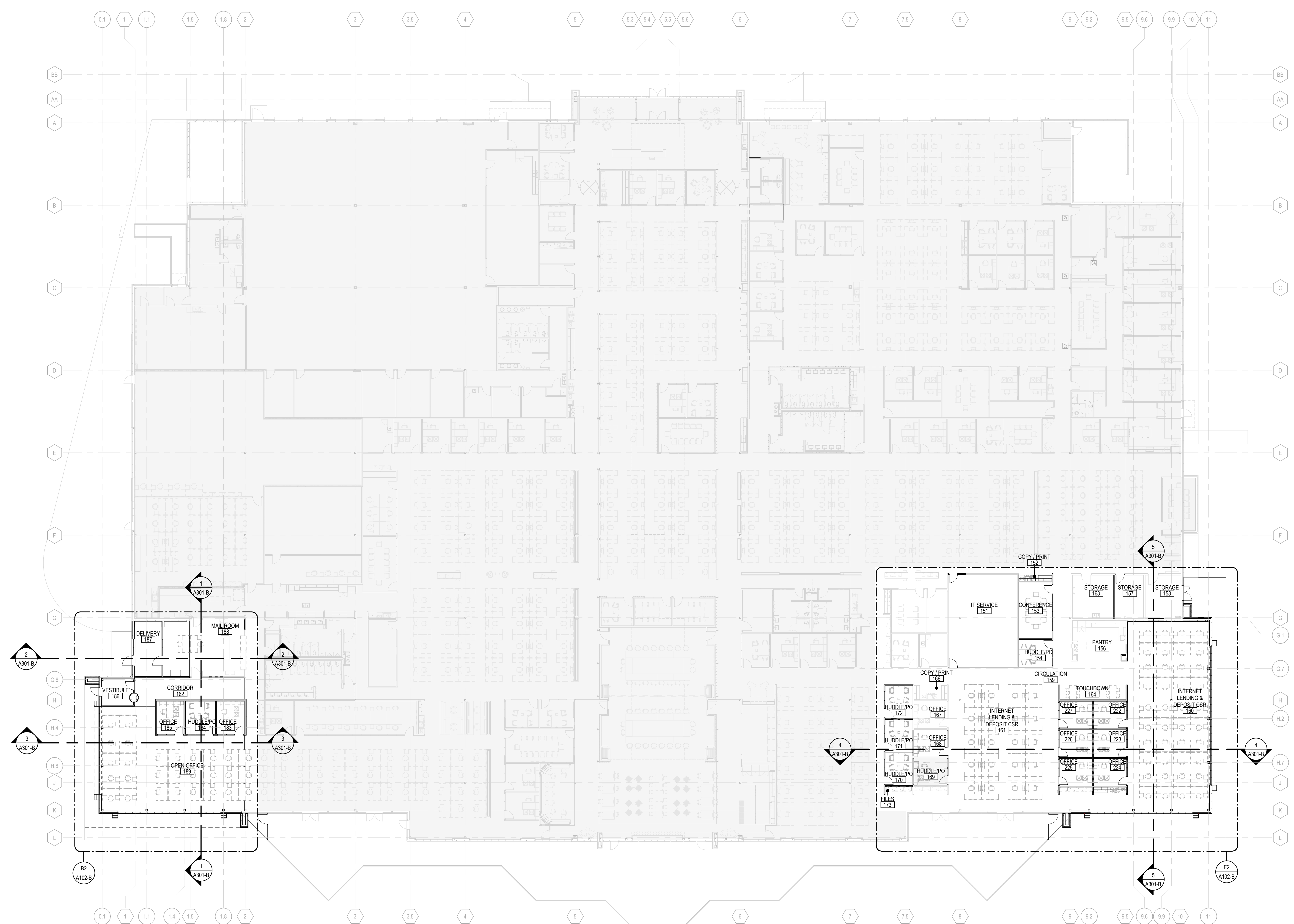
**progressive ae**  
 NORTHPOINTE BANK  
 NPB OPS CENTER - PHASE 2  
 NOT FOR CONSTRUCTION  
 PROJECT NUMBER: 33810001  
 PROJECT MANAGER: J. HORMAN  
 PROFESSIONAL: S. TEITSMA  
 DRAWN BY: S. TEITSMA  
 CHECKED BY:  
 ISSUANCE: 06/28/2022 PUD AMENDMENT SUBMITTAL  
 1811 1/4 Mile Rd NE Grand Rapids, MI 49505 (616) 361-2954  
 330 South Tyng St, Suite 300 | Charlotte, NC 28202 | (704) 331-5800 | www.progressiveae.com  
 5303 28TH STREET SE, GRAND RAPIDS, MI 49512  
 COA ARCHITECT COA ENGINEER  
**SITE LAYOUT PLAN C201-B**

8/26/2022 2:57:26 PM  
 P:\33810001\03\WPC2\33810001\_C201-B\_SITELAYOUT\_PNCE2.dwg - shomas  
 THIS DOCUMENT HAS BEEN PREPARED BY PROGRESSIVE AE AS AN INSTRUMENT OF SERVICE AND PROGRESSIVE AE SHALL RETAIN ALL COMMON-LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT THEREIN.









**OVERALL FLOOR PLAN**  
1/16" = 1'-0"

**GENERAL NOTES**

- DO NOT SCALE DRAWINGS.
- FINISH FLOOR ELEVATION = 100'-0". REFER TO CIVIL DRAWINGS FOR SITE DATUM ELEVATION EQUIVALENT.
- EXISTING BUILDING CONDITIONS BASED ON OWNER PROVIDED DRAWINGS AND LIMITED FIELD VERIFICATION. VERIFY EXACT CONDITIONS IN FIELD. SHOULD DISCREPANCIES OCCUR, NOTIFY ARCHITECT FOR CLARIFICATIONS.
- BEGINNING WORK INDICATES THAT THE CONTRACTOR HAS ACCEPTED AND VERIFIED EXISTING CONDITIONS.
- REFER TO CODE COMPLIANCE DRAWING(S) FOR LOCATIONS OF RATED ASSEMBLIES AND CODE SUMMARY.
- ABBREVIATIONS, TYPICAL MOUNTING DIMENSIONS, AND ANNOTATION SYMBOLS ARE SHOWN ON GENERAL INFORMATION DRAWINGS.
- WALL DIMENSIONS ARE TO FACE OF MASONRY, FACE OF CONCRETE, FACE OF STUDS, COLUMN CENTERLINE AS SHOWN OR EXISTING CONSTRUCTION UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE PERPENDICULAR AND PARALLEL, UNLESS NOTED OTHERWISE.
- PATCH ALL DISTURBED SURFACES WITH MATERIALS TO MATCH ADJACENT SURFACE CONSTRUCTION.
- PROVIDE APPROVED SMOKE/FIRESTOPPING ASSEMBLIES AT ALL MECHANICAL AND ELECTRICAL PENETRATIONS THROUGH FIRE RATED AND SMOKE RESISTANT PARTITIONS IDENTIFIED ON CODE COMPLIANCE DRAWINGS.
- OWNER FURNISHED EQUIPMENT IS SHOWN LIGHT DASHED FOR REFERENCE ONLY. REFER TO EQUIPMENT DRAWINGS FOR ADDITIONAL INFORMATION.
- REFER TO INTERIORS FOR FINISHES INCLUDING WALL PROTECTION ITEMS.
- REFER TO SPECIFICATION SECTION 10 1400 FOR REQUIRED LOCATIONS OF CODE REQUIRED SIGNAGE.

**INTERIOR PARTITION GENERAL NOTES**

- CONSTRUCT ALL WALLS TIGHT TO DECK ABOVE AND EXTEND INTO DECK FLUTES AND WEBS OF STEEL MEMBERS UNLESS OTHERWISE NOTED.
- PROVIDE DEFLECTION TRACK AT THE TOP OF ALL INTERIOR NON-BEARING METAL STUD WALLS CAPABLE OF ACCOMMODATING 1" ROOF/FLOOR DEFLECTION. REFER TO DETAIL E4 ON A302-A FOR HEAD OF WALL CONDITION.
- REFER TO CODE COMPLIANCE PLAN FOR RATED WALL LOCATIONS. FIRE RATED AND SMOKE RESISTANT ASSEMBLIES SHALL BE CONTINUOUS, WITH OTHER PARTITIONS ABUTTING THEM.
- PROVIDE FIRESTOPPING/SMOKE SEALANT AT ALL PENETRATIONS THROUGH FIRE RATED AND SMOKE RESISTANT ASSEMBLIES, CORRIDORS, AND FLOORS WITH OCCUPIABLE SPACES ABOVE AND BELOW.
- PROVIDE ACOUSTICAL SEALANT AT ALL WALLS WITH ACOUSTICAL INSULATION. PROVIDE 5/8" WATER RESISTANT GYPSUM WALLBOARD AT ALL WALLS OF TOILET ROOMS, WALLS RECEIVING TILE, AND WALLS BEHIND AND ADJACENT TO SINKS.
- PROVIDE 5/8" TILE BACKER AT ALL WALLS OF SHOWER ENCLOSURES.
- REFER TO STRUCTURAL DRAWINGS FOR MASONRY REINFORCING AND GROUTING.
- PROVIDE BULLNOSE CONCRETE MASONRY UNITS AT EXPOSED SILLS AND AT ALL INTERIOR EXPOSED VERTICAL CORNERS, INCLUDING WINDOW AND DOOR JAMBS.
- ALL WALLS ARE TYPE \_\_\_\_ UNLESS NOTED OTHERWISE.

