



**AGENDA**  
**CASCADE CHARTER TOWNSHIP**  
**REGULAR BOARD MEETING**

Wednesday, April 22, 2026, 7:00 P.M.  
Wisner Center, 2870 Jacksmith Ave SE, Grand Rapids, MI 49546

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*Public may access the meeting via video conference software Zoom*

<https://us02web.zoom.us/j/88137644237>

**Meeting ID: 881 3764 4237**

**By Phone: 1 309-205-3325**

**Expected Meeting Procedures**

- During public comments you may speak on any item not noted on the agenda for a public hearing.
- Please limit comments to 3 minutes per person and the Board may or may not choose to respond.
- Please limit your comments to a specific issue.
- Please turn OFF cellular phones.
- In accordance with the ADA, any accommodation request should be directed to the Township at 616-949-1500.

**Article 1. Call to Order (Roll Call)**

**Article 2. Pledge of Allegiance**

**Article 3. Approval of Agenda**

**Article 4. Approval of the Minutes**

a) Township Board-3/25/2026

**Article 5. Presentations**

**Article 6. Public Comments - Anything on the Agenda not scheduled for a public hearing. (Limit comments to 3 minutes)**

**Article 7. Approval of Consent Agenda**

- a) Department Reports
- 1) Building Department
  - 2) Financial Statements
  - 3) Quarterly Investment Report
  - 4) Accounts Payable Distribution
  - 5) Zoning Enforcement March
- b) Receive and File Communication

**Article 8. Financial Actions**

a) Request for Invoices to be paid 4/23/2026

**Article 9. Unfinished Business**

**a) Resolution 019-2026** Consider approval of Resolution 019-2026 to adopt amendments to the Township Zoning Ordinance that would regulate data mining facilities and data centers and that would allow the Township Board to implement a short-term moratorium for existing and new or emerging land uses. *(Roll Call)*

**Article 10. New Business**

**a) Resolution 020-2026** Introduction of an Ordinance 006-2026 to amend Ordinance #8 of 2004, the Waterfall Shoppes PUD as presented in the attached "Ordinance to Amend the Waterfall Shoppes Planned Unit Development aka "PUD-76". *(Roll Call)*

**b) Resolution 021-2026** Consider approval of Resolution 021-2026 to approve zoning ordinance referendum ballot language and authorize its submission to Kent County for placement on the ballot. *(Roll Call)*

**c) Expansion and Modernization of Public Safety Siren System** Consider approval of the \$194,900 quote from West Shore Services for the enhancement and modernization of the public safety siren system.

**d) Replacement of Nonfunctioning Centennial Park Streetlights** Consider approval of the contract award to Hillard Electric for its alternate bid of \$74,850. Also, amend the FY26 budget as presented in the RBA.

**e) Purchase of Fire Department Staff Vehicle.** Consider approval to authorize the purchase of a 2026 Chevrolet Tahoe from Berger Chevrolet, in the amount of \$55,645. Consider authorizing the acceptance of the \$15,586.92 upfitting bid from 3<sup>rd</sup> Coast Upfitting. Consider approving the purchase of a \$5,590.47 rear cabinet system, for a total vehicle cost not to exceed \$77,132.29.

**Article 11. Discussion**

**Article 12. Public Comments – Any comments, agenda item or not.  
(Limit comments to 3 minutes)**

**Article 13. Manager Comments**

**Article 14. Board Member Comments**

**Article 15. Adjournment**



**MINUTES**  
**CASCADE CHARTER TOWNSHIP**  
**REGULAR BOARD MEETING**

Wednesday, March 25, 2026, 7:00 P.M.  
Wisner Center, 2870 Jacksmith Ave SE, Grand Rapids, MI 49546

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- Article 1.** Supervisor Lesperance called the meeting to order at 7:00 pm.  
Present: Supervisor Lesperance, Clerk Slater, Treasurer Korstange, Trustees Shipley, Rissi, Noordyke and Noordhoek. Absent: None.  
Also Present: Township Manager Smith, Attorney Homier-Foster Swift, Deputy Clerk Alberts.
- Article 2. Pledge of Allegiance**
- Article 3. Approval of Agenda**  
Motion by Trustee Shipley, seconded by Trustee Rissi, to approve the agenda as amended. Motion carried unanimously.
- Article 4. Approval of the Minutes**  
Motion by Trustee Shipley, seconded by Treasurer Korstange, to approve the Regular and Closed Session minutes from March 11, 2026, as presented. Motion carried unanimously.
- Article 5. Presentations**  
None
- Article 6. Public Comments - Anything on the Agenda not scheduled for a public hearing. (Limit comments to 3 minutes)**  
None
- Article 7. Approval of Consent Agenda**  
Motion by Trustee Noordyke, seconded by Trustee Rissi to approve the Consent Agenda. Motion carried unanimously.
- Article 8. Financial Actions**  
a) Request for Invoices to be paid on 3/26/26. Motion by Treasurer Korstange, seconded by Trustee Rissi to approve. Motion carried unanimously.

**Article 9. Unfinished Business**

**a) Resolution 015-2026** Motion by Trustee Rissi, seconded by Trustee Shipley, to approve Resolution 015-2026 adopting Ordinance 003-2026 to Amend Ordinance #1 of 1980, the Sentinel Pointe PUD as presented. Motion carried 7-0 by roll call vote.

**b) Resolution 016-2026**

Motion by Trustee Shipley, seconded by Treasurer Korstange, to approve Resolution 016-2026 adopting Ordinance 004-2026 to reinstate Private Streets Ordinance #9 of 2002.

Roll Call Vote:

Ayes: Lesperance, Slater, Korstange, Shipley, Rissi.

Nays: Noordyke, Noordhoek. Motion carried 5-2.

**c) Resolution 017-2026**

Motion by Trustee Shipley, seconded by Treasurer Korstange, to approve Resolution 017-2026 adopting Ordinance 005-2026 to reinstate Subdivision Ordinance #5 of 2003.

Roll Call Vote:

Ayes: Lesperance, Slater, Korstange, Shipley, Rissi.

Nays: Noordhoek, Noordyke. Motion carried 5-2.

**Article 10. New Business**

**a) Memorandum of Understanding- Thornapple River Water Trail**

Motion by Trustee Shipley, seconded by Trustee Rissi, to approve a cooperative partnership supporting the development, promotion, and management of the Thornapple River Water Trail. Motion carried unanimously.

**b) Resolution 018-2026**

Motion by Treasurer Korstange, seconded by Trustee Shipley to approve Resolution 018-2026 the introduction of amendments to the Township Zoning Ordinance that would regulate data mining facilities and data centers and that would allow the Township Board to implement a short-term moratorium for existing and new or emerging land uses.

Motion carried 7-0 by roll call vote.

**c) Payment of Claims Until April 22 Meeting**

Motion by Trustee Shipley, seconded by Trustee Noordhoek, to approve authorization for Township Manager and/or his designee to review and approve claims against the Township between March 25, 2026, and April 22, 2026, and further direct that the list of claims paid in this manner be included in the next Board meeting packet for review and approval. Motion carried unanimously.

**Article 11. Discussion**

None

**Article 12. Public Comments – Any comments, agenda item or not.  
(Limit comments to 3 minutes)**

Renee Van Houten- Thornapple River Council  
Scot Van Solkema- 2570 Orange Ct  
Ken Van Der Kolk- 7200 Leyton Dr

**Article 13. Manager Comments**

Memorandum of Understanding regarding the Thornapple River Water Trail was signed by Ada. Solicitation permits are being issued, advising residents to register on Do Not Knock list. Easter Egg hunt is this weekend March 28 at 10am at Rec Park. EGLE is mapping ground water, low flying aircraft may be in the area. Ambulance discussion with the Fire Department and Safety Committee continues.

**Article 14. Board Member Comments**

Trustee Shipley thanked residents for coming.  
Trustee Noordyke thanked residents for coming; petitions have been turned in, over 2,000 signatures gathered, and asked the Board to put the zoning ordinance on the ballot. Acknowledged the Parks and Facilities Crew and Director Zwick.  
Trustee Rissi thanked residents for coming.  
Trustee Noordhoek inquired about the tornado siren schedule.  
Supervisor Lesperance thanked the residents for coming.

**Article 15. Closed Session**

Motion by Clerk Slater, seconded by Trustee Shipley, to enter closed session pursuant to MCL 15.268 Section 8(1)(e) of the Open Meetings Act to Consult with Township Attorney on Litigation, Blosser vs. Cascade, Case 25-20877-CZ at 7:47 p.m. Motion carried unanimously by roll call vote.  
Motion by Trustee Shipley, seconded by Trustee Rissi to return to open session at 8:05 p.m. Motion carried unanimously.  
Motion by Clerk Slater, seconded by Trustee Noordhoek to approve the settlement in the case of Blosser v. Cascade Township in substantial conformance with the settlement term sheet and authorize the Township Manager to execute the necessary documents to resolve the case. Motion carried unanimously.

**Article 16. Adjournment**

Motion by Clerk Slater, seconded by Trustee Noordhoek to adjourn at 8:10 p.m. Motion carried unanimously.

Recording Secretary  
Michelle Alberts, Deputy Clerk

Approved by:

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Grace Lesperance, Supervisor

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Susan B. Slater, Clerk

# Building Department

## March Report Summary

- 789 Permits Issued
- 1694 Inspections Performed

Permit volume is seasonal. We have posted for the open Building Official and Building Inspector positions. So far, there has been very little response. Current staff are able to keep up with the lower (seasonal) workload.

Please see the updated Fund Balance information below.

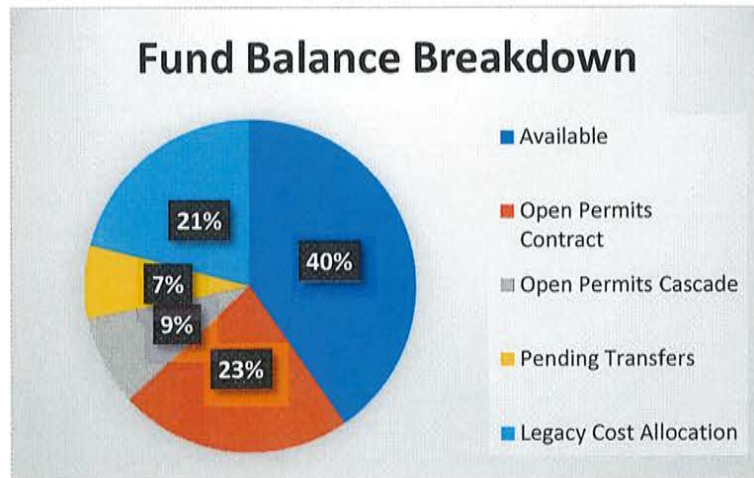
Let me know if you have any questions.

### Prelim Financial Information March 3, 2026:

Fund Balance	\$4,757,591
Annual Expenses (est.)	\$3,370,061

### Data from March 3, 2026:

Open Permits – Total @ 80% remaining	\$1,501,545
Open Permits – Contract	\$1,079,095
Open Permits – Cascade	\$422,450