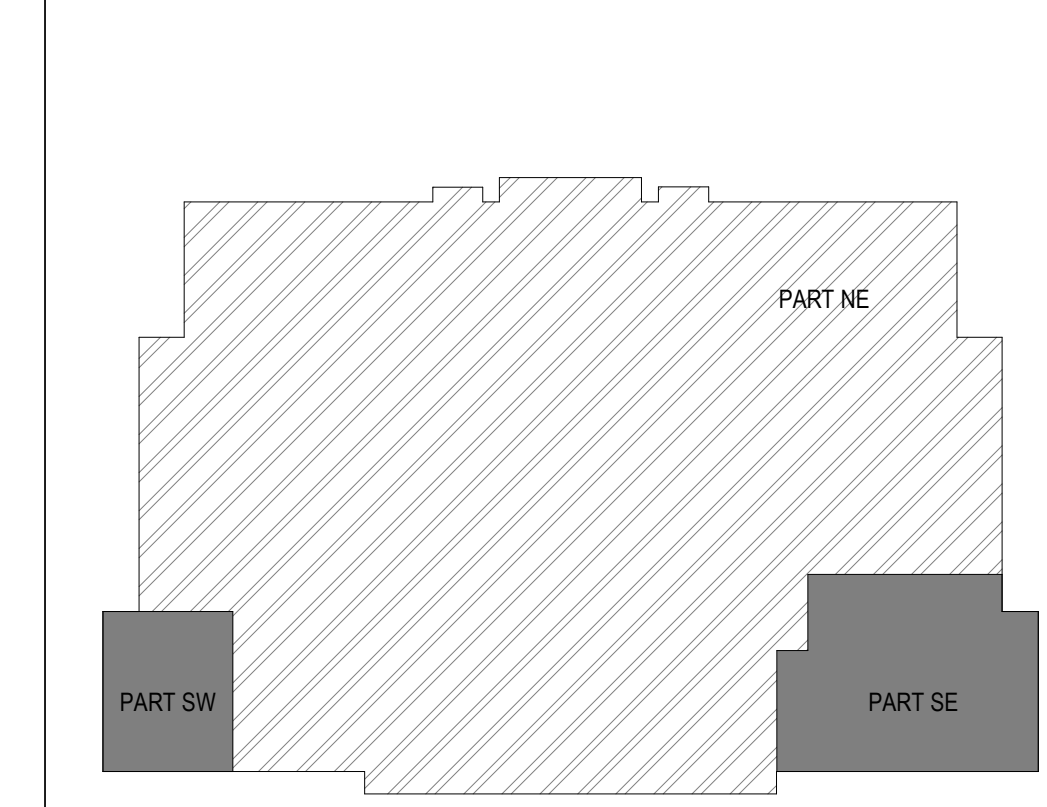
**INTERIOR PARTITION TAG LEGEND**

CORE MATERIAL	CORE SIZE (NOMINAL)			
	S	W	C	H
S - STEEL STUDS	0	1 5/8"		
W - WOOD STUDS	2	2 1/2"	2x (flat)	2 1/2"
C - CONCRETE	3	3 5/8"		
M - MASONRY	4	4"	2x4	4" 4"
H - CH / SHAFTWALL	5	6"	2x6	6" 6"
ACOUSTICAL INSULATION	6	8"	2x8	8" 8"
PROVIDE ACOUSTICAL INSULATION AT TAGGED LOCATIONS	7	10"		10"
PARTITION TYPE SUFFIX	8	12"		12"
REFER TO SCHEDULE BELOW	9			
	10			
	11			
	12			

**INTERIOR PARTITION TYPE SUFFIXES**

- A 5/8" GYPSUM BOARD ON BOTH SIDES; EXTEND TO DECK (OR HARD CEILING WHERE IT OCCURS)
- B 5/8" GYPSUM BOARD ON BOTH SIDES; EXTEND TO 6" ABOVE CEILING (OR HARD CEILING WHERE IT OCCURS)
- D 5/8" GYPSUM BOARD ON ROOM SIDE ONLY; EXTEND TO DECK
- E 5/8" GYPSUM BOARD ON ROOM SIDE ONLY; EXTEND TO 6" ABOVE CEILING (OR HARD CEILING WHERE IT OCCURS)
- T IS1 SAME AS S3A WITH 5/8" FRP PLYWOOD OVER STUDS ON TAGGED SIDE

**KEY PLAN**









## PUD Ordinance - Home Design Center #6 of 1988

### ORDINANCE #6 OF 1988

AN ORDINANCE TO AMEND THE CASCADE CHARTER TOWNSHIP ZONING ORDINANCE AND ZONING MAP TO ESTABLISH THE HOME DESIGN CENTER PLANNED UNIT DEVELOPMENT PROJECT

#### CASCADE CHARTER TOWNSHIP ORDAINS:

SECTION 1. AN AMENDMENT TO THE CASCADE CHARTER TOWNSHIP ZONING ORDINANCE. That the application received from Properties Corporation of America or its assigns (hereinafter referred to as the "Developer") for Planned Unit Development designation for their proposed Home Design Center (hereinafter referred to as the "Premises") was recommended by the Cascade Township Planning Commission for approval on August 15, 1988. The Premises is recommended for rezoning from its former zoning classification thereby requiring this amendment to the Cascade Charter Township Zoning Ordinance and Zoning Map to incorporate the Planning Commission's recommendation and the Cascade Township Board action on August 24, 1988.

#### SECTION II. LEGAL DESCRIPTION.

The legal description of the Premises is as follows:

That part of the SE 1/4, Section 7, T6N, R10W, Cascade Township, Kent County, Michigan, described as: Commencing at the SE corner of Section 7; thence S 88 degrees 05' 02" W 1054.98 feet along the South line of Section 7; thence N 1 degree 47' 39' 55" W 262.76 feet to the Northeasterly line of Highway I-96; thence N 47 degrees 5' 25" W 859.39 feet along said Northeasterly line; thence N 85 degrees 06' 45" W 200.04 feet along said Northeasterly line to the PLACE OF BEGINNING of this description; thence N 85 degrees 06' 45" W 529.35 feet along said Northeasterly line; thence N 1 degree 13' 45" W 107.65 feet; thence N 12 degrees 52' 20" E 615.67 feet; thence N 1 degree 13' 45" W 36.08 feet along the East line of the West 410 feet of the SE 1/4 of Section 7; thence N 88 degrees 05' 02" E 434.34 feet along the North line of the South 1695 feet of the SE 1/4 of Section 7; thence S 1 degree 25' 52" E 271.66 feet; thence S 88 degrees 20' 05" W 60.81 feet; thence S 1 degree 25' 52" E 531.24 feet to the place of beginning. This parcel contains 8.520 Acres.

That part of the SE 1/4, Section 7, T6N, R10W, Cascade Township, Kent County, Michigan, described as: Commencing at the SE corner of Section 7; thence S 88 degrees 05' 02" W 1054.98 feet along the South line of Section 7; thence N 1 degree 39' 55" W 262.76 feet to the Northeasterly line of Highway I-96; thence N 47 degrees 05' 25" W 382.36 feet along said Northeasterly line; thence N 1 degree 25' 52" E 888.91 feet along the West line of the East 1/2 of the SE 1/4 of Section 7 to the PLACE OF BEGINNING of this description; thence S 88 degrees 20' 05" W 479.19 feet; thence N 1 degree 25' 52" W 271.66 feet; thence N 88 degrees 05' 02" E 479.21 feet along the North line of the South 1695 feet of the SE 1/4 of Section 7; thence S 1 degree 25' 52" E 273.76 feet along the West line of the NE 1/4 of the SE 1/4 of Section 7 to the place of beginning. This parcel contains 3.000 Acres.

That part of the SE 1/4, Section 7, T6N, R10W, Cascade Township, Kent County, Michigan, described as: Commencing at the SE corner of Section 7, thence S 88 degrees 05' 02" W 1054.98 feet along the South line of Section 7; thence N 1 degree 39' 55" W 262.76 feet to the Northeasterly line of Highway I-96 and the PLACE OF BEGINNING of this description; thence N 47 degrees 05' 25" W 71.24 feet along said Northeasterly line; thence N 88 degrees 20' 05" E 50.75 feet; thence S 1 degree 39' 55" E 50.0 feet to the place of beginning.

That part of the SE ¼, Section 7, T6N, R10W, Cascade Township, Kent County, Michigan, described as: Commencing at the SE corner of Section 7; p thence S 88 degrees 05' 02" W 1054.98 feet along the South line of Section 7; thence N 1 degree 39' 55" W 312.76 feet to the PLACE OF BEGINNING of this description; thence S 88 degrees 20' 05" W 20.0 feet; thence N 1 degree 39' 55" W 74.58 feet; thence N 88 degrees 20' 05" E 20.0 feet; thence S 1 degree 39' 55" E 74.58 feet to the place of beginning.

### SECTION III. GENERAL PROVISIONS.

The following provisions shall hereby apply to the aforementioned Premises in addition to those provisions outlined in Section 13.11 of the Cascade4 Charter Township Zoning Ordinance (Ordinance No. 2 of the 1978), as amended through August 28, 1984.

### SECTION IV. PERMITTED USES.

The permitted uses for the Home Design Center PUD are as follows:

1. Drapes and Wall Covering stores;
2. Hardware and Paint stores;
3. Floor Covering stores;
4. Household appliance stores;
5. Interior-Home decorator and design professional offices;
6. Art merchandising studios;
7. Furniture stores;
8. One limited service coffee shop designed solely to serve the Premises; and
9. Other uses similar to the above.

### SECTION V. DESIGN STANDARDS.

For the purposes of this PUD only one (1) multi-tenant building containing not more than 90,000 square feet shall be permitted. The following Design Standards shall apply within the Home Design Center PUD.

#### A. Area regulations –

1. The building shall be setback from the street right-of-way a minimum of twenty (20) feet. The setback shall be seeded and maintained as open space.
2. Side setbacks shall in no case be less than twenty-five (25) feet. The rear setback shall in no case be less than one hundred (100) feet. Parking shall be permitted in the side and rear setbacks.

B. Height Regulations – The building shall not exceed the height of forty (40) feet, as measured in accordance with the Cascade Charter Township Zoning Ordinance.

C. Off Street Parking and Loading Areas –

1. All employee and visitor parking shall be provided on-site and not on any streets. Such parking areas may be located in the side or rear yards and shall be surfaced prior to occupancy with bituminous concrete or asphalt. Driveways shall be constructed with materials equal to or better than the requirements established by the Kent County Road Commission.

2. Driveways, parking and loading areas shall have curb and gutter. The curb and gutter installation shall be consistent with the requirements established by the Kent County Road Commission.

3. All off-street parking areas shall be drained so as to prevent drainage onto abutting properties unless there is a common drainage system shared by all the abutting properties.

4. Any lighting fixtures used to illuminate off-street parking shall be so arranged as to reflect the light away from adjacent properties, streets or highways.

D. Parking Requirements –

1. Off-street parking for the Premises shall accommodate 326 vehicles. At least 245 parking spaces shall be paved in accordance with Section V.C. 1 above. All unpaved portions shall be landscaped until such time that it is needed for parking.

2. Each off-street parking space for automobiles shall be a minimum of 180 square feet in area, with a minimum width of nine (9) feet, exclusive of access drives or aisles. There shall be provided a minimum access drive of twenty (20) feet in width, and where a turning radius is necessary, it shall be of such an arc as to reasonably allow an unobstructed flow of vehicles. Parking aisles shall be of sufficient width to allow a minimum turning movement into and out of parking spaces. All parking shall be 90 degree parking with a minimum aisle width of 24 feet.

E. Signs –

1. No signs shall be placed on the Premises except those specifically permitted below:

a. Two (2) wall signs not to exceed fifty (50) square feet each (placed on south side).

b. One (1) off-site shared pole sign (30 feet in height) not to exceed a total of 125 square feet. The shared pole sign may have sides which are constructed in a triangle having 60 degree angles using only two sides for the design message. This sign pylon may be set adjacent to the right-of-way line and may not exceed the height of thirty (30) feet.

c. Two (2) shared off-site ground directional signs not to exceed thirty-two (32) square feet each.

d. One (1) directory sign not to exceed sixty (60) square feet. This sign may have sides which are constructed in a triangle having 60 degree angles, using only two sides for the sign message and may be setback twenty (20) feet from the right-of-way.

e. Two (2) tower development identification signs not to exceed 62.5 square feet each and a height of forty (40) feet.

f. One (1) 32 square foot canopy entrance sign.

g. Traffic safety signs may be installed as needed upon approval of the Planning Director.

2. No billboards, temporary or portable signs, balloon signs, banners, search lights, loudspeakers, amplifiers or similar devices will be permitted in this PUD District. Temporary or portable signs and banner signs may be used for special events or occasions (i.e. grand openings) upon review of the Planning Director.

3. One on-site temporary sign for the purpose of describing the building development, or advertising the sale or lease of a site or building shall be permitted prior to occupancy. The color, character, and wording of the sign shall be prescribed by the Developer. Such signs shall not exceed thirty-two (32) square feet.

4. Signs may be illuminated. However, no intermittent or flashing illumination shall be permitted. The tower development identification signs shall not be internally illuminated.

All signs, unless otherwise provided shall be setback twenty-five (25) feet from the right-of-way or property line.

#### F. Temporary Buildings –

No structure of a temporary nature; trailer, tent, or construction shack shall be constructed, placed or maintained on the Premises except accessory to and during construction of the building.

#### G. Landscaping –

1. The Premises shall be landscaped in accordance with plan and specifications approved by the Planning Commission. The entire building site, including curb parkways, shall be appropriately landscaped with grass, canopy and coniferous trees, shrubs, and ground cover. Expansion areas shall be placed in grass and kept weed free. Any areas which become disturbed for any reason shall be restored in accordance with the original landscape plan unless approved otherwise in writing by the Planning Director.

2. Landscaping shall be installed within ninety (90) days of completion of the building or structure, unless permitted in writing by the Planning Director at a later date.

3. All landscaping shall be hardy plant materials and maintained thereafter in a neat and orderly manner. Withered and/or dead plant materials shall be replaced within a reasonable period of time but no longer than one growing season. All new trees used in a landscaped area shall have a minimum diameter of 2-1/2 inches or a height of ten (10) feet, whichever is most appropriated to the specie.

4. Every effort shall be made to retain existing trees. Trees with a diameter of five (5) inches or more shall not be removed without written approval of the Planning Director.

5. Underground sprinkling systems shall be installed where necessary (except the parking area held in reserve) to service landscaped areas and such areas shall be neatly maintained, including mowing, fertilizing and pruning.

6. Parking and loading areas shall be landscaped and/or fenced, as shown on the approved landscape plan, in such a manner as to interrupt or screen said areas from view from access streets.

H. Outside Storage/Display Areas – Outside storage/display areas must be specifically approved by the Planning Director and shall be effectively screened from view as well as kept in a neat and orderly manner. Patio furniture may be displayed on the building patio during the summer season.

#### SECTION VI. IMPROVEMENTS; PERFORMANCE GUARANTEE.

To insure compliance with this Ordinance and any conditions herein, Cascade Township shall require the Developer to submit a surety bond or irrevocable letter of credit to be determined by the Township Board within 60 days of the effective date of this Ordinance. This surety bond or letter of credit shall be used by the Township to recover expenditures associated with planning and development activities of the Premises, including, but not limited to, the engineering, legal, and infrastructure costs which may become the liability of the Township.

The Township shall not draw upon the surety bond or letter of credit unless Properties Corporation of America fails to promptly reimburse the Township for such billed expenses, within sixty (60) days, following the billing date.

#### SECTION II. MASTER SITE DEVELOPMENT PLAN.

The Premises shall conform in as much as reasonably possible with the master site development plan approved by the Township Board and signed by the Township Supervisor on August 24, 1988.

#### SECTION III. EFFECTIVE DATE.

This Ordinance shall become effective upon publication in The Grand Rapids Press, a newspaper of general circulation within the Township of Cascade.

The foregoing Ordinance was offered by Board Member Burlingham, supported by Board Member Carpenter. The roll call vote being as follows:

Yeas: Burlingham, Carpenter, Champion, Hansen and Henning.

Nays: None

Absent: Ellinger and Rowland

Brenda J. Henning

Cascade Charter Township Clerk

#### CERTIFICATION

I hereby certify the foregoing to be a true copy of an Ordinance adopted at a Regular Meeting of the Cascade Charter Township Board on the 24<sup>th</sup> day of August, 1988.

Brenda J. Henning

Cascade Charter Township Clerk

## **PUD Ordinance - Home Design Center #3 of 1993**

### **CASCADE CHARTER TOWNSHIP**

#### **Ordinance #3 of 1993**

**AN ORDINANCE TO AMEND ORDINACNE #6 OF 1988, THE HOME DESIGN CENTER PLANNED UNIT DEVELOPMENT PROJECT.**

#### **CASCADE CHARTER TOWNSHIP ORDAINS:**

##### **Section 1. Amendments to the Home Design Center PUD Ordinance**

Delete Section IV of Ordinance #6 of 1988 as follows:

##### **SECTION IV. PERMITTED USES:**

The permitted uses for the Home Design Center PUD are as follows:

1. Drapes and Wall Covering stores;
2. Hardware and Paint stores;
3. Floor Covering stores;
4. Household appliance stores;
5. Interior-Home Decorator and design professional offices;
6. Art Merchandising studios;
7. Furniture stores;
8. One limited service coffee shop designed solely to serve the Premises; and
9. Other uses similar to the above.

Delete Section V.D. 1 of Ordinance #6 of 1988 as follows:

##### **D. Parking Requirements –**

1. Off-Street parking for the Premises shall accommodate 326 vehicles. At least 245 parking spaces shall be paved in accordance with Section V.C. 1 above. All unpaved portions shall be landscaped until such time that it is needed for parking.