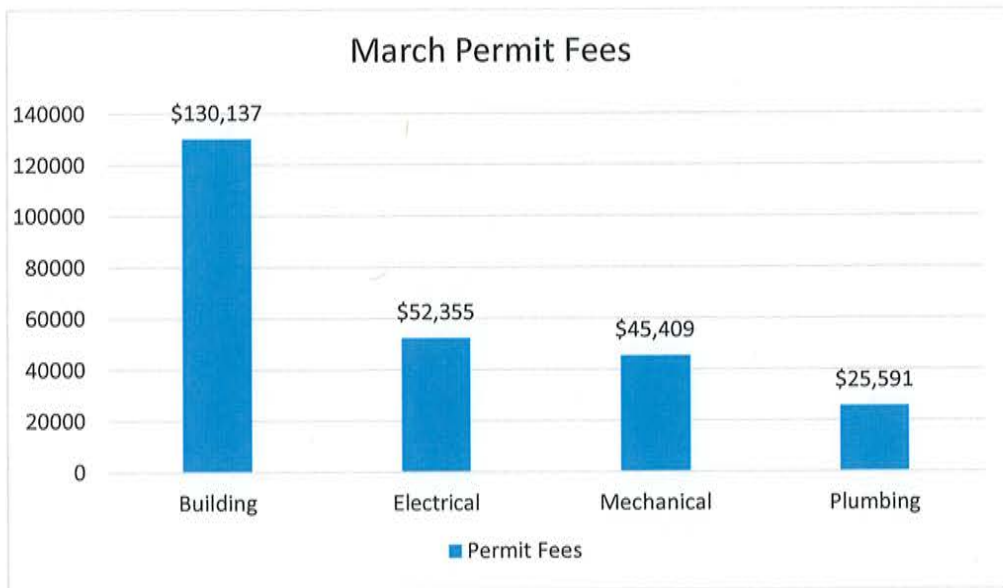


Brian Wilson  
Director of Operations

# Cascade Inspection Services

March 2026

## Permit Fees by Type



# Permit Fees by Municipality



REVENUE AND EXPENDITURE REPORT FOR CASCADE CHARTER TOWNSHIP

Balance as of 03/31/2026

GL Number	Description	2026 Amended Budget	YTD Balance 03/31/2026 Normal (Abnormal)	Activity For 03/31/2026 Increase (Decrease)	Balance 03/31/2026 Normal (Abnormal)	Available 03/31/2026 (Abnormal)	% Bdg't Used
<b>Fund: 249 BUILDING FUND</b>							
<b>Account Category: Revenues</b>							
<b>Department: 000</b>							
249-000-607-100	BUILDING PERMITS	0.00	129,977.00	49,935.00	(129,977.00)		100.00
249-000-607-200	ELECTRICAL PERMITS	0.00	52,355.00	25,684.00	(52,355.00)		100.00
249-000-607-300	PLUMBING PERMITS	0.00	25,591.00	10,128.00	(25,591.00)		100.00
249-000-607-400	MECHANICAL PERMITS	0.00	45,194.00	13,557.75	(45,194.00)		100.00
249-000-607-484	CASCADE TWP BLDG RES PERMITS	320,000.00	34,352.00	16,304.00	285,648.00		10.74
249-000-607-485	CASCADE TWP ELECTRICAL PERMITS	90,000.00	11,208.00	6,632.00	78,792.00		12.45
249-000-607-486	CASCADE TWP MECHANICAL PERMITS	110,000.00	12,869.50	5,313.75	97,130.50		11.70
249-000-607-487	CASCADE TWP PLUMBING PERMITS	50,000.00	5,787.00	3,139.00	44,213.00		11.57
249-000-607-490	CASCADE TWP CONTRACTOR REG	9,000.00	2,145.00	750.00	6,855.00		23.83
249-000-607-500	LOWELL TWP BUILDING PERMITS	80,000.00	5,837.00	4,048.00	74,163.00		7.30
249-000-607-501	LOWELL TWP ELECTRICAL PERMITS	28,000.00	1,641.00	795.00	26,359.00		5.86
249-000-607-502	LOWELL TWP MECHANICAL PERMITS	23,000.00	3,125.00	1,030.00	19,875.00		13.59
249-000-607-503	LOWELL TWP PLUMBING PERMITS	20,000.00	1,165.00	1,015.00	18,835.00		5.83
249-000-607-510	VERGENNES TWP BUILDING PERMITS	80,000.00	7,982.00	3,175.00	72,018.00		9.98
249-000-607-511	VERGENNES TWP ELECTRICAL PERMITS	24,000.00	3,309.00	2,239.00	16,691.00		16.55
249-000-607-512	VERGENNES TWP MECHANICAL PERMITS	24,000.00	4,060.00	2,030.00	19,940.00		16.92
249-000-607-516	VERGENNES TWP PLUMBING PERMITS	16,000.00	2,145.00	1,343.00	13,855.00		13.41
249-000-607-520	ADA TWP BUILDING PERMITS	320,000.00	21,126.00	7,880.00	298,874.00		6.60
249-000-607-521	ADA TWP PLUMBING PERMITS	50,000.00	4,191.00	1,334.00	45,809.00		8.38
249-000-607-523	ADA TWP ELECTRICAL PERMITS	75,000.00	10,716.00	3,685.00	64,284.00		14.29
249-000-607-524	ADA TWP MECHANICAL PERMITS	75,000.00	13,405.00	4,595.00	61,595.00		17.87
249-000-607-531	GR TWP BUILDING PERMITS	200,000.00	23,973.00	9,334.00	176,027.00		11.99
249-000-607-532	GR TWP ELECTRICAL PERMITS	65,000.00	20,289.00	2,932.00	44,711.00		31.21
249-000-607-533	GR TWP MECHANICAL PERMITS	85,000.00	12,385.00	6,200.00	72,615.00		14.57
249-000-607-534	GR TWP PLUMBING PERMITS	50,000.00	5,130.00	1,665.00	44,870.00		10.26
249-000-607-536	EAST GR BUILDING PERMITS	250,000.00	26,179.00	18,043.00	223,821.00		10.47
249-000-607-537	EAST GR ELECTRICAL PERMITS	80,000.00	7,845.00	3,518.00	72,155.00		9.81
249-000-607-538	EAST GR MECHANICAL PERMITS	80,000.00	9,209.00	3,299.00	70,791.00		11.51
249-000-607-539	EAST GR PLUMBING PERMITS	55,000.00	6,517.00	2,232.00	48,483.00		11.85
249-000-607-541	EAST GR-RENTAL INSP	4,500.00	3,780.00	0.00	720.00		84.00
249-000-607-550	PLAINFIELD BUILDING PERMITS	310,000.00	45,413.00	21,258.00	264,587.00		14.65
249-000-607-551	PLAINFIELD - ELECTRICAL PERMITS	100,000.00	12,439.00	6,870.00	87,561.00		12.44
249-000-607-552	PLAINFIELD MECHANICAL PERMITS	130,000.00	17,608.50	9,338.50	112,391.50		13.55
249-000-607-553	PLAINFIELD - PLUMBING PERMITS	80,000.00	9,280.00	4,735.00	70,720.00		11.60
249-000-665-000	INTEREST REVENUE	150,000.00	20,222.46	0.00	129,777.54		13.48
249-000-675-675	MISCELLANEOUS INCOME	1,500.00	400.00	50.00	1,100.00		26.67
<b>Total Dept 000</b>		<b>3,031,000.00</b>	<b>618,850.46</b>	<b>254,087.00</b>	<b>2,412,149.54</b>		<b>20.42</b>
<b>Revenues</b>		<b>3,031,000.00</b>	<b>618,850.46</b>	<b>254,087.00</b>	<b>2,412,149.54</b>		<b>20.42</b>
<b>Account Category: Expenditures</b>							
<b>Department: 250 BENEFITS/INSURANCE</b>							
249-250-715-000	FICA-EMPLOYER	103,657.00	21,759.23	6,986.23	81,897.77		20.99
249-250-716-000	DEFINED CONTRIBUTION PLAN	132,720.00	28,263.21	9,024.70	104,456.79		21.30
249-250-717-000	WORKERS COMP INSURANCE	25,000.00	0.00	0.00	25,000.00		0.00
249-250-718-000	VISION INSURANCE BENEFITS	2,080.00	521.38	0.00	1,558.62		25.07
249-250-718-200	OTHER BENEFITS	25,000.00	23,600.00	0.00	1,400.00		94.40
249-250-719-000	HEALTH INSURANCE BENEFITS	281,584.00	56,557.82	(476.99)	225,026.18		20.09
249-250-720-000	LIFE & DISABILITY INSURANCE	13,556.00	2,424.70	0.00	11,131.30		17.89
249-250-721-000	DENTAL INSURANCE BENEFITS	19,500.00	4,779.09	(160.41)	14,720.91		24.51

REVENUE AND EXPENDITURE REPORT FOR CASCADE CHARTER TOWNSHIP

Balance A 2026 Amended Budget

03/31/2026

GL Number	Description	2026 Amended Budget	YTD Balance 03/31/2026 Normal (Abnormal)	Activity For 03/31/2026 Increase (Decrease)	Available Balance 03/31/2026 Normal (Abnormal)	% Bdg't Used
<b>Fund: 249 BUILDING FUND</b>						
<b>Account Category: Expenditures</b>						
<b>Department: 250 BENEFITS/INSURANCE</b>						
249-250-722-000	PENSION PLAN BENEFITS	113,765.00	19,022.72	0.00	94,742.28	16.72
Total Dept 250 - BENEFITS/INSURANCE		716,862.00	156,928.15	15,373.53	559,933.85	21.89
<b>Department: 371 BUILDING DEPARTMENT</b>						
249-371-702-000	WAGES- FULL TIME	1,301,238.00	282,723.63	90,675.27	1,018,514.37	21.73
249-371-704-000	WAGES- PART TIME	53,761.00	13,739.88	4,328.00	40,021.12	25.56
249-371-723-000	MEMBERSHIPS AND DUES	6,000.00	990.00	0.00	5,010.00	16.50
249-371-724-000	EDUCATION	10,000.00	573.46	423.46	9,426.54	5.73
249-371-727-000	OFFICE SUPPLIES	10,000.00	406.98	0.00	9,593.02	4.07
249-371-752-101	KITCHEN SUPPLIES	700.00	336.41	74.01	363.59	48.06
249-371-757-000	BOOKS	7,500.00	0.00	0.00	7,500.00	0.00
249-371-787-101	CLEANING & PAPER SUPPLIES	800.00	0.00	0.00	800.00	0.00
249-371-787-200	CREDIT CARD FEES	42,000.00	3,056.01	3,056.01	38,943.99	7.28
249-371-807-000	AUDIT FEES & SERVICES	1,000.00	0.00	0.00	1,000.00	0.00
249-371-810-000	LIABILITY INSURANCE	35,000.00	0.00	0.00	35,000.00	0.00
249-371-860-000	MILEAGE	80,000.00	14,030.91	5,878.63	65,969.09	17.54
249-371-923-000	HEATING/UTILITY	11,000.00	3,157.44	1,217.46	7,842.56	28.70
249-371-924-000	PHONES	8,000.00	934.57	520.34	7,065.43	11.68
249-371-924-100	CELL PHONES/DATA	10,000.00	785.68	0.00	9,214.32	7.86
249-371-939-000	SERVICE CONTRACTS	64,000.00	4,397.74	160.97	59,602.26	6.87
249-371-941-000	POSTAGE & MACHINE LEASE	1,000.00	0.00	0.00	1,000.00	0.00
249-371-960-000	COST ALLOCATION PLAN	370,000.00	0.00	0.00	370,000.00	0.00
249-371-967-000	BLDG - SPECIAL PROJECTS-FURNITURE UP	15,000.00	0.00	0.00	15,000.00	0.00
249-371-981-000	OFFICE EQUIPMENT	12,000.00	0.00	0.00	12,000.00	0.00
Total Dept 371 - BUILDING DEPARTMENT		2,038,999.00	325,132.71	106,334.15	1,713,866.29	15.95
<b>Department: 964 PAYMENTS TO OTHER TOWNSHIPS</b>						
249-964-964-100	PERMITS DUE TO LOWELL TWP	30,200.00	2,353.60	1,377.60	27,846.40	7.79
249-964-964-200	PERMITS DUE TO VERGENNES TWP	28,000.00	3,499.20	1,757.40	24,500.80	12.50
249-964-964-300	PERMITS DUE TO GR TWP	80,000.00	12,355.40	4,026.20	67,644.60	15.44
249-964-964-400	PERMITS DUE TO ADA TWP	104,000.00	9,887.60	3,498.80	94,112.40	9.51
249-964-964-500	PERMITS DUE TO EAST GR	93,000.00	9,950.00	5,418.40	83,050.00	10.70
249-964-964-600	PERMITS DUE PLAINFIELD	124,000.00	16,948.10	8,440.30	107,051.90	13.67
249-964-964-800	PERMITS DUE CASCADE TWP	125,000.00	12,843.30	6,277.75	112,156.70	10.27
Total Dept 964 - PAYMENTS TO OTHER TOWNSHIPS		584,200.00	67,837.20	30,796.45	516,362.80	11.61
<b>Department: 966 TRANSFERS OUT</b>						
249-966-955-206	TRANSFER TO FIRE FUND FROM BLDG	30,000.00	0.00	0.00	30,000.00	0.00
Total Dept 966 - TRANSFERS OUT		30,000.00	0.00	0.00	30,000.00	0.00
<b>Expenditures</b>						
Total Dept 249 - BUILDING FUND:		3,370,061.00	549,898.06	152,504.13	2,820,162.94	16.32
TOTAL REVENUES		3,031,000.00	618,850.46	254,087.00	2,412,149.54	20.42
TOTAL EXPENDITURES		3,370,061.00	549,898.06	152,504.13	2,820,162.94	16.32
NET OF REVENUES & EXPENDITURES:		(339,061.00)	68,952.40	101,582.87	(408,013.40)	

BALANCE SHEET REPORT FOR CASCADE CHARTER TOWNSHIP  
Balance As of 03/31/2026

GL Number	Description	YTD Balance 03/31/2026 Normal (Abnormal)
<b>Fund: 249 BUILDING FUND</b>		
<b>*** Assets ***</b>		
000-001-510	MI CLASS CASH - POOL ACCOUNTS	479,079.11
249-000-002-001	CASH/SAVINGS- FLAGSTAR BANK	1,743,239.84
249-000-003-021	FNB OF MI M 3/11/24	250,000.00
249-000-003-024	FIRST NATIONAL BANK OF AMERICA	234,395.52
249-000-017-401	US TREASURY NOTES	950,430.00
249-000-017-405	COMERICA SECURITIES # 148983	1,198,586.58
249-000-040-000	ACCOUNTS RECEIVABLE	250.00
249-000-084-000	DUE FROM OTHER FUNDS	2,702.50
249-000-123-000	PREPAID EXPENSE	6,727.46
<b>Total Assets</b>		<b>4,865,411.01</b>
<b>*** Liabilities ***</b>		
249-000-214-000	DUE TO OTHER FUNDS	292,128.91
249-000-231-205	COBRA	7,427.22
249-000-237-000	DUE TO IRF SW CONNECTIONS	33,672.00
249-000-257-000	ACCRUED PAYROLL	14,741.49
<b>Total Liabilities</b>		<b>347,969.62</b>
<b>*** Fund Equity ***</b>		
249-000-390-000	FUND BALANCE	4,845,987.79
<b>Total Fund Equity</b>		<b>4,845,987.79</b>
<b>Total Fund 249:</b>		<b>4,865,411.01</b>
<b>TOTAL ASSETS</b>		<b>4,865,411.01</b>
BEG. FUND BALANCE - 2025		4,845,987.79
+ NET OF REVENUES/EXPENDITURES - 2025		(397,498.80)
+ NET OF REVENUES & EXPENDITURES		68,952.40
= ENDING FUND BALANCE		4,517,441.39
+ LIABILITIES		347,969.62
= TOTAL LIABILITIES AND FUND BALANCE		<b>4,865,411.01</b>

Category	Construction Value	Permit Fee	Number of Permits
<b>Ada Township</b>			
Commercial, Add/Alter/Repair	\$1,435,000	\$6,662.00	2
DECK	\$43,000	\$350.00	2
DEMOLITION	\$1,000	\$85.00	1
Detached Accessory Building	\$28,920	\$294.00	1
Electrical	\$0	\$4,034.00	14
Mechanical	\$0	\$4,470.00	34
Plumbing	\$0	\$5,268.00	23
Res. Add/Alter/Repair	\$3,163,500	\$1,861.00	6
Res. Single Family	\$550,000	\$1,373.00	1
Residential - Other	\$7,642	\$85.00	1
Roofing	\$206,412	\$935.00	11
Sign	\$5,200	\$170.00	2
Swimming Pool	\$165,700	\$350.00	2
<b>Subtotal</b>	<b>\$5,606,374</b>	<b>\$25,937</b>	<b>100</b>

Category	Construction Value	Permit Fee	Number of Permits
<b>CASCADE</b>			
Commercial, Add/Alter/Repair	\$11,128,095	\$52,219.00	9
DECK	\$154,840	\$1,050.00	6
Electrical	\$0	\$22,961.00	43
Mechanical	\$0	\$12,914.50	68
Plumbing	\$0	\$6,506.00	30
Res. Add/Alter/Repair	\$889,000	\$1,595.00	6
Res. Single Family	\$800,000	\$1,420.00	1
Residential - Other	\$297,793	\$740.00	7
Roofing	\$494,499	\$1,615.00	19
Roofing/Siding	\$30,000	\$85.00	1
Sign	\$13,000	\$170.00	2
Swimming Pool	\$97,050	\$175.00	1
<b>Subtotal</b>	<b>\$13,904,278</b>	<b>\$101,451</b>	<b>193</b>

Category	Construction Value	Permit Fee	Number of Permits
<b>East Grand Rapids</b>			
DECK	\$35,000	\$175.00	1
Detached Accessory Building	\$275,000	\$315.00	1
Electrical	\$0	\$2,860.00	22
Mechanical	\$0	\$4,185.00	33
Plumbing	\$0	\$2,362.00	19
Rental	\$0	\$0.00	1
Res. Add/Alter/Repair	\$1,397,345	\$2,395.00	11
Residential - Other	\$164,315	\$680.00	5
Roofing	\$118,698	\$765.00	9
<b>Subtotal</b>	<b>\$1,990,358</b>	<b>\$13,737</b>	<b>102</b>