Add a new Section – Section IV as follows:

1. Personal service establishments which perform services on the premises, such as, but not limited to, repair shops (watches, radios, television, shoes, etc.), tailor shops, beauty parlors or barber shops, photographic studios, self-service laundries, flower shops and print shops.

2. Dry cleaning establishments or pick-up stations, dealing directly with the consumers. Central dry cleaning plants serving more than one retail outlet are prohibited.
3. Business establishments which perform services on the premises, such as, but not limited to, banks, loan companies, insurance offices and real estate offices.
4. Appliance stores.
5. Home improvement centers.
6. Furniture stores.
7. Office machines and computers sales and service.
8. Department stores, excluding sale at wholesale level.
9. Athletic clubs and health spas.
10. Banquet and conference facilities.
11. Business or trade schools.
12. Executive, administrative, and business offices such as, but not limited to, banks, loan companies, insurance, data processing centers, real estate, and non-profit organizations.
13. Professional services, including offices of medical doctors, dentists, osteopaths and similar or allied health care professionals; architects; engineers; accountants; attorneys; and similar professions.
14. Medical and dental laboratories.
15. Emergency medical clinics.
16. Post offices and similar governmental office buildings.
17. Day care facilities.
18. Limited service coffee shops/deli designed to serve the premises.
19. Other uses similar to the uses permitted in this Section.
20. Accessory structures and uses customarily incidental to the uses permitted in this district, subject to the provisions of Section 4.08.

Add a new Section – Section V.D. 1 as follows:

The total number of parking spaces to be required shall be based on the standards set forth in Section 19.11 of the Cascade Charter Township Zoning Ordinance. Initially, 245 parking spaces shall be paved in accordance with Section V.C. 1 above. Thereafter, the Planning Director shall review each new use in combination with all other existing uses on the site to determine the total number of parking spaces required. All additional parking spaces shall be paved unless the Planning Director determines that some of the required paved parking area may be deferred.



Section 2. Effective Date

These PUD Ordinance Amendments shall become effective upon publication in The Grand Rapids Press, a newspaper of general circulation within the Township of Cascade.

The foregoing Ordinance amendments were offered by Board Member Boonenberg, supported by Board Member VanStrien. The roll call vote being as follows:

Yeas: Boonenberg, Carpenter, Henning, Johnson, Julien, VanStrien.

Nays: None

Absent: Hansen

Abstain: None

Brenda J. Henning

Cascade Charter Township Clerk

CERTIFICATION

I hereby certify the foregoing to be a true copy of an Ordinance adopted at a Regular Meeting of the Cascade Charter Township Board on the 24th of March, 1993.

Brenda J. Henning

Cascade Charter Township Clerk

# 2000 Major Street Plan Update

## MEMORANDUM

To: Cascade Charter Township Planning Commission  
From: Steve Peterson, Planning Director *SP.*  
Re: Zoning Ordinance Amendments  
Meeting Date: March 20, 2000

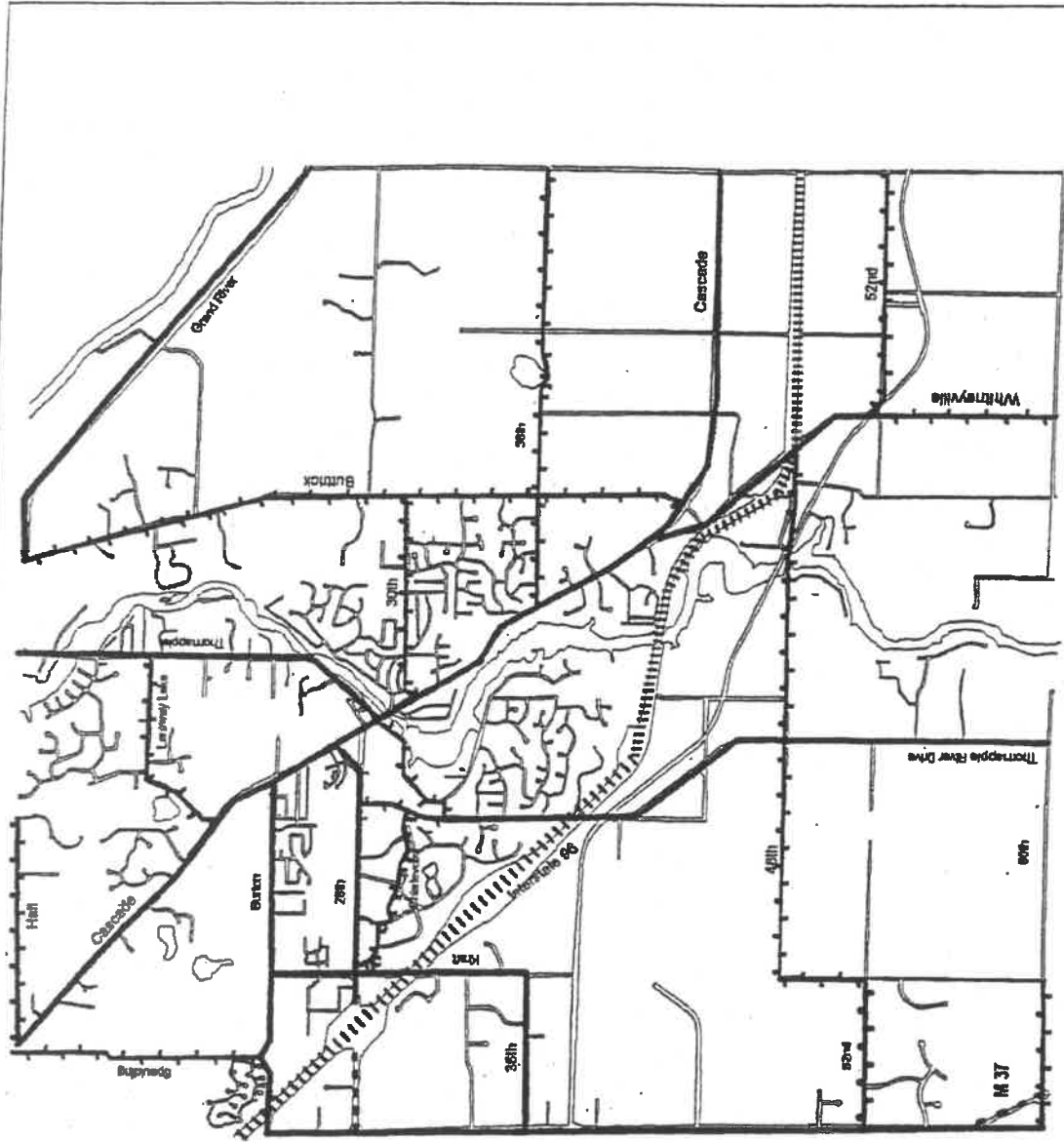
Attached to this memo you will find two proposed amendments to the Zoning Ordinance. The first amendment would eliminate cellular towers as a special land use in the Village B-1 Zoning District. This amendment is a recommendation of the Village Design Study.

The second amendment is to our Major Street Plan (Appendix A) of the Zoning Ordinance. This amendment is being done to reflect changes that have occurred to some of our major streets. Currently, the map shows 48<sup>th</sup> as a collector road between Thornapple River Drive and Kraft. This should be eliminated since that part of 48<sup>th</sup> was abandoned due to the Airport runway expansion. I also recommend that we change the road classification for 60<sup>th</sup> between Thornapple River Drive and Kraft from a local street to a collector. This section of 60<sup>th</sup> is being rebuilt for the southbelt and the KCRC rebuilding it as an all-season road, it will also address the loss of 48<sup>th</sup> Street as a collector in this location. The biggest impact this has is it changes the required front setback from 35 feet to 43 feet from the R.O.W. Although, it appears from the aerial maps that the additional eight feet should not negatively impact any of the existing buildings.

This meeting is a public hearing. Following your comments and input a recommendation is to be forwarded to the Township Board for final consideration.

I always follow  
the format of the  
other Reports from past  
Amendments.