Category	Construction Value	Permit Fee	Number of Permits
<b>Grand Rapids Township</b>			
Commercial, Add/Alter/Repair	\$500,000	\$3,128.00	3
DECK	\$74,000	\$525.00	3
Electrical	\$0	\$12,530.00	27
Mechanical	\$0	\$7,360.00	51
Plumbing	\$0	\$4,107.00	23
Res. Add/Alter/Repair	\$36,000	\$781.00	3
Res. Single Family	\$2,300,000	\$5,912.00	4
Residential - Other	\$115,152	\$665.00	4
Roofing	\$202,968	\$595.00	7
Sign	\$22,970	\$340.00	4
<b>Subtotal</b>	<b>\$3,251,090</b>	<b>\$35,943</b>	<b>129</b>

Category	Construction Value	Permit Fee	Number of Permits
<b>Lowell Township</b>			
Commercial, Add/Alter/Repair	\$961,000	\$4,710.00	2
DECK	\$18,250	\$175.00	1
Electrical	\$0	\$1,585.00	6
Mechanical	\$0	\$1,145.00	8
Plumbing	\$0	\$1,078.00	7
Res. Add/Alter/Repair	\$34,000	\$819.00	3
Res. Single Family	\$1,114,100	\$3,528.00	3
Residential - Other	\$38,000	\$140.00	1
Roofing	\$73,981	\$425.00	5
<b>Subtotal</b>	<b>\$2,239,331</b>	<b>\$13,605</b>	<b>36</b>

Category	Construction Value	Permit Fee	Number of Permits
<b>Plainfield Township</b>			
Commercial, Add/Alter/Repair	\$1,449,259	\$8,295.00	5
DECK	\$43,193	\$350.00	2
Detached Accessory Building	\$46,950	\$387.00	1
Electrical	\$0	\$7,537.00	36
Mechanical	\$0	\$13,329.50	77
Plumbing	\$0	\$5,528.00	30
Res. Add/Alter/Repair	\$281,800	\$1,537.00	6
Res. Single Family	\$4,891,400	\$9,049.00	9
Residential - Other	\$121,343	\$1,170.00	10
Roofing	\$336,237	\$1,360.00	16
Sign	\$135,867	\$680.00	8
Swimming Pool	\$177,850	\$350.00	2
<b>Subtotal</b>	<b>\$7,483,899</b>	<b>\$49,573</b>	<b>202</b>

Category	Construction Value	Permit Fee	Number of Permits
<b>Vergennes Township</b>			
Commercial, Add/Alter/Repair	\$1,152,768	\$5,973.00	1
Detached Accessory Building	\$20,000	\$302.00	1
Electrical	\$0	\$848.00	5
Mechanical	\$0	\$2,005.00	12
Plumbing	\$0	\$742.00	4
Res. Add/Alter/Repair	\$18,500	\$169.00	1
Res. Single Family	\$1,329,500	\$2,983.00	2
Residential - Other	\$7,443	\$140.00	1
Roofing	\$10,500	\$85.00	1
<b>Subtotal</b>	<b>\$2,538,711</b>	<b>\$13,247</b>	<b>28</b>
<hr/>			
<b>Monthly Total</b>	<b>\$37,014,041</b>	<b>\$253,492.00</b>	<b>790</b>

MONTHLY FINANCIAL STATEMENT FOR CASCADE CHARTER TOWNSHIP

Balance As of 03/31/2026

\*NOTE: Available Balance / Pct Budget does not reflect amounts encumbered.

GL Number	Description	2025 Amended Budget	2026 Amended Budget	YTD Balance 03/31/2026 Norm (Abnorm)	Activity For 03/31/2026 Incr (Decr)	Available Balance 03/31/2026 Norm (Abnorm)	% Bdgt Used
<b>Fund: 101 GENERAL FUND</b>							
<b>Account Category: Revenues</b>							
<b>Department: 000</b>							
101-000-401-401	GENERAL PROPERTY TAXES	1,865,745.00	2,071,332.00	2,004,225.46	212,898.31	67,106.54	96.76
101-000-401-405	STREETLIGHT	96,500.00	110,000.00	91,613.03	7,229.01	18,386.97	83.28
101-000-401-410	PERSONAL PROPERTY TAX	103,185.00	0.00	0.00	0.00	0.00	0.00
101-000-401-420	DELINQUENT TAXES	5,000.00	5,000.00	2,281.56	0.00	2,718.44	45.63
101-000-401-437	ABATEMENT TAXES	16,175.00	16,175.00	15,862.93	573.18	312.07	98.07
101-000-401-445	INTEREST & PENALTIES ON TAXES	3,500.00	3,500.00	637.04	617.82	2,862.96	18.20
101-000-401-447	TAX ADMINISTRATION FEES	815,998.00	880,570.00	269,998.89	31,945.51	610,571.11	30.66
101-000-477-460	CABLE REVENUE	330,800.00	310,000.00	65,273.70	0.00	244,726.30	21.06
101-000-477-465	CABLE - PEG FEES	66,800.00	66,800.00	13,140.69	0.00	53,659.31	19.67
101-000-478-100	HOTEL LICENSE	5,000.00	4,000.00	6,900.00	5,500.00	(2,900.00)	172.50
101-000-479-000	OTHER PERMITS	1,200.00	1,200.00	365.00	365.00	835.00	30.42
101-000-493-000	DOG LICENSES	100.00	100.00	0.00	0.00	100.00	0.00
101-000-495-000	LIQUOR LICENSE	43,000.00	43,000.00	0.00	0.00	43,000.00	0.00
101-000-539-576	STATE SHARED REV.-SALES TAX	2,152,450.00	2,152,450.00	368,605.00	0.00	1,783,845.00	17.12
101-000-539-581	METRO ACT	23,900.00	23,900.00	0.00	0.00	23,900.00	0.00
101-000-569-000	STATE GRANT- OTHERS	0.00	0.00	2,485.11	2,485.11	(2,485.11)	100.00
101-000-573-000	LOCAL COMMUNITY STABILIZATION AUTHOR	94,243.00	94,243.00	0.00	0.00	94,243.00	0.00
101-000-600-608	PLANNING AND ZONING FEES	283,000.00	30,000.00	9,190.66	2,680.00	20,809.34	30.64
101-000-600-610	SUMMER TAX COLLECTION FEE	26,500.00	26,500.00	0.00	0.00	26,500.00	0.00
101-000-600-611	SEWER & WATER IMPLEMENTATION	20,000.00	20,000.00	0.00	0.00	20,000.00	0.00
101-000-600-614	PA 198 TAX APPLICATION FEE	2,000.00	0.00	0.00	0.00	0.00	0.00
101-000-600-626	PASSPORT APPLICATION FEE	12,500.00	12,500.00	3,507.35	1,127.35	8,992.65	28.06
101-000-600-634	CEMETERY-OPENINGS AND CLOSINGS	35,000.00	25,000.00	7,932.00	1,172.00	17,068.00	31.73
101-000-665-000	INTEREST ON INVESTMENTS	225,000.00	265,000.00	22,738.49	728.30	242,261.51	8.58
101-000-667-002	DAM LEASE PAYMENTS	70,000.00	70,000.00	17,500.00	0.00	52,500.00	25.00
101-000-667-003	RENTAL OF FACILITIES	800.00	800.00	0.00	0.00	800.00	0.00
101-000-667-004	CELLULAR TOWERS	115,000.00	130,000.00	60,606.77	20,792.95	69,393.23	46.62
101-000-667-014	CELL TOWER - KEPS ANTENA LEASE	0.00	0.00	225.00	0.00	(225.00)	100.00
101-000-674-000	4TH OF JULY SPONSORS	20,000.00	20,000.00	0.00	0.00	20,000.00	0.00
101-000-674-200	PARK DONATIONS	2,000.00	2,000.00	0.00	0.00	2,000.00	0.00
101-000-674-300	DONATIONS	0.00	0.00	5,000.00	5,000.00	(5,000.00)	100.00
101-000-675-675	MISCELLANEOUS INCOME	6,000.00	6,000.00	1,708.26	1,618.25	4,291.74	28.47
101-000-675-680	MISC INCOME - TRANSIT TICKETS	500.00	500.00	0.00	0.00	500.00	0.00
101-000-676-000	REIMBURSEMENT LOCAL/STATE ELECTIONS	5,000.00	5,000.00	0.00	0.00	5,000.00	0.00
101-000-676-100	REIMBURSEMENTS/REFUNDS	600.00	600.00	427.97	427.97	172.03	71.33
101-000-679-000	INTERFUND REIMBURSE/BLDG INSPECTION	125,000.00	125,000.00	19,608.75	6,277.75	105,391.25	15.69
101-000-680-000	COST ALLOCATION PLAN	471,430.00	1,102,500.00	0.00	0.00	1,102,500.00	0.00
101-000-681-000	PARK INCOME	6,000.00	20,000.00	13,570.00	1,885.00	6,430.00	67.85
101-000-699-246	TRF FROM IRF FUND	179,000.00	0.00	0.00	0.00	0.00	0.00
Total Dept 000		7,228,926.00	7,643,670.00	3,003,403.66	303,323.51	4,640,266.34	39.29
Revenues		7,228,926.00	7,643,670.00	3,003,403.66	303,323.51	4,640,266.34	39.29
<b>Account Category: Expenditures</b>							
<b>Department: 101 TOWNSHIP BOARD</b>							
101-101-703-000	TRUSTEE SALARIES	95,465.00	102,147.00	25,536.84	8,512.28	76,610.16	25.00
101-101-723-000	TOWNSHIP DUES	24,856.00	24,856.00	5,988.47	4,998.40	18,867.53	24.09
101-101-723-001	ELECTED OFFICIAL MEMBERSHIPS AND DUE	400.00	400.00	0.00	0.00	400.00	0.00

**MONTHLY FINANCIAL STATEMENT FOR CASCADE CHARTER TOWNSHIP**

Balance As of 03/31/2026

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GL Number	Description	2025 Amended Budget	2026 Amended Budget	YTD Balance 03/31/2026 Norm (Abnorm)	Activity For 03/31/2026 Incr (Decr)	Available Balance 03/31/2026 Norm (Abnorm)	% Bdgt Used
<b>Fund: 101 GENERAL FUND</b>							
<b>Account Category: Expenditures</b>							
<b>Department: 101 TOWNSHIP BOARD</b>							
101-101-724-000	EDUCATION	6,000.00	4,000.00	0.00	0.00	4,000.00	0.00
101-101-860-000	TOWNSHIP BOARD MILEAGE	2,500.00	1,000.00	40.10	6.31	959.90	4.01
101-101-862-500	TOWNSHIP BOARD EXPENSE ACCOUNT	2,500.00	2,500.00	0.00	0.00	2,500.00	0.00
101-101-924-100	TOWNSHIP BOARD CELL PHONES/DATA	3,300.00	3,300.00	226.19	50.00	3,073.81	6.85
101-101-967-000	SPECIAL PROJECTS - STRATEGIC PLAN	25,000.00	25,000.00	0.00	0.00	25,000.00	0.00
101-101-981-000	OFFICE EQUIPMENT	1,500.00	1,500.00	0.00	0.00	1,500.00	0.00
Total Dept 101 - TOWNSHIP BOARD		161,521.00	164,703.00	31,791.60	13,566.99	132,911.40	19.30
<b>Department: 172 TOWNSHIP MANAGER</b>							
101-172-702-000	WAGES- FULL TIME	259,890.00	268,960.00	63,997.17	21,294.14	204,962.83	23.79
101-172-704-000	WAGES- PART TIME	87,924.00	98,822.00	21,247.78	7,113.36	77,574.22	21.50
101-172-705-000	WAGES - OVERTIME	1,000.00	1,000.00	0.00	0.00	1,000.00	0.00
101-172-723-000	MEMBERSHIP AND DUES	2,000.00	2,000.00	0.00	0.00	2,000.00	0.00
101-172-726-000	TRAINING SUPPLIES	4,000.00	4,000.00	0.00	0.00	4,000.00	0.00
101-172-924-100	CELL PHONES/DATA	1,000.00	1,000.00	58.40	0.00	941.60	5.84
Total Dept 172 - TOWNSHIP MANAGER		355,814.00	375,782.00	85,303.35	28,407.50	290,478.65	22.70
<b>Department: 201 FINANCE</b>							
101-201-702-000	WAGES- FULL TIME	203,387.00	215,459.00	49,261.27	16,560.10	166,197.73	22.86
101-201-723-000	MEMBERSHIP AND DUES	600.00	600.00	0.00	0.00	600.00	0.00
101-201-726-000	TRAINING SUPPLIES	4,000.00	4,000.00	0.00	0.00	4,000.00	0.00
101-201-860-000	MILEAGE	0.00	200.00	0.00	0.00	200.00	0.00
101-201-924-100	CELL PHONES/DATA	800.00	800.00	58.50	0.00	741.50	7.31
101-201-939-000	SERVICE CONTRACTS	0.00	17,600.00	0.00	0.00	17,600.00	0.00
Total Dept 201 - FINANCE		208,787.00	238,659.00	49,319.77	16,560.10	189,339.23	20.67
<b>Department: 215 CLERK</b>							
101-215-702-000	WAGES- FULL TIME	63,699.00	57,762.00	1,364.26	0.00	56,397.74	2.36
101-215-703-000	CLERK SALARY	39,561.00	44,677.00	11,169.24	3,723.08	33,507.76	25.00
101-215-704-000	WAGES- CLERK	5,000.00	0.00	15,899.90	5,834.03	(15,899.90)	100.00
101-215-723-000	CLERK MEMBERSHIPS AND DUES	600.00	600.00	206.00	0.00	394.00	34.33
101-215-724-000	EDUCATION	3,000.00	3,000.00	0.00	0.00	3,000.00	0.00
101-215-860-000	CLERK MILEAGE	300.00	800.00	33.65	10.88	766.35	4.21
101-215-925-000	CELL PHONE/ DATA	700.00	1,000.00	10.02	0.00	989.98	1.00
101-215-939-000	SERVICE CONTRACTS	3,500.00	3,000.00	18.21	0.00	2,981.79	0.61
Total Dept 215 - CLERK		116,360.00	110,839.00	28,701.28	9,567.99	82,137.72	25.89
<b>Department: 225 ADMINISTRATIVE</b>							
101-225-723-000	MEMBERSHIP AND DUES	3,190.00	3,190.00	1,200.00	1,200.00	1,990.00	37.62
101-225-724-000	EDUCATION	10,000.00	10,000.00	75.00	75.00	9,925.00	0.75
101-225-727-000	OFFICE SUPPLIES	14,000.00	14,000.00	1,559.62	1,005.35	12,440.38	11.14
101-225-730-000	POSTAGE	7,000.00	16,000.00	7,669.28	0.00	8,330.72	47.93
101-225-752-000	SUPPLIES	0.00	0.00	102.71	102.71	(102.71)	100.00
101-225-752-101	KITCHEN SUPPLIES	5,400.00	3,000.00	153.43	92.26	2,846.57	5.11
101-225-794-700	PLANTS/PLANT MAINTENANCE	1,880.00	200.00	0.00	0.00	200.00	0.00
101-225-807-000	AUDIT FEES & SERVICES	30,000.00	25,000.00	0.00	0.00	25,000.00	0.00
101-225-810-000	LIABILITY INSURANCE	70,000.00	70,000.00	1,998.00	1,998.00	68,002.00	2.85
101-225-814-000	TAX/ASSESSING ADMIN COSTS	22,000.00	0.00	0.00	0.00	0.00	0.00
101-225-815-000	COMPUTER COSTS-ISP	5,500.00	0.00	701.50	362.51	(701.50)	100.00