# CURRENT



**APPENDIX A**  
**MAJOR STREET PLAN**

Interstate Highway

State Road / Highway

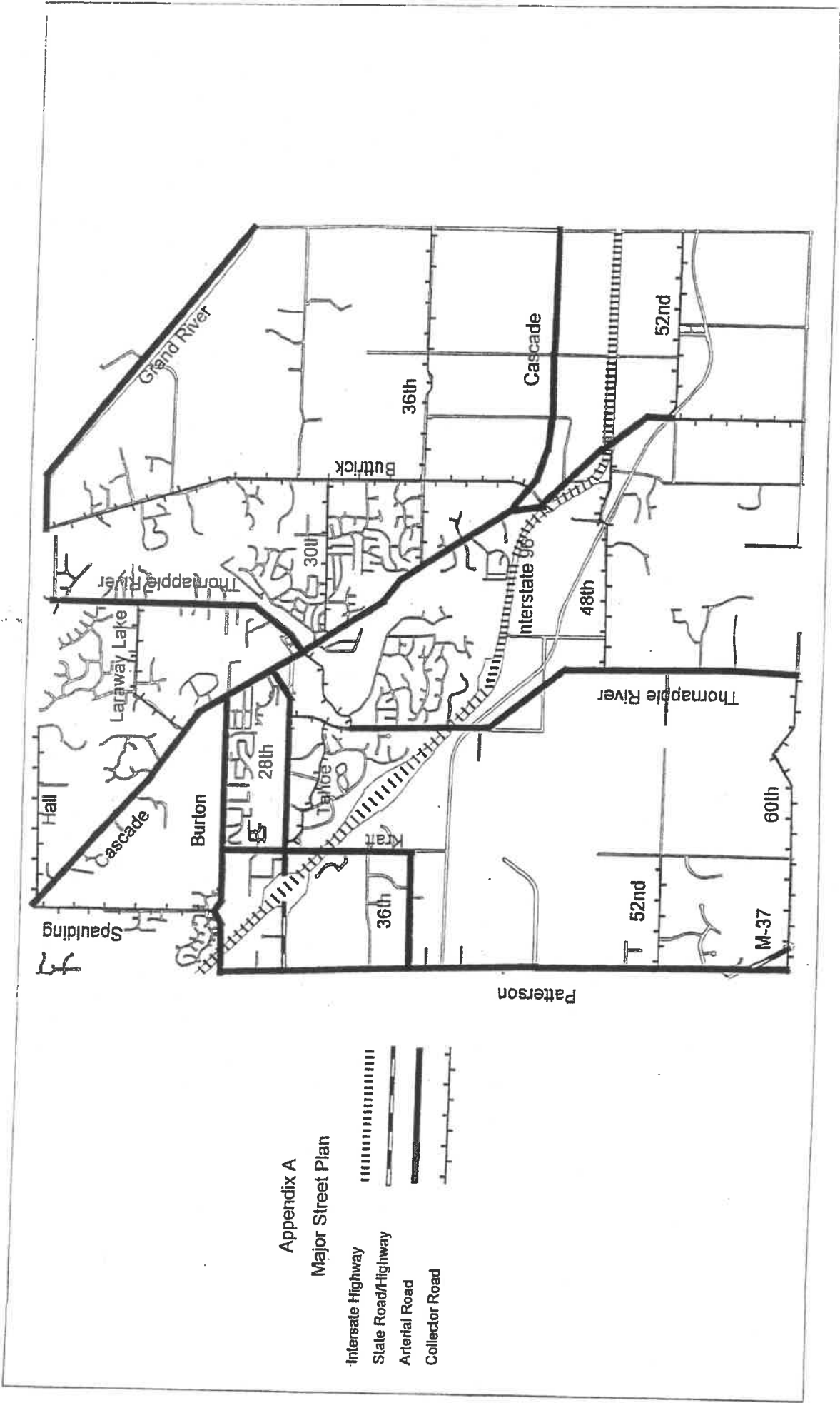
Arterial Road

Collector Road

Pederson

**A**  
**NORTH**

# PROPOSED



Appendix A

## Major Street Plan

- Interstate Highway
- State Road/Highway
- Arterial Road
- Collector Road

# 2010 Major Street Plan Update

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## MEMORANDUM

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**To:** Cascade Charter Township Board  
**From:** Steve Peterson, Planning Director  
**Subject:** Consider zoning ordinance amendments and rezoning for new Transitional Industrial Zoning District  
**Meeting Date:** March 10, 2010

One of the goals in the Master Plan is the creation of an additional zoning district for the Industrial zone. The main goal was to recognize the changes taking place in the market as well as providing some flexibility with our requirements. In an attempt to accomplish this goal the Planning Commission and I have created the new Transitional Industrial Zone. This zone allows for the same uses as the industrial zone and in addition allows for the mixing of uses and reduction in setback standards.

The additional uses that we are introducing into the Transitional Industrial district are stand alone office and for the property located along Kraft Ave and at the corner of 36<sup>th</sup> and Patterson, providing for stand alone retail, restaurant and personal service establishments provided they are limited to no more than 30% of the site.

The reduction of lot sizes and setbacks that are proposed have been modeled after the Meadowbrooke and Office zoning district requirements.

The Planning Commission is also recommending a change that would impact the Industrial zoning district as well. This change would eliminate the prohibition on presses over 20 tons. What we found during the Planning Commission meetings is that these presses are present today and we have not had a problem with them.





In addition to the new district we are also proposing an amendment to the Major Street Plan. This amendment simply updates that map with the inclusion of M-6 and the 36<sup>th</sup> St extension.

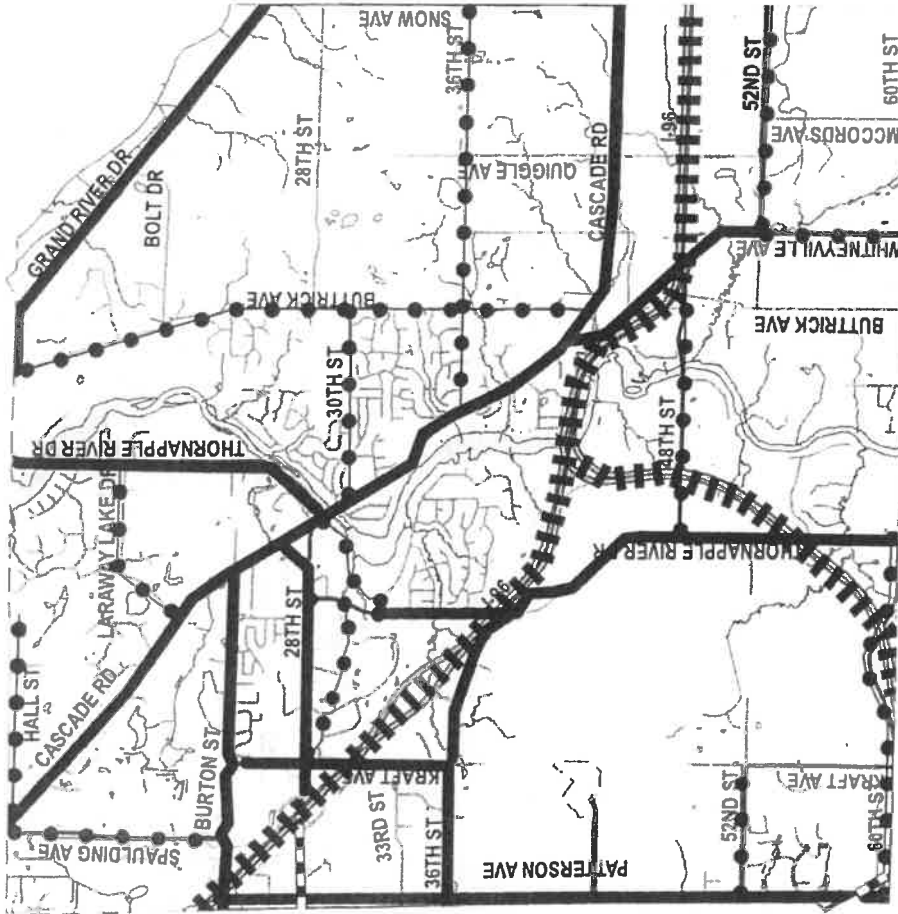
The Planning Commission held an advisory hearing on this matter as well as a public hearing and is recommending that the amendments are adopted as proposed.

### Attachments

- Proposed Ordinance
- New Chapter 13a – Transitional Industrial
- Chapter 18 in Zoning Ord
- Chapter 20 in Zoning Ord
- Proposed TI Districts Map
- Major Street Plan

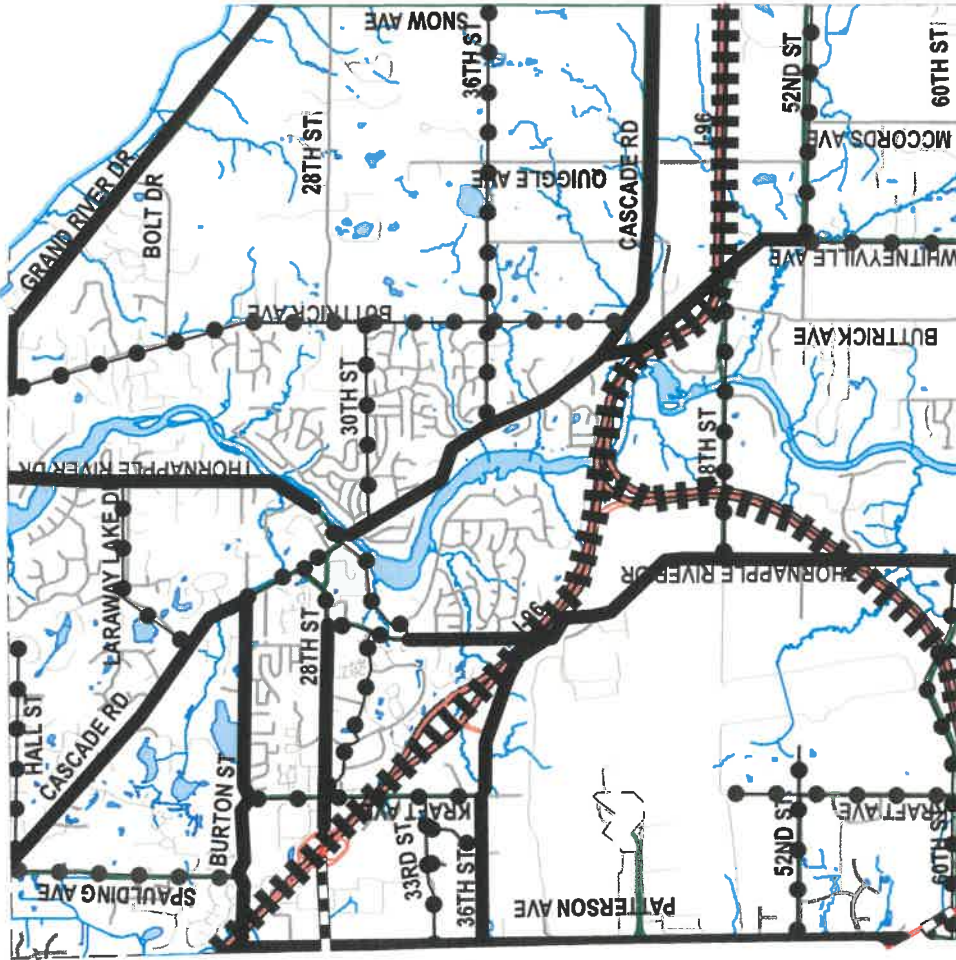
# Appendix A Major Street Plan

-  Interstate Highway
-  State Road/Highway
-  Arterial Road
-  Collector Road






Map amended by Ordinance # \_\_\_ of 2010  
 \_\_\_, 2010

# Proposed 2016 Major Street Plan Update



## Appendix A Major Street Plan

-  Interstate Highway
-  State Road/Highway
-  Arterial Road
-  Collector Road

Map amended by Ordinance of 2016  
Date



# ADA STREET CLASSIFICATION

## Sec. 42-1. - Definitions.

The following words, terms and phrases, when used in this chapter, shall have the meanings ascribed to them in this section, except where the context clearly indicates a different meaning:

*Alley* means a strip of land over which there is a right-of-way, public or private, on which no dwelling or other acceptable land uses front, serving as a rear entrance to two or more properties.

*Block* means a tract of land bounded by actual or platted streets, waterways, or other definite boundaries.

*Dead-end street* means a residential street having one terminus open for public vehicular or pedestrian access and the other terminated by a vehicular turn-around.

*Easement* means a grant by the property owner for the use of a strip of land by the public or by public utilities or by private persons.

*Improvements* means any or all of the following: street pavements, curb and gutter, sidewalks, water mains, storm and sanitary sewers, top soil between sidewalk and curb, street trees, grading, street signs, cross-walks and off-street parking facilities and may include walkways or any other items normally considered public improvement.

*Land division act* means Public Act No. 288 of 1967 (MCL 560.101 et seq., MSA 26.430(101) et seq.).

*Local street* means a street designated primarily to provide access to abutting properties, usually residential.

*Location map* means a map showing the location of the proposed subdivision in relation to the nearest existing streets to enable the township board and the planning commission to properly identify such proposed subdivision with relation to existing streets, schools, parks, and commercial sites.

*Major street or highway* means a street connecting district centers serving large volumes of through traffic, usually located outside of or bounding residential neighborhoods and so designated in the master street plan.

*Marginal access street* means minor streets which are generally parallel with and contiguous to major arterial streets and highways.

*Master plan* means that master plan, or any part or amendments thereof, adopted by the planning commission which is on file in the office of the township clerk.

*Master street plan* means that part of the master plan relating to the major street system of the township which has been adopted by the planning commission, and is on file in the office of the township clerk.

*Planning commission*, as used herein, shall mean the planning commission of the township, created under section 58-32 and the planning commission act.

*Planning commission act* means Public Act No. 285 of 1931 (MCL 125.31 et seq., MSA 5.2991 et seq.).

*Subdivide* shall have the same meaning as defined in the Land Division Act.

*Substandard right-of-way* means any right-of-way which has a width less than the standard width established in the master plan.

*Township engineer* means the township engineer of Ada Township or a duly authorized representative designated by the township board.

*Walkway* means a walk to provide pedestrian access to schools, playgrounds or other community facilities.

*Zoning ordinance* as used herein, shall mean Ordinance Number 42682-1 as amended (chapter 78 of this Code), or any new zoning ordinance which may be hereafter adopted by the township board and shall include all new ordinances relating to zoning restrictions and districts which may hereafter be adopted under the provisions of Public Act No. 207 of 1921 (MCL 125.581 et seq., MSA 5.2931 et seq.), and all past and future amendments to any of the ordinances mentioned in this section.

(Ord. No. O-121167-3, §§ 3.01—3.21, 12-11-1967)

Cross reference— Definitions generally, § 1-2.

## Sec. 42-2. - Enabling acts.

These land division regulations are adopted pursuant to the provisions of the Planning Commission Act, being Public Act No. 285 of 1931 (MCL 125.31 et seq., MSA 5.2991 et seq.), and the Land Division Act being Public Act No. 288 of 1967 (MCL 560.101 et seq., MSA 26.430(101) et seq.).



(Ord. No. O-121167-3, § 1.01, 12-11-1967)

Sec. 42-141. - Conformance to master street plan.

Major streets shall conform to the master street plan.

(Ord. No. O-121167-3, § 5.02a, 12-11-1967)

Sec. 42-142. - Relation to adjoining street system.

Provision shall be made for the continuation and extension of principal existing streets in adjoining or adjacent subdivisions unless a variation therefrom is approved by the planning commission and the county road commission.

(Ord. No. O-121167-3, § 5.02b, 12-11-1967)

Sec. 42-147. - Major street widths.

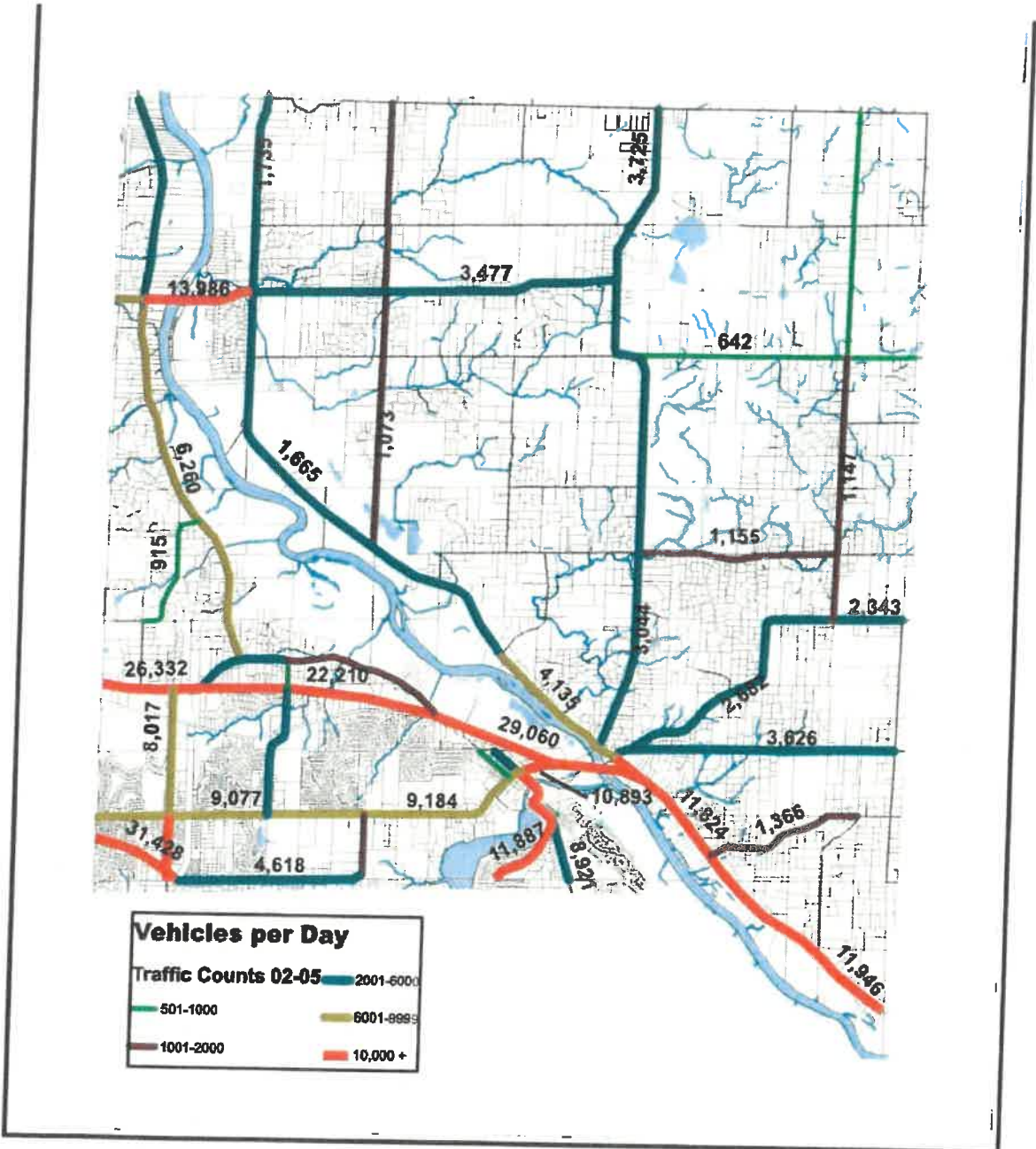
The width for major streets shall conform to the width designated on the master street plan. The minimum width for dead-end streets shall be 66 feet.