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<b>Fund: 101 GENERAL FUND</b>							
<b>Account Category: Expenditures</b>							
<b>Department: 225 ADMINISTRATIVE</b>							
101-225-815-050	COMPUTER SOFTWARE/CAMERA MONITOR/ZOOM	4,100.00	0.00	615.80	307.90	(615.80)	100.00
101-225-815-100	COMPUTER COSTS-WEB SITE	6,000.00	3,600.00	5,522.00	5,298.00	(1,922.00)	153.39
101-225-826-000	LEGAL FEES	142,000.00	180,000.00	1,246.50	1,246.50	178,753.50	0.69
101-225-860-000	ADMINISTRATIVE MILEAGE	1,000.00	1,000.00	0.00	0.00	1,000.00	0.00
101-225-880-000	COMMUNITY PROMOTION	0.00	0.00	1,413.03	1,413.03	(1,413.03)	100.00
101-225-881-000	FOURTH OF JULY	55,000.00	65,000.00	18,937.50	18,937.50	46,062.50	29.13
101-225-881-200	HALLOWEEN	2,000.00	2,000.00	0.00	0.00	2,000.00	0.00
101-225-881-400	HERITAGE DAY FESTIVAL	15,000.00	20,000.00	0.00	0.00	20,000.00	0.00
101-225-885-000	NEWSLETTER	35,000.00	35,000.00	5,820.48	5,820.48	29,179.52	16.63
101-225-900-000	PRINTING/PUBLISHING	24,000.00	24,000.00	1,506.92	1,206.00	22,493.08	6.28
101-225-901-000	PUBLICATIONS	1,000.00	1,000.00	59.00	59.00	941.00	5.90
101-225-924-100	CELL PHONES/DATA	7,340.00	7,340.00	51.42	0.00	7,288.58	0.70
101-225-939-000	SERVICE CONTRACTS	45,000.00	60,000.00	1,253.34	377.03	58,746.66	2.09
101-225-941-000	POSTAGE MACHINE LEASE	2,000.00	2,000.00	0.00	0.00	2,000.00	0.00
101-225-952-100	KENT COUNTY AERIAL PHOTO	2,600.00	4,000.00	0.00	0.00	4,000.00	0.00
101-225-955-000	CABLE EQUIPMENT GRANTS	35,000.00	35,000.00	0.00	0.00	35,000.00	0.00
101-225-955-952	REGIS	45,000.00	45,000.00	0.00	0.00	45,000.00	0.00
101-225-955-954	NPDES PHASE II	12,000.00	12,000.00	0.00	0.00	12,000.00	0.00
101-225-955-955	COMMUNITY MEDIA CENTER	5,000.00	5,000.00	0.00	0.00	5,000.00	0.00
101-225-956-000	RIGHT PLACE PROGRAM	9,000.00	9,000.00	0.00	0.00	9,000.00	0.00
101-225-964-100	PROPERTY TAX REFUNDS	2,500.00	2,500.00	38.89	0.00	2,461.11	1.56
101-225-967-000	SPECIAL PROJECTS - COMMUNCATIONS/ IT	50,000.00	50,000.00	276.26	116.63	49,723.74	0.55
101-225-967-200	SPECIAL PROJECTS - IT SERVICES	85,000.00	0.00	0.00	0.00	0.00	0.00
101-225-981-000	OFFICE EQUIPMENT	16,000.00	16,000.00	19.99	0.00	15,980.01	0.12
<b>Total Dept 225 - ADMINISTRATIVE</b>		<b>770,510.00</b>	<b>720,830.00</b>	<b>50,220.67</b>	<b>39,617.90</b>	<b>670,609.33</b>	<b>6.97</b>
<b>Department: 228 INFORMATION TECHNOLOGY</b>							
101-228-939-000	SERVICE CONTRACTS	0.00	45,000.00	18,044.35	9,976.10	26,955.65	40.10
101-228-958-000	SOFTWARE/SUPPORT	0.00	125,000.00	19,885.00	0.00	105,115.00	15.91
101-228-967-200	SPECIAL PROJECTS - IT SERVICES	0.00	40,000.00	20,535.00	20,535.00	19,465.00	51.34
101-228-981-000	OFFICE EQUIPMENT	0.00	10,000.00	0.00	0.00	10,000.00	0.00
<b>Total Dept 228 - INFORMATION TECHNOLOGY</b>		<b>0.00</b>	<b>220,000.00</b>	<b>58,464.35</b>	<b>30,511.10</b>	<b>161,535.65</b>	<b>26.57</b>
<b>Department: 250 BENEFITS/INSURANCE</b>							
101-250-715-000	FICA-EMPLOYER	171,520.00	167,601.00	35,366.70	12,808.74	132,234.30	21.10
101-250-716-000	DEFINED CONTRIBUTION PLAN	190,112.00	199,667.00	37,320.14	13,234.13	162,346.86	18.69
101-250-717-000	WORKERS COMP INSURANCE	50,000.00	50,000.00	0.00	0.00	50,000.00	0.00
101-250-718-000	VISION INSURANCE BENEFITS	2,214.00	3,200.00	(235.65)	(279.42)	3,435.65	(7.36)
101-250-718-200	OTHER BENEFITS	0.00	38,400.00	38,400.00	0.00	0.00	100.00
101-250-719-000	HEALTH INSURANCE BENEFITS	416,799.00	433,206.00	68,011.05	(2,788.13)	365,194.95	15.70
101-250-720-000	LIFE & DIS INSURANCE BENEFITS	19,203.00	20,856.00	3,502.68	0.00	17,353.32	16.79
101-250-721-000	DENTAL INSURANCE BENEFITS	17,574.00	30,000.00	4,106.30	(843.33)	25,893.70	13.69
101-250-722-000	PENSION PLAN BENEFITS	165,355.00	195,026.00	32,765.08	0.00	162,260.92	16.80
101-250-723-000	OTHER BENEFITS	0.00	0.00	1,283.34	0.00	(1,283.34)	100.00
<b>Total Dept 250 - BENEFITS/INSURANCE</b>		<b>1,032,777.00</b>	<b>1,137,956.00</b>	<b>220,519.64</b>	<b>22,131.99</b>	<b>917,436.36</b>	<b>19.38</b>
<b>Department: 253 TREASURER</b>							
101-253-702-000	WAGES- FULL TIME	158,949.00	171,791.00	37,276.52	12,553.60	134,514.48	21.70
101-253-703-000	TREASURER SALARY	39,561.00	44,677.00	11,169.24	3,723.08	33,507.76	25.00

MONTHLY FINANCIAL STATEMENT FOR CASCADE CHARTER TOWNSHIP

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GL Number	Description	2025 Amended Budget	2026 Amended Budget	YTD Balance 03/31/2026 Norm (Abnorm)	Activity For 03/31/2026 Incr (Decr)	Available Balance 03/31/2026 Norm (Abnorm)	% Bdgt Used
<b>Fund: 101 GENERAL FUND</b>							
<b>Account Category: Expenditures</b>							
<b>Department: 253 TREASURER</b>							
101-253-705-000	WAGES - OVERTIME	2,000.00	1,000.00	0.00	0.00	1,000.00	0.00
101-253-723-000	MEMBERSHIPS AND DUES	1,000.00	1,000.00	0.00	0.00	1,000.00	0.00
101-253-724-000	EDUCATION	3,500.00	3,500.00	2,051.00	1,452.00	1,449.00	58.60
101-253-725-000	EDUCATION/TUITION REIMBURSEMENT	5,300.00	5,300.00	0.00	0.00	5,300.00	0.00
101-253-730-000	POSTAGE	9,000.00	0.00	0.00	0.00	0.00	0.00
101-253-860-000	MILEAGE	1,800.00	1,800.00	0.00	0.00	1,800.00	0.00
101-253-924-100	CELL PHONES/DATA	0.00	0.00	69.69	0.00	(69.69)	100.00
101-253-939-000	SERVICE CONTRACTS	9,000.00	12,500.00	0.00	0.00	12,500.00	0.00
Total Dept 253 - TREASURER		230,110.00	241,568.00	50,566.45	17,728.68	191,001.55	20.93
<b>Department: 257 ASSESSING</b>							
101-257-702-000	WAGES- FULL TIME	197,128.00	0.00	0.00	0.00	0.00	0.00
101-257-704-000	WAGES- PART TIME	10,981.00	0.00	0.00	0.00	0.00	0.00
101-257-707-000	WAGES - PER DIEM	3,700.00	0.00	0.00	0.00	0.00	0.00
101-257-723-000	ASSESSING MEMBERSHIPS AND DUES	1,835.00	0.00	0.00	0.00	0.00	0.00
101-257-724-000	EDUCATION	9,285.00	0.00	225.00	225.00	(225.00)	100.00
101-257-727-000	ASSESSING PUBLICATION/SUPPLIES	1,500.00	0.00	0.00	0.00	0.00	0.00
101-257-801-000	ASSESSING CONTRACTUAL SERVICES	90,000.00	275,580.00	67,500.00	22,500.00	208,080.00	24.49
101-257-808-000	BOARD OF REVIEW EXPENSES	3,500.00	3,500.00	1,698.04	1,698.04	1,801.96	48.52
101-257-826-000	LEGAL FEES	63,000.00	50,000.00	0.00	0.00	50,000.00	0.00
101-257-860-000	ASSESSING MILEAGE	2,900.00	0.00	0.00	0.00	0.00	0.00
101-257-900-000	ASSESSING PRINTING AND PUBLISHING	1,150.00	1,500.00	2,815.20	1,927.81	(1,315.20)	187.68
101-257-924-100	CELL PHONES/DATA	2,700.00	0.00	20.04	0.00	(20.04)	100.00
101-257-939-000	ASSESSING SERVICE CONTRACTS	11,514.00	18,000.00	0.00	0.00	18,000.00	0.00
101-257-981-000	OFFICE EQUIPMENT	4,200.00	0.00	18.79	0.00	(18.79)	100.00
Total Dept 257 - ASSESSING		403,393.00	348,580.00	72,277.07	26,350.85	276,302.93	20.73
<b>Department: 262 ELECTIONS</b>							
101-262-704-000	WAGES- PART TIME	40,000.00	20,000.00	0.00	0.00	20,000.00	0.00
101-262-707-000	WAGES - PER DIEM	0.00	10,000.00	0.00	0.00	10,000.00	0.00
101-262-752-200	ELECTION MAILINGS & POSTAGE	20,000.00	5,000.00	0.00	0.00	5,000.00	0.00
101-262-756-000	ELECTION SUPPLIES	12,000.00	20,000.00	0.00	0.00	20,000.00	0.00
101-262-932-000	MAINT/OFFICE EQUIP & COMPUTER REPAIR	6,000.00	2,000.00	0.00	0.00	2,000.00	0.00
101-262-939-000	SERVICE CONTRACTS	14,250.00	18,000.00	11,125.04	0.00	6,874.96	61.81
Total Dept 262 - ELECTIONS		92,250.00	75,000.00	11,125.04	0.00	63,874.96	14.83
<b>Department: 265 BUILDING AND GROUNDS</b>							
101-265-702-000	WAGES- FULL TIME	356,239.00	361,005.00	83,734.31	28,186.93	277,270.69	23.19
101-265-704-000	WAGES- PART TIME	32,080.00	114,426.00	9,250.95	2,740.50	105,175.05	8.08
101-265-705-000	WAGES - OVERTIME	10,000.00	10,000.00	1,350.51	118.61	8,649.49	13.51
101-265-724-000	EDUCATION	3,000.00	3,750.00	491.50	160.00	3,258.50	13.11
101-265-752-101	KITCHEN SUPPLIES	0.00	1,000.00	388.49	240.59	611.51	38.85
101-265-768-000	BLDG & GROUNDS UNIFORMS	2,500.00	3,500.00	1,722.66	1,722.66	1,777.34	49.22
101-265-787-101	CLEANING & PAPER SUPPLIES	0.00	0.00	125.49	25.49	(125.49)	100.00
101-265-802-200	JANITORIAL & MAINTENANCE	31,000.00	31,950.00	2,500.48	2,500.48	29,449.52	7.83
101-265-860-000	MILEAGE	100.00	900.00	0.00	0.00	500.00	0.00
101-265-863-000	VEHICLE MAINT	40,000.00	41,250.00	1,523.08	762.59	39,726.92	3.69
101-265-864-000	FUEL	26,000.00	26,800.00	3,056.08	1,322.86	23,743.92	11.40
101-265-921-000	COMPLEX ELECTRICITY	20,000.00	30,000.00	4,289.12	1,527.11	25,710.88	14.30