(Ord. No. O-121167-3, § 5.02g, 12-11-1967)

Sec. 42-148. - Substandard rights-of-way.

Wherever there exists adjacent to the tract to be subdivided, a dedicated or platted substandard right-of-way, the width shall be platted in accordance with the standards established in the master plan, provided that additional width not to exceed 50 feet from the centerline may be required by the planning commission to assure conformity to the master street plan.

(Ord. No. O-121167-3, § 5.02h, 12-11-1967)



**Ada Township Master Plan, 2007**  
**Traffic Counts**



# GAINES STREET CLASSIFICATION

## **Gaines Township Definitions**

**Primary Arterial Street:** A public street with important traffic carrying functions in the Township, designed to increase mobility by limiting access and increasing speed. For the purposes of this Ordinance, the following public streets are considered primary arterial streets:

- 60th Street • Division Avenue
- 68th Street • Eastern Avenue
- 76th Street • Kalamazoo Avenue
- 84th Street • Hanna Lake Avenue
- 92nd Street • East Paris Avenue
- 100th Street • Patterson Avenue
- 108th Street

**Collector Street:** A public street which collects traffic from local streets and connects with arterial streets

**Local Street:** A public street designed to improve access by limiting speed and maximizing the number of access points

**Private Street or Private Road:** Where two or more parcels or lots share a common access, road, path, or trail. This definition shall also include where one or more parcels or lots utilize an access easement or private right-of-way.

**Street:** An easement, right-of-way, or other interest in land established or used for the purpose of providing access to abutting land. A Street may be a public street or a private street. A public street is an easement, right-of-way or other interest in land which has been conveyed or dedicated to, or accepted by, the township, county, or other governmental body for the purpose of providing access to abutting land.

# CALEDONIA'S STREET CLASSIFICATION



## Chapter 6 Transportation

### ROAD CLASSIFICATION

The roadways within Caledonia Township are intended to move traffic and provide access to adjacent property. Most roads serve both of these purposes to a varying degree. Roadways are categorized based on their primary function or purpose and then placed in one of the functional classification categories.

The roads in the Township are ordered into various roadway functional classifications, used to assist the Township, Kent County Road Commission (KCRC), and the Michigan Department of Transportation (MDOT) in determining which improvement projects are necessary. The Township can also use this classification system to help determine appropriate land uses along each roadway.

### Freeways

Freeways are a street classification for primarily federal highways which are part of the Interstate Transportation System. This classification of roads is intended to serve high speed traffic with strict limitations on access, which may only occur at highway interchange locations. Although a freeway, the Paul Henry Freeway falls instead under a state highway designation, M-6. Caledonia Township has a major interchange with M-6 at M-37. Specific information regarding planning for this important interchange is found later in this Chapter, and in Chapter 5 (Future Land Use).

#### Interchange Planning

While access to M-6 presents a number of growth opportunities, careful traffic planning and land use management is necessary to make sure that the interchange remains an asset, rather than a traffic and land use liability. Perhaps the most important planning consideration of interchange planning is the preservation of the function of the interchange.

Interchanges provide access to adjacent communities and lands. In order to ensure this function remains intact it is important that the roadways leading to the interchanges be relatively easy routes on which to travel. This permits a relatively free flow of traffic to the interchanges and permits safe ingress and egress between the interstate highway and the local road.

Interchanges also provide an area for highway services to the travelling public. Issue Paper #3 - Freeway Interchanges includes a number of design recommendations which should be implemented to ensure that these functions are well coordinated.

### **State Routes (Trunklines)**

The category includes major highways under state jurisdiction, serving trips between communities and other major activity centers throughout a region. Roadways of this type are designed to provide the highest level of traffic mobility, usually traveling at speeds of 55 miles per hour (mph) (non-interstate). Since the primary function of state trunklines is to provide mobility, access to adjacent land uses should be limited in order to optimize the traffic carrying capacity of the roadway.

M-37 (Broadmoor Avenue/Cherry Valley Avenue) is classified by the KCRC and MDOT as a state trunkline.

### **County Primary Roads**

County Primary roads are those which serve longer trips, sometimes extending beyond municipal boundaries to connect to adjacent population centers or longer arterials. County Primaries are designed for moderate to large traffic volumes and speeds of 35 to 55 mph. Some access to adjacent development is generally permitted from roadways of this type, but on-street parking and curb cuts are regulated to preserve capacity of the street.

The KCRC classifies the following roadways as County Primaries:

#### *East-West Streets*

- 60<sup>th</sup> Street, from Patterson to Thornapple River Drive
- 68<sup>th</sup> Street/66<sup>th</sup> Street
- 76<sup>th</sup> Street, from Patterson Avenue to M-37
- 84<sup>th</sup> Street
- 92<sup>nd</sup> Street, from Patterson Avenue to Kraft Avenue
- 100<sup>th</sup> Street

#### *North-South Streets*

- Patterson Avenue
- Kraft Avenue, from 92<sup>nd</sup> Street to 100<sup>th</sup> Street
- Kinsey – from 100<sup>th</sup> Street to M-37
- Egan Avenue
- Cherry Valley Avenue – (includes portion of M-37)
- Whitneyville Avenue

### **County Local Roads**

These roads, which make up the remainder of the roads in the township, collect and distribute traffic to and from the higher classified systems. These roads tend to accommodate slightly shorter trips and are generally designed for moderate traffic volumes and speeds of 30 to 35 mph. Traffic mobility is often sacrificed through additional curb cuts to provide more access to adjacent property.

### **Natural Beauty Roads**

Kent County maintains a classification for Natural Beauty Roads. In 1970, the Michigan Legislature approved the Natural Beauty Road Act (Act 150 of the Public Acts of 1970). Under this Act, road commissions can designate County Local Roads having "unusual or outstanding natural beauty" as Natural Beauty Roads. In order to be designated, a petition must be filed by residents of the township in which the road is located, and a public hearing held within the township to discuss the proposed designation. All residents along the road must be notified and property owners representing more than 51 percent of the road frontage can prevent the road from being designated as a Natural Beauty Road.

The Road Commission has established minimum criteria for designating roads as Natural Beauty Roads and reviews any road so designated on a periodic basis to insure that such criteria is still being satisfied. Once designated, these roads are signed with a special Natural Beauty Road sign. While normal maintenance activities are performed, the Road Commission does carry out such activities in a more sensitive manner, acknowledging the natural beauty along the road.

The Road Commission has a Natural Beauty Road designation for Caledonia Township on 96<sup>th</sup> Avenue from Alaska Avenue to Whitneyville Avenue.

### **Private Streets**

The remainder of the roads in the township are classified as private streets. The township is aware of potential problems with private streets that may arise. One problem is the inability to adequately connect private streets into a coherent street network (as described later in this Chapter). Since most developments served by private street are relatively small, there are few, if any, opportunities for designing any true road network within or between individual developments. In the more rural area of the township this is not a significant concern, since isolation of the individual homes is a principle aim of most development.

**Access Management**

Preserving the traffic carrying capacity of a roadway is essential in order to avoid costly improvements and safety problems. Transportation studies have consistently shown that the number, design, and location of the driveways can have a great affect on the ability of a road to safely move traffic and provide access for adjacent land uses. The number, design, and location of driveways along major roadways will affect traffic flow, ease of driving, and accident potential. Every effort should be made to limit the number of driveways and encourage access from side streets, service drives, frontage roads, and shared driveways.

The most effective means of ensuring proper access management is the site plan review process, enforced through the zoning ordinance. However, in order to properly administer site plan review, the Township should ensure that Future Land Use along major corridors adequately considers the function of the adjacent roadways.

A common misconception is that local communities have no input on driveway locations if the state or county has jurisdiction over the roadway. Although local regulation cannot conflict with the road authority (i.e. be less restrictive), it can control driveway locations through the site plan review process. Local governments do have authority to control the placement and spacing of curb cuts (as long as they are not less restrictive than the road authority).

**Lots on Arterial Streets**

Lots which face major streets often have no other access but through those streets, particularly if the interior lands are not part of the development. As such, a large number of individual driveways along major streets, often carrying high speed traffic, can create a hazard.

Two solutions are possible. If the interior of the property is also being developed, as many lots as possible should be required to gain access from the interior streets. Rather than stripping lots along the roadway, the interior street should be placed on lot depth into the property and the homes should back up to the major street. Additional landscaping or fencing may be provided for the back yard areas of these homes.

The second solution can be used if interior development is not taking place. Rather than each lot having its own driveway, two or more lots can share a



common driveway for the first several feet of the lot, then split into individual driveways to reach the building sites of each lot. If neither of these solutions prove useful, each lot fronting on a major street should be required to construct a turn-around area to allow vehicles to enter the street facing forward.

### **Driveway Spacing**

Since speed along many major roads within the community is a significant concern, spacing between driveways must be carefully considered. Increasing the distance between each driveway provides a measure of safety by ensuring that drivers are not confused as to the location of driveways, since they may be separated by a wide distance. This also allows for a sufficient distance to slow down to enter the driveway.

The Zoning Ordinance may call for a minimum frontage on major roadways that will be developed for more intensive land uses. Proper spacing will help ease traffic conflicts between driveways and vehicles on the street. Driveway spacing (and lot frontages) will be less on those streets that are developed with land uses that generate less traffic.

Driveway controls are especially important when considering commercial and other nonresidential development. Spacing of drives should be as far from the intersection of public streets as possible. Sharing of drives for adjacent properties should also be required, where feasible. Limiting access points clearly helps provide an added measure of safety for uses that generate higher volumes of traffic.

*More specific information may be found in Issue Paper #1 – Highway Corridors and Issue Paper #3 – Freeway Interchanges.*

### **FUTURE ROADWAY IMPROVEMENTS**

Even with the predominantly residential character of the township, the rate of growth in some areas of Caledonia Township make it likely that major improvements to some existing roadways will be needed. Continuing maintenance of existing road surfaces, including resurfacing, shoulder, and drainage improvements will also be necessary. In some instances where low intensity land uses are planned along most major roadways, even major arteries may not need major improvements or widening. Some major intersections may require upgrading as traffic increases, but those improvements should be relatively minor.

### **Unpaved Roads**

While it may be desirable to eventually improve some of the unpaved streets in the township, the advantages of paving will have to be evaluated by the residents in the area and a policy decision made as to whether or not paving will occur. Maintaining these roads, while expensive, does tend to slow traffic and some residents will perceive this as contributing to their overall quality of life. Others may view unpaved streets as a nuisance, with the problems of dust control, potholes, poor driving conditions in bad weather, and other difficulties.

The Township should develop and maintain a priority system for determining which streets should be paved, and when. Eventually, however, the goal should be to pave all major section line or quarter-section line streets that act as distributors of traffic. Some of the factors that should be used to evaluate the paving priorities include:

- Resident desires
- Traffic Volumes
- Roadway condition
- Maintenance expenditures
- Drainage
- Roadway use type
- Adjacent land uses
- Function of roadway in the township's street network

### **Thornapple River Crossings**

The Township generally possesses a well developed street system along major section line roadways, with a balance of major county roads, collector roads, and local streets. Some limitations to east-west travel are created by the limited number of crossings of the Thornapple River. Over half of the Community Survey respondents noted that this was either a "serious problem" or a "problem."

Presently, 68<sup>th</sup> Street, 84<sup>th</sup> Street, and 100<sup>th</sup> Street each cross the River. This allows an even spacing of crossings every two miles in the township. Future Land Use for the southeast area of the township calls for low density development, which generally will mean that existing crossings will likely be adequate for some time.

### **Major Road Improvements**

Compared to many communities in West Michigan, Caledonia Township's traffic conditions are generally manageable. Traffic volumes on most streets other than

those noted, are relatively low, with comparatively few accident problems, reflecting its low density development and lack of major traffic generators, such as shopping centers or industrial parks. The heaviest volumes occur during the morning and afternoon peak hours, since the trips taken by these vehicles are primarily work oriented.

An average two-lane, rural roadway has the ability to safely accommodate up to 16,000 vehicles per day. Apart from M-37, even the heavily traveled roadways had a 1997-98 volume of 8-9,000 vehicles per day, which means that most are under their capacity and will not require major widening.

The Community Survey also indicated little concern with general traffic conditions. With respect to streets and traffic, the only widely recognized problem about traffic and congestion arose when respondents were asked about whether "traffic on my street" was a problem, to which 50 percent responded affirmatively. However, most did not see significant problems with traffic congestion in general, traffic along M-37, traffic around the schools, or traffic on other streets.

However, one of the most often quoted resident concerns with development proposals is traffic. In part, this is because in the rural environment of Caledonia even minor traffic volumes can be noticeable to the residents; even slight increases in volumes can be perceived as major.

A major consideration for road improvements is the ability of roadway intersections to accommodate various traffic movements. These movements are measured in increments known as Level of Service (LOS).

*Roadway Level of Service*

Traffic operations are typically evaluated by the extent to which motorists are delayed in their travel. Future traffic operations are evaluated by comparing projected traffic volumes to the capacity of the road network. Roadway capacity is defined as the number of vehicles that can travel through an intersection or roadway segment during a specified time period. Generally, traffic operations and capacity analysis is evaluated for the peak hours of traffic. 84<sup>th</sup> and M-37 are a major concern for the Township and require traffic analysis and enhancement to ensure safety and adequate Level of Service. Additionally, any improvements should ensure the natural features of the corridor are preserved.

***M-6 Interchange***

Clearly the M-6 interchange at M-37 will create the need for major road improvements, in addition to those for M-37 itself. In particular, roadways that have the most direct link to the interchange entrance and exit ramps will require improvement. These include 68<sup>th</sup> and 76<sup>th</sup> Streets. Accordingly, it will be important to preserve the traffic carrying capacity of these streets by limiting direct access from individual properties to the maximum possible extent.

Kraft Avenue is also affected, which created the need for a realignment of as part of the widening of M-37 south of the interchange to north of 76<sup>th</sup> Street. Thornapple River Drive/Egan Avenue will also likely need improvements.

***Existing Major Streets***

Traffic counts obtained for 1997 and 1998 indicate 24 hour traffic volumes at selected points within the township. As may be expected, the most heavily traveled roadways apart from M-37) are some of the major streets, including 68<sup>th</sup> Street and 84<sup>th</sup> Street (especially east of M-37), as river crossing locations, and Whitneyville Road. The other river crossing point, 100<sup>th</sup> Street, has somewhat higher volumes, but still well below capacity because of the low density development occurring in the southeastern areas of the township.

As a result, apart from the improvements related to M-6, there does not appear to be a need for major widening of existing major streets, with the following possible exceptions:

- Egan Avenue: As an extension of Thornapple River Drive, Egan may see additional traffic. (See later discussion on Airport Access.)
- Related to this (and M-6) is a possible improvement of 68<sup>th</sup> Street from Egan west to M-37.

A four-lane cross-section would likely be adequate to accommodate traffic volumes and provide for turning movements. Obviously, a traffic study would be necessary to determine both the need for and the design of such improvements.

The Township's Future Land Use provides for an extensive commercial strip on the east side of M-37 south of the Cherry Valley intersection to 100<sup>th</sup> Street. Commercial development of this magnitude will require not only a capacity improvement, but protection for traffic movements in and out of these developments. Accordingly, one noteworthy improvement for M-37 will be a widening to at least a three-lane cross-section. As noted earlier, development in this area should adhere closely to access management principles in order to preserve both capacity and safety.

Ultimately, the whole of M-37 will require substantial improvements. As this occurs the following need to be included in planning for road projects:

- Preservation of the tree canopy from 76<sup>th</sup> Street to the power lines north of 84<sup>th</sup> Street, either through reduced right-of-ways, narrower median, or narrower lane cross-sections, or a combination of these.
- Strict access management to preserve the safety and capacity of the roadway.
- Consideration of the effect on adjacent land uses, particularly residential uses.
- Periodic interruption of traffic with signals (where warranted) to ensure that gaps are available in the traffic stream for access to and from adjacent properties. This should not be taken to mean that an excessive number of signals should be placed along the roadway.
- Inclusion of bike paths either as separate facilities or through widened shoulders.

### **New Roadways**

As the township develops, opportunities may present themselves through various development proposals for the completion of existing segments of section line streets or the development of new streets collecting traffic to channel to existing major streets.

In addition to the access management considerations noted earlier, there are two important factors to be reviewed when determining when and where new streets are needed.

*Street Networks*

As new subdivisions, site condominium, or other residential projects are considered by the community, it is important to implement a street network to ensure that adequate circulation is provided between abutting development projects. Rather than having each development provide only access to the major public street, project approvals should include provisions for stub streets to vacant properties that may be available for future development. These street networks improve overall traffic flow by allowing residents to access nearby residential areas without traveling on the main streets of the community. In addition, circulation between projects improves access for emergency vehicles. Finally, maintenance and snow removal costs are reduced and efficiency improved.

*Section Line Streets – Continuation*

Since most of the traffic is channeled to the major section line streets, it is necessary to provide as many continuous connections as possible. These include the following:

- 92<sup>nd</sup> Street Kraft to M-37
- 100<sup>th</sup> Street Kraft to M-37

**OTHER TRANSPORTATION ISSUES**

**Airport Access**

The Kent County Road Commission and Michigan Department of Transportation are examining various options with respect to improving access to the Gerald R. Ford International Airport. Some of the options would have some affect on the township.

**Transit**

It is unlikely that widespread mass transit bus service by the Grand Rapids Area Transit Authority (GRATA) will be available in the township. As development around the M-6 interchange increases, it may be serviced by GRATA, depending on the service limits and resources available to GRATA at that time.

**Pedestrian/Bike Paths**

The Community Survey indicates a high level of interest for sidewalks and bike paths. The Township should be in a position to take advantage of these facilities where needed. Some likely locations where sidewalks/bike paths/trails may be useful include:

- The commercial development strip on the west side of M-37, near the Village of Caledonia.
- As connections from developments near the existing South Kent bike path along the abandoned rail right-of-way.
- Along major roadways (this may take the form of widened shoulders to accommodate pedestrian and bike movements).

Other locations may become apparent as development of the Township proceeds.