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<b>Fund: 101 GENERAL FUND</b>							
<b>Account Category: Expenditures</b>							
<b>Department: 265 BUILDING AND GROUNDS</b>							
101-265-923-000	COMPLEX HEATING	9,000.00	9,000.00	2,239.96	1,005.24	6,760.04	24.89
101-265-924-000	COMPLEX PHONES	10,000.00	18,000.00	4,150.51	1,040.68	13,849.49	23.06
101-265-924-100	BLDG & GROUNDS CELL PHONES/ DATA	2,700.00	3,000.00	165.82	0.00	2,834.18	5.53
101-265-927-000	COMPLEX WATER-SEWER	6,000.00	6,200.00	987.14	130.58	5,212.86	15.92
101-265-931-000	COMPLEX MAINTENANCE	60,000.00	61,800.00	3,958.36	302.83	57,841.64	6.41
101-265-932-000	OFFICE EQUIP/COMPUTER REPAIR	20,000.00	20,600.00	0.00	0.00	20,600.00	0.00
101-265-939-000	SERVICE CONTRACTS	75,000.00	48,000.00	6,387.18	2,537.50	41,612.82	13.31
101-265-981-000	OFFICE EQUIPMENT	3,000.00	3,000.00	0.00	0.00	3,000.00	0.00
101-265-981-500	TOOLS/ SMALL EQUIPMENT MAINTENANCE	5,000.00	5,150.00	0.00	0.00	5,150.00	0.00
Total Dept 265 - BUILDING AND GROUNDS		711,619.00	798,931.00	126,321.64	44,324.65	672,609.36	15.81
<b>Department: 270 HUMAN RESOURCES</b>							
101-270-702-000	WAGES- FULL TIME	117,189.00	130,098.00	29,337.90	9,779.30	100,760.10	22.55
101-270-723-000	MEMBERSHIP AND DUES	2,154.00	3,254.00	0.00	0.00	3,254.00	0.00
101-270-724-000	EDUCATION	3,430.00	3,430.00	0.00	0.00	3,430.00	0.00
101-270-726-000	TRAINING SUPPLIES	10,000.00	15,000.00	0.00	0.00	15,000.00	0.00
101-270-727-000	SUPPLIES	1,000.00	1,000.00	24.15	0.00	975.85	2.42
101-270-803-000	HIRING EXPENDITURES	2,000.00	2,000.00	0.00	0.00	2,000.00	0.00
101-270-860-000	MILEAGE	300.00	300.00	0.00	0.00	300.00	0.00
101-270-924-100	CELL PHONES/DATA	660.00	850.00	69.69	0.00	780.31	8.20
101-270-939-000	SERVICE CONTRACTS	7,360.00	12,500.00	0.00	0.00	12,500.00	0.00
101-270-957-000	PHYSICAL EXAMS	1,000.00	1,000.00	0.00	0.00	1,000.00	0.00
Total Dept 270 - HUMAN RESOURCES		145,093.00	169,432.00	29,431.74	9,779.30	140,000.26	17.37
<b>Department: 276 CEMETERY</b>							
101-276-921-000	CEMETERY ELECTRICITY	900.00	900.00	94.94	33.91	805.06	10.55
101-276-932-000	CEMETERY MAINT	22,500.00	22,500.00	0.00	0.00	22,500.00	0.00
Total Dept 276 - CEMETERY		23,400.00	23,400.00	94.94	33.91	23,305.06	0.41
<b>Department: 443 YARD WASTE REMOVAL</b>							
101-443-820-000	SPRING/ FALL CLEANUP	130,000.00	130,000.00	0.00	0.00	130,000.00	0.00
101-443-939-000	CONTRACTED SERVICES	0.00	10,000.00	0.00	0.00	10,000.00	0.00
Total Dept 443 - YARD WASTE REMOVAL		130,000.00	140,000.00	0.00	0.00	140,000.00	0.00
<b>Department: 445 DRAIN</b>							
101-445-816-000	DRAIN MAINTENANCE	10,000.00	14,000.00	113,178.00	0.00	(99,178.00)	808.41
101-445-821-000	DRAIN ENGINEERING	4,000.00	4,000.00	0.00	0.00	4,000.00	0.00
101-445-822-000	ILLICIT DISCHARGE PLAN	500.00	500.00	0.00	0.00	500.00	0.00
101-445-823-000	LGROW MEMBERSHIP DUES	500.00	500.00	0.00	0.00	500.00	0.00
Total Dept 445 - DRAIN		15,000.00	19,000.00	113,178.00	0.00	(94,178.00)	595.67
<b>Department: 446 ROADS</b>							
101-446-818-000	DUST CONTROL LAYER	1,500.00	4,000.00	0.00	0.00	4,000.00	0.00
101-446-821-000	ROAD OVERLAYS	680,000.00	550,000.00	0.00	0.00	550,000.00	0.00
101-446-821-500	ROAD ENGINEERING STUDIES	5,000.00	10,000.00	0.00	0.00	10,000.00	0.00
Total Dept 446 - ROADS		686,500.00	564,000.00	0.00	0.00	564,000.00	0.00
<b>Department: 447 ENGINEERS/ ENGINEERING</b>							
101-447-702-000	WAGES- FULL TIME	128,371.00	133,979.00	30,511.62	10,170.54	103,467.38	22.77

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<b>Fund: 101 GENERAL FUND</b>							
<b>Account Category: Expenditures</b>							
<b>Department: 447 ENGINEERS/ ENGINEERING</b>							
101-447-723-000	ENGINEERING MEMBERSHIP & DUES	500.00	500.00	0.00	0.00	500.00	0.00
101-447-724-000	ENGINEERING EDUCATION	1,500.00	1,500.00	0.00	0.00	1,500.00	0.00
101-447-752-000	ENGINEERING SUPPLIES	1,000.00	1,000.00	0.00	0.00	1,000.00	0.00
101-447-794-701	TREE INSTALLATION / MAINT	90,000.00	90,000.00	0.00	0.00	90,000.00	0.00
101-447-801-000	CONTRACT SERVICES	252,608.00	0.00	14,261.49	10,989.46	(14,261.49)	100.00
101-447-818-000	CONTRACTED SERVICES	0.00	50,000.00	0.00	0.00	50,000.00	0.00
101-447-860-000	ENGINEERING MILEAGE	500.00	500.00	0.00	0.00	500.00	0.00
101-447-862-500	ENGINEERING EXPENSE ACCOUNT	500.00	0.00	0.00	0.00	0.00	0.00
101-447-939-000	SERVICE CONTRACTS	2,500.00	2,500.00	2,095.00	0.00	405.00	83.80
101-447-981-000	OFFICE EQUIPMENT	1,000.00	1,000.00	0.00	0.00	1,000.00	0.00
Total Dept 447 - ENGINEERS/ ENGINEERING		478,479.00	280,979.00	46,868.11	21,160.00	234,110.89	16.68
<b>Department: 448 STREET LIGHTS</b>							
101-448-926-000	STREETLIGHTING	175,000.00	218,000.00	22,604.86	11,419.76	195,395.14	10.37
Total Dept 448 - STREET LIGHTS		175,000.00	218,000.00	22,604.86	11,419.76	195,395.14	10.37
<b>Department: 652 TRANSPORTATION</b>							
101-652-861-200	TRANSPORTATION SERVICES	5,000.00	0.00	0.00	0.00	0.00	0.00
Total Dept 652 - TRANSPORTATION		5,000.00	0.00	0.00	0.00	0.00	0.00
<b>Department: 701 PLANNING</b>							
101-701-702-000	WAGES- FULL TIME	204,870.00	238,749.00	51,442.07	26,241.99	187,306.93	21.55
101-701-704-000	WAGES- PART TIME	0.00	25,000.00	0.00	0.00	25,000.00	0.00
101-701-706-000	PLANNING/ ZONING PER DIEM	680.00	11,000.00	3,876.38	3,876.38	7,123.62	35.24
101-701-723-000	COMM DEV MEMBERSHIPS AND DUES	1,650.00	1,650.00	668.80	668.80	981.20	40.53
101-701-724-000	EDUCATION	7,200.00	7,200.00	504.95	469.95	6,695.05	7.01
101-701-727-000	PLANNING OFFICE SUPPLIES	750.00	750.00	51.73	0.00	698.27	6.90
101-701-801-000	CONTRACT SERVICES	100,000.00	0.00	11,647.50	11,647.50	(11,647.50)	100.00
101-701-809-000	PLANNING/ ZONING SUPPLIES	3,000.00	3,000.00	0.00	0.00	3,000.00	0.00
101-701-860-000	COMM DEV MILEAGE	300.00	300.00	0.00	0.00	300.00	0.00
101-701-900-000	PRINTING & PUBLISHING	12,000.00	12,000.00	1,188.00	1,038.00	10,812.00	9.90
101-701-901-000	DIGITAL IMAGING	10,000.00	10,000.00	0.00	0.00	10,000.00	0.00
101-701-925-000	CELL PHONE/ DATA	1,800.00	1,800.00	96.76	0.00	1,703.24	5.38
101-701-958-000	SOFTWARE/SUPPORT	15,000.00	15,000.00	0.00	0.00	15,000.00	0.00
101-701-967-000	SPECIAL PROJECTS - TACTICAL URBANISM	20,000.00	20,000.00	0.00	0.00	20,000.00	0.00
Total Dept 701 - PLANNING		377,250.00	346,449.00	69,476.19	43,942.62	276,972.81	20.05
<b>Department: 756 PARKS</b>							
101-756-702-000	WAGES- FULL TIME	205,291.00	178,257.00	26,081.40	8,693.80	152,175.60	14.63
101-756-704-000	WAGES	20,000.00	15,742.00	1,839.21	983.34	13,902.79	11.68
101-756-752-000	SUPPLIES	0.00	0.00	146.94	146.94	(146.94)	100.00
101-756-756-000	PARK OPERATING SUPPLIES	36,500.00	37,600.00	14,470.57	7,032.90	23,129.43	38.49
101-756-787-101	CLEANING & PAPER SUPPLIES	7,500.00	11,000.00	0.00	0.00	11,000.00	0.00
101-756-794-700	PLANTS/PLANT MAINTENANCE	9,500.00	9,500.00	0.00	0.00	9,500.00	0.00
101-756-850-000	COMMUNICATIONS	1,200.00	1,200.00	604.41	184.92	595.59	50.37
101-756-880-000	COMMUNITY PROMOTION	5,000.00	15,000.00	2,801.51	301.51	12,198.49	18.68
101-756-921-000	PARK ELECTRICITY	6,000.00	6,500.00	1,155.29	285.31	5,344.71	17.77
101-756-927-000	PARK WATER-SEWER	2,500.00	3,000.00	363.56	363.56	2,636.44	12.12
101-756-935-000	PARK MAINTENANCE	75,000.00	78,000.00	1,668.03	658.67	76,331.97	2.14

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<b>Fund: 101 GENERAL FUND</b>							
<b>Account Category: Expenditures</b>							
<b>Department: 756 PARKS</b>							
101-756-939-000	SERVICE CONTRACTS	83,850.00	20,000.00	7,081.02	2,222.34	12,918.98	35.41
101-756-967-000	SPECIAL PROJECTS - MILLAGE PREP	0.00	10,000.00	0.00	0.00	10,000.00	0.00
101-756-967-001	SPECIAL PROJECTS - RECREATION PARK P	25,000.00	25,000.00	0.00	0.00	25,000.00	0.00
101-756-981-000	OFFICE EQUIPMENT	1,500.00	1,500.00	0.00	0.00	1,500.00	0.00
101-756-981-500	TOOLS/ SMALL EQUIPMENT MAINTENANCE	3,000.00	20,000.00	502.19	502.19	19,497.81	2.51
Total Dept 756 - PARKS		481,841.00	432,299.00	56,714.13	21,375.48	375,584.87	13.12
<b>Department: 803 HISTORICAL</b>							
101-803-880-000	COMMUNITY PROMOTION	7,000.00	7,000.00	0.00	0.00	7,000.00	0.00
101-803-921-000	MUSEUM - ELECTRICITY	780.00	900.00	363.92	84.32	536.08	40.44
101-803-923-000	MUSEUM - HEATING/UTILITY	1,000.00	1,500.00	367.95	178.48	1,132.05	24.53
101-803-927-000	MUSEUM WATER-SEWER	800.00	1,500.00	78.21	78.21	1,421.79	5.21
101-803-961-000	MUSEUM MAINTENANCE	20,000.00	20,000.00	186.25	43.75	19,813.75	0.93
Total Dept 803 - HISTORICAL		29,580.00	30,900.00	996.33	384.76	29,903.67	3.22
<b>Department: 901 CAPITAL OUTLAY</b>							
101-901-970-000	CAPITAL OUTLAY - FFE	50,000.00	151,000.00	0.00	0.00	151,000.00	0.00
101-901-971-400	GREENSPACE/ FARMLAND PRESERVATION	100,000.00	0.00	0.00	0.00	0.00	0.00
101-901-975-000	CAPITAL OUTLAY - BLDGIMP	100,000.00	100,000.00	0.00	0.00	100,000.00	0.00
101-901-983-000	PARK CAPITAL OUTLAY	179,000.00	0.00	8,250.00	0.00	(8,250.00)	100.00
Total Dept 901 - CAPITAL OUTLAY		429,000.00	251,000.00	8,250.00	0.00	242,750.00	3.29
<b>Department: 965 CONTINGENCIES</b>							
101-965-998-000	PERSONNEL CONTINGENCIES	0.00	173,363.00	0.00	0.00	173,363.00	0.00
Total Dept 965 - CONTINGENCIES		0.00	173,363.00	0.00	0.00	173,363.00	0.00
<b>Department: 966 TRANSFERS OUT</b>							
101-966-995-004	TRANSFER TO CEMETERY TRUST FUN	3,750.00	5,000.00	0.00	0.00	5,000.00	0.00
101-966-995-005	TRANSFER TO DAM MAJOR REPAIR	40,000.00	40,000.00	10,000.00	10,000.00	30,000.00	25.00
101-966-995-280	TRANS OUT TO GREENSPACE/FARMLAND PRE	0.00	100,000.00	0.00	0.00	100,000.00	0.00
Total Dept 966 - TRANSFERS OUT		43,750.00	145,000.00	10,000.00	10,000.00	135,000.00	6.90
<b>Department: 990 DEBT SERVICE</b>							
101-990-991-008	FIRE ST. #1 BOND PRINCIPAL PAYMENT	205,000.00	215,000.00	0.00	0.00	215,000.00	0.00
101-990-993-001	BOND PAYING AGENT FEES	500.00	0.00	0.00	0.00	0.00	0.00
101-990-994-001	BOND INTEREST & FEES (#1,2&4)	209,100.00	202,000.00	0.00	0.00	202,000.00	0.00
Total Dept 990 - DEBT SERVICE		414,600.00	417,000.00	0.00	0.00	417,000.00	0.00
Expenditures		7,517,634.00	7,643,670.00	1,142,225.16	366,863.58	6,501,444.84	14.94
<b>Fund 101 - GENERAL FUND:</b>							
TOTAL REVENUES		7,228,926.00	7,643,670.00	3,003,403.66	303,323.51	4,640,266.34	39.29
TOTAL EXPENDITURES		7,517,634.00	7,643,670.00	1,142,225.16	366,863.58	6,501,444.84	14.94
NET OF REVENUES & EXPENDITURES:		(288,708.00)	0.00	1,861,178.50	(63,540.07)	(1,861,178.50)	
BEG. FUND BALANCE		7,250,450.85	7,250,450.85	7,250,450.85			
NET OF REVENUES/EXPENDITURES - 2025			1,638,924.27	1,638,924.27			
END FUND BALANCE		6,961,742.85	8,889,375.12	10,750,553.62			

MONTHLY FINANCIAL STATEMENT FOR CASCADE CHARTER TOWNSHIP

Balance As of 03/31/2026

\*NOTE: Available Balance / Pct Budget does not reflect amounts encumbered.

GL Number	Description	2025 Amended Budget	2026 Amended Budget	YTD Balance 03/31/2026 Norm (Abnorm)	Activity For 03/31/2026 Incr (Decr)	Available Balance 03/31/2026 Norm (Abnorm)	% Bdgt Used
<b>Fund: 151 CEMETERY TRUST FUND</b>							
<b>Account Category: Revenues</b>							
<b>Department: 000</b>							
151-000-600-636	CEMETERY-CARE FEE	5,000.00	5,000.00	40.00	0.00	4,960.00	0.80
151-000-665-000	INTEREST ON INVESTMENTS	5,000.00	5,000.00	348.93	0.00	4,651.07	6.98
151-000-699-101	TRANSFER FROM GENERAL FUND	1,750.00	1,750.00	0.00	0.00	1,750.00	0.00
Total Dept 000		11,750.00	11,750.00	388.93	0.00	11,361.07	3.31
Revenues		11,750.00	11,750.00	388.93	0.00	11,361.07	3.31
<b>Account Category: Expenditures</b>							
<b>Department: 276 CEMETERY</b>							
151-276-752-151	SUPPLIES	1,000.00	1,000.00	0.00	0.00	1,000.00	0.00
151-276-931-000	MAINT & REPAIR/IMPROVEMENTS	12,000.00	50,000.00	0.00	0.00	50,000.00	0.00
Total Dept 276 - CEMETERY		13,000.00	51,000.00	0.00	0.00	51,000.00	0.00
Expenditures		13,000.00	51,000.00	0.00	0.00	51,000.00	0.00
Fund 151 - CEMETERY TRUST FUND:							
TOTAL REVENUES		11,750.00	11,750.00	388.93	0.00	11,361.07	3.31
TOTAL EXPENDITURES		13,000.00	51,000.00	0.00	0.00	51,000.00	0.00
NET OF REVENUES & EXPENDITURES:		(1,250.00)	(39,250.00)	388.93	0.00	(39,638.93)	
BEG. FUND BALANCE		155,952.57	155,952.57	155,952.57			
NET OF REVENUES/EXPENDITURES - 2025			11,650.01	11,650.01			
END FUND BALANCE		154,702.57	128,352.58	167,991.51			

MONTHLY FINANCIAL STATEMENT FOR CASCADE CHARTER TOWNSHIP

Balance As of 03/31/2026

\*NOTE: Available Balance / Pct Budget does not reflect amounts encumbered.

GL Number	Description	2025 Amended Budget	2026 Amended Budget	YTD Balance 03/31/2026 Norm (Abnorm)	Activity For 03/31/2026 Incr (Decr)	Available Balance 03/31/2026 Norm (Abnorm)	% Bdgt Used
<b>Fund: 206 FIRE FUND</b>							
<b>Account Category: Revenues</b>							
<b>Department: 000</b>							
206-000-401-402	TAX LEVY	3,651,805.00	4,054,057.00	3,922,701.01	416,730.23	131,355.99	96.76
206-000-401-410	PERSONAL PROPERTY TAX	201,983.00	0.00	0.00	0.00	0.00	0.00
206-000-401-412	DELINQUENT TAXES-LEVY	5,200.00	5,200.00	0.00	0.00	5,200.00	0.00
206-000-401-437	ABATEMENT TAXES-LEVY	21,896.00	32,718.00	31,050.10	1,121.93	1,667.90	94.90
206-000-401-445	PENALTIES & INTEREST ON TAXES	700.00	700.00	812.61	812.61	(112.61)	116.09
206-000-528-000	OTHER FEDERAL GRANTS	64,000.00	64,000.00	0.00	0.00	64,000.00	0.00
206-000-569-000	STATE GRANT- OTHERS	0.00	0.00	4,864.56	4,864.56	(4,864.56)	100.00
206-000-573-000	COMMUNITY STABILIZATION SHARE TAX	49,268.00	49,268.00	0.00	0.00	49,268.00	0.00
206-000-665-000	INTEREST REVENUE	100,000.00	100,000.00	2,653.53	0.00	97,346.47	2.65
206-000-673-000	SALE OF ASSETS	263,600.00	0.00	1,645.00	0.00	(1,645.00)	100.00
206-000-675-675	MISCELLANEOUS INCOME	0.00	0.00	5.00	0.00	(5.00)	100.00
206-000-676-100	REIMBURSEMENTS/REFUNDS	0.00	0.00	850.00	0.00	(850.00)	100.00
206-000-679-400	REIMBURSEMENT FROM BUILDING DEPT. /F	20,000.00	30,000.00	0.00	0.00	30,000.00	0.00
206-000-699-000	TRANSFER IN	41,454.00	0.00	0.00	0.00	0.00	0.00
Total Dept 000		4,419,906.00	4,335,943.00	3,964,581.81	423,529.33	371,361.19	91.44
Revenues		4,419,906.00	4,335,943.00	3,964,581.81	423,529.33	371,361.19	91.44
<b>Account Category: Expenditures</b>							
<b>Department: 250 BENEFITS/INSURANCE</b>							
206-250-715-000	FICA-EMPLOYER	158,205.00	161,682.00	37,863.92	12,772.93	123,818.08	23.42
206-250-716-000	DEFINED CONTRIBUTION PLAN	175,130.00	174,224.00	44,281.51	14,943.05	129,942.49	25.42
206-250-717-000	WORKERS COMP INSURANCE	80,000.00	80,000.00	0.00	0.00	80,000.00	0.00
206-250-718-000	VISION INSURANCE BENEFITS	2,770.00	3,360.00	1,126.71	0.00	2,233.29	33.53
206-250-718-200	OTHER BENEFITS	0.00	35,000.00	35,280.00	0.00	(280.00)	100.80
206-250-719-000	HEALTH INSURANCE BENEFITS	311,234.00	418,187.00	91,064.52	(731.28)	327,122.48	21.78
206-250-720-000	LIFE & DISABILITY INSURANCE	21,239.00	25,027.00	5,088.93	0.00	19,938.07	20.33
206-250-720-100	FIRE CASUALTY INSURANCE	12,000.00	12,000.00	0.00	0.00	12,000.00	0.00
206-250-721-000	DENTAL INSURANCE BENEFITS	24,092.00	33,000.00	8,220.02	(390.67)	24,779.98	24.91
206-250-722-000	PENSION PLAN BENEFITS	190,992.00	232,948.00	38,370.43	52.37	194,577.57	16.47
Total Dept 250 - BENEFITS/INSURANCE		975,662.00	1,175,428.00	261,296.04	26,646.40	914,131.96	22.23
<b>Department: 336 FIRE DEPARTMENT</b>							
206-336-702-000	WAGES- FULL TIME	1,948,815.00	2,013,485.00	473,928.07	161,418.51	1,539,556.93	23.54
206-336-702-713	OVERTIME	0.00	0.00	2,138.38	1,051.22	(2,138.38)	100.00
206-336-704-000	WAGES- PART TIME	0.00	0.00	1,672.44	632.74	(1,672.44)	100.00
206-336-705-000	OVERTIME	100,000.00	100,000.00	16,804.59	4,849.32	83,195.41	16.80
206-336-707-000	WAGES - PER DIEM	108,000.00	100,000.00	22,684.12	6,553.57	77,315.88	22.68
206-336-723-000	FIRE MEMBERSHIP AND DUES	4,000.00	4,000.00	1,733.95	875.77	2,266.05	43.35
206-336-725-000	FIRE TUITION	7,000.00	7,000.00	0.00	0.00	7,000.00	0.00
206-336-726-000	FIRE TRAINING	34,225.00	37,000.00	6,913.56	2,035.76	30,086.44	18.69
206-336-726-500	FIRE TRAINING / FIRE INSPECTIONS	6,940.00	7,000.00	2,328.53	1,294.55	4,671.47	33.26
206-336-727-000	FIRE OFFICE SUPPLIES	8,410.00	8,890.00	1,097.98	629.23	7,792.02	12.35
206-336-738-000	FIRE MAINT SUPPLIES	3,000.00	3,000.00	654.02	375.39	2,345.98	21.80
206-336-745-000	FIRE FUELS	38,000.00	35,000.00	4,117.19	1,951.33	30,882.81	11.76
206-336-752-000	SUPPLIES	2,500.00	2,500.00	503.72	291.13	1,996.28	20.15
206-336-752-100	MEDICAL SUPPLIES	8,000.00	8,000.00	358.22	0.00	7,641.78	4.48
206-336-752-151	SUPPLIES	11,000.00	17,250.00	0.00	0.00	17,250.00	0.00
206-336-752-206	KITCHEN SUPPLIES	4,000.00	3,000.00	153.77	49.88	2,846.23	5.13

MONTHLY FINANCIAL STATEMENT FOR CASCADE CHARTER TOWNSHIP

Balance As of 03/31/2026

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GL Number	Description	2025 Amended Budget	2026 Amended Budget	YTD Balance 03/31/2026 Norm (Abnorm)	Activity For 03/31/2026 Incr (Decr)	Available Balance 03/31/2026 Norm (Abnorm)	% Bdgt Used
<b>Fund: 206 FIRE FUND</b>							
<b>Account Category: Expenditures</b>							
<b>Department: 336 FIRE DEPARTMENT</b>							
206-336-756-000	DEPARTMENT SUPPLIES	1,000.00	1,160.00	243.98	228.99	916.02	21.03
206-336-768-000	FIRE UNIFORMS	19,170.00	20,260.00	2,499.83	744.78	17,760.17	12.34
206-336-787-959	FIRE PROTECTIVE CLOTHING	95,000.00	85,000.00	1,123.95	1,123.95	83,876.05	1.32
206-336-790-000	FIRE PREVENTION - INVESTIGATION	2,725.00	3,050.00	25.00	0.00	3,025.00	0.82
206-336-791-000	TECH RESCUE	3,800.00	3,200.00	0.00	0.00	3,200.00	0.00
206-336-792-000	HEALTH-WELLNESS	3,800.00	2,000.00	0.00	0.00	2,000.00	0.00
206-336-802-000	CONTRACTUAL SERVICES	35,000.00	55,000.00	17,694.54	2,600.00	37,305.46	32.17
206-336-803-000	HIRING EXPENDITURES	2,000.00	1,000.00	0.00	0.00	1,000.00	0.00
206-336-804-000	RESPIRATORY PROGRAM	4,620.00	7,350.00	0.00	0.00	7,350.00	0.00
206-336-807-000	FIRE AUDIT FEES & SERVICES	3,000.00	0.00	0.00	0.00	0.00	0.00
206-336-810-000	LIABILITY INSURANCE	30,000.00	30,000.00	0.00	0.00	30,000.00	0.00
206-336-850-000	COMMUNICATIONS	18,000.00	18,000.00	2,493.68	914.26	15,506.32	13.85
206-336-863-000	VEHICLE MAINT	85,000.00	87,550.00	12,391.91	4,268.14	75,158.09	14.15
206-336-887-000	FIRE PUBLIC RELATIONS	3,500.00	5,200.00	0.00	0.00	5,200.00	0.00
206-336-901-000	FIRE PUBLICATIONS	1,700.00	1,800.00	0.00	0.00	1,800.00	0.00
206-336-928-000	UTILITIES	50,000.00	50,000.00	13,473.95	5,871.01	36,526.05	26.95
206-336-932-000	FIRE OFF EQUIP & COMPUTER REPA	13,000.00	4,000.00	0.00	0.00	4,000.00	0.00
206-336-936-000	FIRE STATION MAINT	32,500.00	32,500.00	8,406.49	1,840.59	24,093.51	25.87
206-336-936-002	FIRE STATION MAINT/BUTTRICK	20,000.00	20,000.00	1,850.73	1,051.91	18,149.27	9.25
206-336-937-000	FIRE RADIO MAINT	10,000.00	10,000.00	0.00	0.00	10,000.00	0.00
206-336-938-000	FIRE EQUIPMENT MAINT	9,000.00	9,500.00	0.00	0.00	9,500.00	0.00
206-336-939-000	FIRE COPIER/LEASE/SERVICE	1,500.00	1,200.00	297.00	99.00	903.00	24.75
206-336-941-000	FIRE POSTAGE & MACHINE LEASE	1,500.00	1,500.00	0.00	0.00	1,500.00	0.00
206-336-957-000	FIRE PHYSICAL EXAMS	35,000.00	35,000.00	0.00	0.00	35,000.00	0.00
206-336-958-000	FIRE SUPPLEMENTAL EQUIPMENT	10,800.00	11,120.00	2,163.11	407.31	8,956.89	19.45
206-336-960-960	FIRE HAZMAT	2,000.00	2,000.00	0.00	0.00	2,000.00	0.00
206-336-964-100	PROPERTY TAX REFUNDS	150.00	150.00	10.74	0.00	139.26	7.16
206-336-981-000	OFFICE EQUIPMENT	7,500.00	9,175.00	248.67	65.94	8,926.33	2.71
Total Dept 336 - FIRE DEPARTMENT		2,785,155.00	2,852,840.00	598,012.12	201,224.28	2,254,827.88	20.96
<b>Department: 901 CAPITAL OUTLAY</b>							
206-901-970-000	FIRE CAPITAL OUTLAY	1,030,000.00	172,000.00	0.00	0.00	172,000.00	0.00
206-901-975-000	CAPITAL OUTLAY - BLDGIMP	41,454.00	0.00	0.00	0.00	0.00	0.00
Total Dept 901 - CAPITAL OUTLAY		1,071,454.00	172,000.00	0.00	0.00	172,000.00	0.00
<b>Department: 966 TRANSFERS OUT</b>							
206-966-995-259	TRANSFER TO HAZMAT	2,000.00	2,000.00	0.00	0.00	2,000.00	0.00
Total Dept 966 - TRANSFERS OUT		2,000.00	2,000.00	0.00	0.00	2,000.00	0.00
Expenditures		4,834,271.00	4,202,268.00	859,308.16	227,870.68	3,342,959.84	20.45
<b>Fund 206 - FIRE FUND:</b>							
TOTAL REVENUES		4,419,906.00	4,335,943.00	3,964,581.81	423,529.33	371,361.19	91.44
TOTAL EXPENDITURES		4,834,271.00	4,202,268.00	859,308.16	227,870.68	3,342,959.84	20.45
NET OF REVENUES & EXPENDITURES:		(414,365.00)	133,675.00	3,105,273.65	195,658.65	(2,971,598.65)	
BEG. FUND BALANCE		682,396.29	682,396.29	682,396.29			
NET OF REVENUES/EXPENDITURES - 2025			(447,065.62)	(447,065.62)			
END FUND BALANCE		268,031.29	369,005.67	3,340,604.32			

MONTHLY FINANCIAL STATEMENT FOR CASCADE CHARTER TOWNSHIP

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<b>Fund: 207 POLICE FUND</b>							
<b>Account Category: Revenues</b>							
<b>Department: 000</b>							
207-000-401-402	TAX LEVY	881,173.00	977,902.00	946,219.95	100,512.13	31,682.05	96.76
207-000-401-410	PERSONAL PROPERTY TAX	48,733.00	0.00	0.00	0.00	0.00	0.00
207-000-401-412	DELINQUENT TAXES-LEVY	2,500.00	2,500.00	0.00	0.00	2,500.00	0.00
207-000-401-437	ABATEMENT TAXES-LEVY	7,641.00	7,641.00	7,489.20	270.60	151.80	98.01
207-000-401-445	INTEREST & PENALTIES ON TAX	400.00	400.00	195.94	195.94	204.06	48.99
207-000-569-000	STATE GRANT- OTHERS	0.00	0.00	1,173.72	1,173.72	(1,173.72)	100.00
207-000-573-000	COMMUNITY STABILIZATION SHARE TAX	16,533.00	16,533.00	0.00	0.00	16,533.00	0.00
207-000-665-000	INTEREST REVENUE	54,500.00	54,500.00	1,701.75	0.00	52,798.25	3.12
207-000-675-675	MISCELLANEOUS INCOME	5,000.00	5,000.00	0.00	0.00	5,000.00	0.00
Total Dept 000		1,016,480.00	1,064,476.00	956,780.56	102,152.39	107,695.44	89.88
Revenues		1,016,480.00	1,064,476.00	956,780.56	102,152.39	107,695.44	89.88
<b>Account Category: Expenditures</b>							
<b>Department: 301 POLICE DEPARTMENT</b>							
207-301-752-207	SUPPLIES	5,000.00	5,000.00	0.00	0.00	5,000.00	0.00
207-301-801-000	SHERIFF PROTECTION	880,000.00	880,000.00	138,306.64	138,306.64	741,693.36	15.72
207-301-960-000	COST ALLOCATION PLAN	31,000.00	46,000.00	0.00	0.00	46,000.00	0.00
207-301-964-100	PROPERTY TAX REFUNDS	100.00	100.00	58.10	0.00	41.90	58.10
207-301-970-000	CAPITAL OUTLAY	0.00	340,000.00	95,400.00	95,400.00	244,600.00	28.06
Total Dept 301 - POLICE DEPARTMENT		916,100.00	1,271,100.00	233,764.74	233,706.64	1,037,335.26	18.39
Expenditures		916,100.00	1,271,100.00	233,764.74	233,706.64	1,037,335.26	18.39
<b>Fund 207 - POLICE FUND:</b>							
TOTAL REVENUES		1,016,480.00	1,064,476.00	956,780.56	102,152.39	107,695.44	89.88
TOTAL EXPENDITURES		916,100.00	1,271,100.00	233,764.74	233,706.64	1,037,335.26	18.39
NET OF REVENUES & EXPENDITURES:		100,380.00	(206,624.00)	723,015.82	(131,554.25)	(929,639.82)	
BEG. FUND BALANCE		2,137,704.25	2,137,704.25	2,137,704.25			
NET OF REVENUES/EXPENDITURES - 2025			123,573.76	123,573.76			
END FUND BALANCE		2,238,084.25	2,054,654.01	2,984,293.83			

MONTHLY FINANCIAL STATEMENT FOR CASCADE CHARTER TOWNSHIP

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<b>Fund: 208 OPEN SPACE FUND</b>							
<b>Account Category: Revenues</b>							
<b>Department: 000</b>							
208-000-401-402	TAX LEVY	441,348.00	489,802.00	473,933.67	50,343.78	15,868.33	96.76
208-000-401-410	PERSONAL PROPERTY TAX	24,409.00	0.00	0.00	0.00	0.00	0.00
208-000-401-412	DELINQUENT TAXES-LEVY	1,200.00	1,200.00	0.00	0.00	1,200.00	0.00
208-000-401-437	ABATEMENT TAXES-LEVY	3,828.00	3,828.00	3,751.23	135.53	76.77	97.99
208-000-401-445	INTEREST & PENALTIES ON TAXES	200.00	200.00	98.16	98.16	101.84	49.08
208-000-569-000	STATE GRANT- OTHERS	0.00	0.00	587.90	587.90	(587.90)	100.00
208-000-573-000	LOCAL COMMUNITY STABILIZATION SHARE	24,528.00	23,000.00	0.00	0.00	23,000.00	0.00
208-000-665-000	INTEREST ON INVESTMENTS	34,000.00	28,000.00	2,015.22	0.00	25,984.78	7.20
208-000-665-408	INTEREST ON HOMEYER FUND	0.00	0.00	1,465.44	0.00	(1,465.44)	100.00
Total Dept 000		529,513.00	546,030.00	481,851.62	51,165.37	64,178.38	88.25
Revenues		529,513.00	546,030.00	481,851.62	51,165.37	64,178.38	88.25
<b>Account Category: Expenditures</b>							
<b>Department: 751 OPEN SPACE PRESERVATION</b>							
208-751-921-000	ELECTRICITY	4,000.00	4,000.00	553.78	278.24	3,446.22	13.84
208-751-923-000	HEATING/UTILITY	3,600.00	3,600.00	2,805.39	1,352.25	794.61	77.93
208-751-927-000	WATER-SEWER	1,500.00	1,500.00	242.28	242.28	1,257.72	16.15
208-751-935-000	PARK MAINTENANCE	25,000.00	25,000.00	0.00	0.00	25,000.00	0.00
208-751-960-000	COST ALLOCATION PLAN	65,000.00	45,000.00	0.00	0.00	45,000.00	0.00
208-751-964-100	TAX REFUNDS	50.00	50.00	7.02	0.00	42.98	14.04
Total Dept 751 - OPEN SPACE PRESERVATION		99,150.00	79,150.00	3,608.47	1,872.77	75,541.53	4.56
<b>Department: 901 CAPITAL OUTLAY</b>							
208-901-970-000	CAPITAL OUTLAY - FFE	150,000.00	150,000.00	0.00	0.00	150,000.00	0.00
Total Dept 901 - CAPITAL OUTLAY		150,000.00	150,000.00	0.00	0.00	150,000.00	0.00
<b>Department: 990 DEBT SERVICE</b>							
208-990-991-201	BOND PRINCIPAL REFINANCE	305,000.00	307,000.00	0.00	0.00	307,000.00	0.00
208-990-993-201	BOND INTEREST REFINANCE	21,253.00	16,000.00	0.00	0.00	16,000.00	0.00
Total Dept 990 - DEBT SERVICE		326,253.00	323,000.00	0.00	0.00	323,000.00	0.00
Expenditures		575,403.00	552,150.00	3,608.47	1,872.77	548,541.53	0.65
<b>Fund 208 - OPEN SPACE FUND:</b>							
TOTAL REVENUES		529,513.00	546,030.00	481,851.62	51,165.37	64,178.38	88.25
TOTAL EXPENDITURES		575,403.00	552,150.00	3,608.47	1,872.77	548,541.53	0.65
NET OF REVENUES & EXPENDITURES:		(45,890.00)	(6,120.00)	478,243.15	49,292.60	(484,363.15)	
BEG. FUND BALANCE		1,029,212.54	1,029,212.54	1,029,212.54			
NET OF REVENUES/EXPENDITURES - 2025			178,521.86	178,521.86			
END FUND BALANCE		983,322.54	1,201,614.40	1,685,977.55			

MONTHLY FINANCIAL STATEMENT FOR CASCADE CHARTER TOWNSHIP

Balance As of 03/31/2026

\*NOTE: Available Balance / Pct Budget does not reflect amounts encumbered.

GL Number	Description	2025 Amended Budget	2026 Amended Budget	YTD Balance 03/31/2026 Norm (Abnorm)	Activity For 03/31/2026 Incr (Decr)	Available Balance 03/31/2026 Norm (Abnorm)	% Bdgt Used
<b>Fund: 211 DAM MAJOR REPAIR FUND</b>							
<b>Account Category: Revenues</b>							
<b>Department: 000</b>							
211-000-665-000	INTEREST REVENUE	16,000.00	30,000.00	1,401.13	0.00	28,598.87	4.67
211-000-677-000	CONTRIBUTIONS	5,000.00	5,000.00	0.00	0.00	5,000.00	0.00
211-000-699-101	TRANSFER FROM GENERAL FUND	40,000.00	40,000.00	10,000.00	10,000.00	30,000.00	25.00
Total Dept 000		61,000.00	75,000.00	11,401.13	10,000.00	63,598.87	15.20
Revenues		61,000.00	75,000.00	11,401.13	10,000.00	63,598.87	15.20
<b>Account Category: Expenditures</b>							
<b>Department: 901 CAPITAL OUTLAY</b>							
211-901-980-000	EXPENSES/DAM MAJOR REPAIR	85,000.00	85,000.00	0.00	0.00	85,000.00	0.00
Total Dept 901 - CAPITAL OUTLAY		85,000.00	85,000.00	0.00	0.00	85,000.00	0.00
Expenditures		85,000.00	85,000.00	0.00	0.00	85,000.00	0.00
<b>Fund 211 - DAM MAJOR REPAIR FUND:</b>							
TOTAL REVENUES		61,000.00	75,000.00	11,401.13	10,000.00	63,598.87	15.20
TOTAL EXPENDITURES		85,000.00	85,000.00	0.00	0.00	85,000.00	0.00
NET OF REVENUES & EXPENDITURES:		(24,000.00)	(10,000.00)	11,401.13	10,000.00	(21,401.13)	
BEG. FUND BALANCE		754,871.51	754,871.51	754,871.51			
NET OF REVENUES/EXPENDITURES - 2025			67,031.05	67,031.05			
END FUND BALANCE		730,871.51	811,902.56	833,303.69			

MONTHLY FINANCIAL STATEMENT FOR CASCADE CHARTER TOWNSHIP

Balance As of 03/31/2026

\*NOTE: Available Balance / Pct Budget does not reflect amounts encumbered.

GL Number	Description	2025 Amended Budget	2026 Amended Budget	YTD Balance 03/31/2026 Norm (Abnorm)	Activity For 03/31/2026 Incr (Decr)	Available Balance 03/31/2026 Norm (Abnorm)	% Bdgt Used
<b>Fund: 216 PATHWAYS FUND</b>							
<b>Account Category: Revenues</b>							
<b>Department: 000</b>							
216-000-401-402	TAX LEVY	674,872.00	749,136.00	724,867.63	76,995.81	24,268.37	96.76
216-000-401-410	PERSONAL PROPERTY TAX	37,322.00	0.00	0.00	0.00	0.00	0.00
216-000-401-412	DELINQUENT TAX LEVY	1,800.00	1,800.00	0.00	0.00	1,800.00	0.00
216-000-401-437	ABATEMENT TAXES-LEVY	5,851.00	5,851.00	5,737.02	207.29	113.98	98.05
216-000-401-445	PENALTIES & INTEREST ON TAX	300.00	300.00	150.20	150.20	149.80	50.07
216-000-569-000	STATE GRANT- OTHERS	36,000.00	0.00	898.90	898.90	(898.90)	100.00
216-000-573-000	COMMUNITY STABILIZATION SHARE TAX	37,477.00	37,477.00	0.00	0.00	37,477.00	0.00
216-000-665-000	INTEREST REVENUE	30,000.00	50,000.00	7,723.70	0.00	42,276.30	15.45
Total Dept 000		823,622.00	844,564.00	739,377.45	78,252.20	105,186.55	87.55
Revenues		823,622.00	844,564.00	739,377.45	78,252.20	105,186.55	87.55
<b>Account Category: Expenditures</b>							
<b>Department: 758 PATHWAYS</b>							
216-758-728-000	OPERATING SUPPLIES	13,000.00	13,000.00	0.00	0.00	13,000.00	0.00
216-758-821-100	ENGINEERING	30,000.00	30,000.00	0.00	0.00	30,000.00	0.00
216-758-931-000	MAINT & REPAIR	50,000.00	50,000.00	0.00	0.00	50,000.00	0.00
216-758-931-200	PATHWAY MAINTENANCE	3,000.00	0.00	0.00	0.00	0.00	0.00
216-758-960-000	COST ALLOCATION PLAN	0.00	50,000.00	0.00	0.00	50,000.00	0.00
216-758-964-100	PROPERTY TAX REFUNDS	50.00	50.00	4.66	0.00	45.34	9.32
Total Dept 758 - PATHWAYS		96,050.00	143,050.00	4.66	0.00	143,045.34	0.00
<b>Department: 901 CAPITAL OUTLAY</b>							
216-901-974-000	CAPITAL OUTLAY - LANDIMP	36,000.00	950,000.00	1,860.00	1,860.00	948,140.00	0.20
Total Dept 901 - CAPITAL OUTLAY		36,000.00	950,000.00	1,860.00	1,860.00	948,140.00	0.20
Expenditures		132,050.00	1,093,050.00	1,864.66	1,860.00	1,091,185.34	0.17
<b>Fund 216 - PATHWAYS FUND:</b>							
TOTAL REVENUES		823,622.00	844,564.00	739,377.45	78,252.20	105,186.55	87.55
TOTAL EXPENDITURES		132,050.00	1,093,050.00	1,864.66	1,860.00	1,091,185.34	0.17
NET OF REVENUES & EXPENDITURES:		691,572.00	(248,486.00)	737,512.79	76,392.20	(985,998.79)	
BEG. FUND BALANCE		386,275.17	386,275.17	386,275.17			
NET OF REVENUES/EXPENDITURES - 2025			850,287.98	850,287.98			
END FUND BALANCE		1,077,847.17	988,077.15	1,974,075.94			

MONTHLY FINANCIAL STATEMENT FOR CASCADE CHARTER TOWNSHIP

Balance As of 03/31/2026

\*NOTE: Available Balance / Pct Budget does not reflect amounts encumbered.

GL Number	Description	2025 Amended Budget	2026 Amended Budget	YTD Balance 03/31/2026 Norm (Abnorm)	Activity For 03/31/2026 Incr (Decr)	Available Balance 03/31/2026 Norm (Abnorm)	% Bdgt Used
<b>Fund: 218 HAZMAT FUND</b>							
<b>Account Category: Revenues</b>							
<b>Department: 000</b>							
218-000-581-000	LOCAL CONTRIBUTIONS	4,000.00	4,000.00	0.00	0.00	4,000.00	0.00
218-000-665-000	HAZMAT INTEREST	350.00	350.00	104.31	0.00	245.69	29.80
218-000-699-000	TRANSFER IN	2,000.00	2,000.00	0.00	0.00	2,000.00	0.00
Total Dept 000		6,350.00	6,350.00	104.31	0.00	6,245.69	1.64
Revenues		6,350.00	6,350.00	104.31	0.00	6,245.69	1.64
<b>Account Category: Expenditures</b>							
<b>Department: 344 HAZMAT</b>							
218-344-726-000	HAZMAT SUPPLIES	2,000.00	2,000.00	0.00	0.00	2,000.00	0.00
218-344-752-000	SUPPLIES	750.00	750.00	0.00	0.00	750.00	0.00
218-344-789-000	HAZMAT TRAINING	2,000.00	2,000.00	0.00	0.00	2,000.00	0.00
218-344-958-000	HAZMAT EQUIPMENT	6,000.00	6,000.00	1,190.62	1,018.61	4,809.38	19.84
218-344-960-000	COST ALLOCATION PLAN	3,000.00	500.00	0.00	0.00	500.00	0.00
Total Dept 344 - HAZMAT		13,750.00	11,250.00	1,190.62	1,018.61	10,059.38	10.58
Expenditures		13,750.00	11,250.00	1,190.62	1,018.61	10,059.38	10.58
<b>Fund 218 - HAZMAT FUND:</b>							
TOTAL REVENUES		6,350.00	6,350.00	104.31	0.00	6,245.69	1.64
TOTAL EXPENDITURES		13,750.00	11,250.00	1,190.62	1,018.61	10,059.38	10.58
NET OF REVENUES & EXPENDITURES:		(7,400.00)	(4,900.00)	(1,086.31)	(1,018.61)	(3,813.69)	
BEG. FUND BALANCE		42,938.45	42,938.45	42,938.45			
NET OF REVENUES/EXPENDITURES - 2025			5,911.17	5,911.17			
END FUND BALANCE		35,538.45	43,949.62	47,763.31			

MONTHLY FINANCIAL STATEMENT FOR CASCADE CHARTER TOWNSHIP

Balance As of 03/31/2026

\*NOTE: Available Balance / Pct Budget does not reflect amounts encumbered.

GL Number	Description	2025 Amended Budget	2026 Amended Budget	YTD Balance 03/31/2026 Norm (Abnorm)	Activity For 03/31/2026 Incr (Decr)	Available Balance 03/31/2026 Norm (Abnorm)	% Bdgt Used
<b>Fund: 220 LARAWAY LAKE IMPROVEMENT FUND</b>							
<b>Account Category: Revenues</b>							
<b>Department: 000</b>							
220-000-452-013	S/A REVENUE - LARAWAY LAKE	11,575.00	11,575.00	0.00	0.00	11,575.00	0.00
220-000-665-000	INTEREST ON INVESTMENTS	750.00	750.00	49.12	0.00	700.88	6.55
Total Dept 000		12,325.00	12,325.00	49.12	0.00	12,275.88	0.40
Revenues		12,325.00	12,325.00	49.12	0.00	12,275.88	0.40
<b>Account Category: Expenditures</b>							
<b>Department: 444 S/A IMPROVEMENT FUNDS</b>							
220-444-816-000	INSECT&WEED CONTROL/DRAIN MAINT	11,825.00	14,000.00	0.00	0.00	14,000.00	0.00
220-444-960-000	COST ALLOCATION PLAN	500.00	500.00	0.00	0.00	500.00	0.00
Total Dept 444 - S/A IMPROVEMENT FUNDS		12,325.00	14,500.00	0.00	0.00	14,500.00	0.00
Expenditures		12,325.00	14,500.00	0.00	0.00	14,500.00	0.00
<b>Fund 220 - LARAWAY LAKE IMPROVEMENT FUND:</b>							
TOTAL REVENUES		12,325.00	12,325.00	49.12	0.00	12,275.88	0.40
TOTAL EXPENDITURES		12,325.00	14,500.00	0.00	0.00	14,500.00	0.00
NET OF REVENUES & EXPENDITURES:		0.00	(2,175.00)	49.12	0.00	(2,224.12)	
BEG. FUND BALANCE		13,811.36	13,811.36	13,811.36			
NET OF REVENUES/EXPENDITURES - 2025			7,261.24	7,261.24			
END FUND BALANCE		13,811.36	18,897.60	21,121.72			

MONTHLY FINANCIAL STATEMENT FOR CASCADE CHARTER TOWNSHIP

Balance As of 03/31/2026

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GL Number	Description	2025 Amended Budget	2026 Amended Budget	YTD Balance 03/31/2026 Norm (Abnorm)	Activity For 03/31/2026 Incr (Decr)	Available Balance 03/31/2026 Norm (Abnorm)	% Bdgt Used
<b>Fund: 230 THORNAPPLE RIVER IMPROVEMENT FUND</b>							
<b>Account Category: Revenues</b>							
<b>Department: 000</b>							
230-000-401-445	INTEREST & PENALTIES ON TAXES	0.00	0.00	15.00	15.00	(15.00)	100.00
230-000-452-014	S/A REVENUE- TRD - RIVER	90,900.00	90,900.00	0.00	0.00	90,900.00	0.00
230-000-665-000	INTEREST ON INVESTMENTS	7,000.00	12,000.00	781.09	0.00	11,218.91	6.51
Total Dept 000		97,900.00	102,900.00	796.09	15.00	102,103.91	0.77
Revenues		97,900.00	102,900.00	796.09	15.00	102,103.91	0.77
<b>Account Category: Expenditures</b>							
<b>Department: 444 S/A IMPROVEMENT FUNDS</b>							
230-444-802-000	CONTRACTUAL SERVICES	47,000.00	80,000.00	1,195.00	1,195.00	78,805.00	1.49
230-444-816-000	INSECT&WEED CONTROL/DRAIN MAINT	40,900.00	40,900.00	0.00	0.00	40,900.00	0.00
230-444-960-000	COST ALLOCATION PLAN	10,000.00	500.00	0.00	0.00	500.00	0.00
Total Dept 444 - S/A IMPROVEMENT FUNDS		97,900.00	121,400.00	1,195.00	1,195.00	120,205.00	0.98
Expenditures		97,900.00	121,400.00	1,195.00	1,195.00	120,205.00	0.98
<b>Fund 230 - THORNAPPLE RIVER IMPROVEMENT FUND:</b>							
TOTAL REVENUES		97,900.00	102,900.00	796.09	15.00	102,103.91	0.77
TOTAL EXPENDITURES		97,900.00	121,400.00	1,195.00	1,195.00	120,205.00	0.98
NET OF REVENUES & EXPENDITURES:		0.00	(18,500.00)	(398.91)	(1,180.00)	(18,101.09)	
BEG. FUND BALANCE		278,550.44	278,550.44	278,550.44			
NET OF REVENUES/EXPENDITURES - 2025			59,254.64	59,254.64			
END FUND BALANCE		278,550.44	319,305.08	337,406.17			

MONTHLY FINANCIAL STATEMENT FOR CASCADE CHARTER TOWNSHIP

Balance As of 03/31/2026

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GL Number	Description	2025 Amended Budget	2026 Amended Budget	YTD Balance 03/31/2026 Norm (Abnorm)	Activity For 03/31/2026 Incr (Decr)	Available Balance 03/31/2026 Norm (Abnorm)	% Bdgt Used
<b>Fund: 243 BROWNFIELD REDEVELOPMENT AUTHORITY FUND</b>							
<b>Account Category: Revenues</b>							
<b>Department: 000</b>							
243-000-401-401	TAXES - CASCADE TOWNSHIP	86,883.00	82,032.00	0.00	0.00	82,032.00	0.00
243-000-401-402	TAX - GRCC	0.00	0.00	7,856.94	7,856.94	(7,856.94)	100.00
243-000-401-403	TAXES-KENT COUNTY	0.00	0.00	21,002.21	21,002.21	(21,002.21)	100.00
243-000-401-406	KDL TAXES- KDL	0.00	0.00	2,139.43	2,139.43	(2,139.43)	100.00
243-000-665-000	INTEREST REVENUE	1,500.00	3,500.00	499.59	0.00	3,000.41	14.27
Total Dept 000		88,383.00	85,532.00	31,498.17	30,998.58	54,033.83	36.83
Revenues		88,383.00	85,532.00	31,498.17	30,998.58	54,033.83	36.83
<b>Account Category: Expenditures</b>							
<b>Department: 571 BDR- REMEDIATION</b>							
243-571-832-000	STATE EDUCATION TAX	15.00	7,000.00	0.00	0.00	7,000.00	0.00
Total Dept 571 - BDR- REMEDIATION		15.00	7,000.00	0.00	0.00	7,000.00	0.00
<b>Department: 966 TRANSFERS OUT</b>							
243-966-955-243	TRANSFER TO GF	3,117.00	0.00	0.00	0.00	0.00	0.00
Total Dept 966 - TRANSFERS OUT		3,117.00	0.00	0.00	0.00	0.00	0.00
<b>Department: 990 DEBT SERVICE</b>							
243-990-992-007	LOAN PRINCIPAL	0.00	30,620.00	0.00	0.00	30,620.00	0.00
Total Dept 990 - DEBT SERVICE		0.00	30,620.00	0.00	0.00	30,620.00	0.00
Expenditures		3,132.00	37,620.00	0.00	0.00	37,620.00	0.00
<b>Fund 243 - BROWNFIELD REDEVELOPMENT AUTHORITY FUND:</b>							
TOTAL REVENUES		88,383.00	85,532.00	31,498.17	30,998.58	54,033.83	36.83
TOTAL EXPENDITURES		3,132.00	37,620.00	0.00	0.00	37,620.00	0.00
NET OF REVENUES & EXPENDITURES:		85,251.00	47,912.00	31,498.17	30,998.58	16,413.83	
BEG. FUND BALANCE		146,061.87	146,061.87	146,061.87			
NET OF REVENUES/EXPENDITURES - 2025			71,280.65	71,280.65			
END FUND BALANCE		231,312.87	265,254.52	248,840.69			

MONTHLY FINANCIAL STATEMENT FOR CASCADE CHARTER TOWNSHIP

Balance As of 03/31/2026

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GL Number	Description	2025 Amended Budget	2026 Amended Budget	YTD Balance 03/31/2026 Norm (Abnorm)	Activity For 03/31/2026 Incr (Decr)	Available Balance 03/31/2026 Norm (Abnorm)	% Bdgt Used
<b>Fund: 246 IRF</b>							
<b>Account Category: Revenues</b>							
<b>Department: 000</b>							
246-000-452-010	S/A REVENUE - KRAFT WATER & 60TH	19,104.00	19,104.00	0.00	0.00	19,104.00	0.00
246-000-452-012	S/A REVENUE - TRD	12,000.00	12,000.00	0.00	0.00	12,000.00	0.00
246-000-630-000	HOOKUP FEES	200,000.00	200,000.00	1,756.00	1,756.00	198,244.00	0.88
246-000-665-000	INTEREST ON INVESTMENTS	120,000.00	120,000.00	4,229.05	0.00	115,770.95	3.52
246-000-669-000	INT & P S/A-ORDINANCE	6,300.00	6,300.00	0.00	0.00	6,300.00	0.00
Total Dept 000		357,404.00	357,404.00	5,985.05	1,756.00	351,418.95	1.67
Revenues		357,404.00	357,404.00	5,985.05	1,756.00	351,418.95	1.67
<b>Account Category: Expenditures</b>							
<b>Department: 225 ADMINISTRATIVE</b>							
246-225-821-000	ADMIN ENGINEERING COSTS	15,000.00	15,000.00	165.00	0.00	14,835.00	1.10
246-225-826-000	ADMIN LEGAL FEES	30,000.00	30,000.00	0.00	0.00	30,000.00	0.00
246-225-960-000	COST ALLOCATION PLAN	0.00	50,000.00	0.00	0.00	50,000.00	0.00
246-225-964-000	ADMIN 10%/HOOKUP TO GENERAL	20,000.00	20,000.00	0.00	0.00	20,000.00	0.00
246-225-967-100	WHOLE HOUSE FILTER PROJECT	80,000.00	60,000.00	0.00	0.00	60,000.00	0.00
246-225-970-000	CAPITAL OUTLAY	0.00	1,650,000.00	0.00	0.00	1,650,000.00	0.00
246-225-980-000	ADMIN MISCELLANEOUS EXPENSE	5,000.00	5,000.00	0.00	0.00	5,000.00	0.00
Total Dept 225 - ADMINISTRATIVE		150,000.00	1,830,000.00	165.00	0.00	1,829,835.00	0.01
<b>Department: 901 CAPITAL OUTLAY</b>							
246-901-974-000	CAPITAL OUTLAY - LANDIMP	1,500,000.00	0.00	37.50	0.00	(37.50)	100.00
Total Dept 901 - CAPITAL OUTLAY		1,500,000.00	0.00	37.50	0.00	(37.50)	100.00
<b>Department: 966 TRANSFERS OUT</b>							
246-966-995-101	TRANSFER TO GENERAL FUND	179,000.00	0.00	0.00	0.00	0.00	0.00
246-966-995-206	TRANSFER OUT TO FIRE	41,454.00	0.00	0.00	0.00	0.00	0.00
Total Dept 966 - TRANSFERS OUT		220,454.00	0.00	0.00	0.00	0.00	0.00
Expenditures		1,870,454.00	1,830,000.00	202.50	0.00	1,829,797.50	0.01
<b>Fund 246 - IRF:</b>							
TOTAL REVENUES		357,404.00	357,404.00	5,985.05	1,756.00	351,418.95	1.67
TOTAL EXPENDITURES		1,870,454.00	1,830,000.00	202.50	0.00	1,829,797.50	0.01
NET OF REVENUES & EXPENDITURES:		(1,513,050.00)	(1,472,596.00)	5,782.55	1,756.00	(1,478,378.55)	
BEG. FUND BALANCE		3,612,227.46	3,612,227.46	3,612,227.46			
NET OF REVENUES/EXPENDITURES - 2025			(948,388.37)	(948,388.37)			
END FUND BALANCE		2,099,177.46	1,191,243.09	2,669,621.64			

**MONTHLY FINANCIAL STATEMENT FOR CASCADE CHARTER TOWNSHIP**

Balance As of 03/31/2026

\*NOTE: Available Balance / Pct Budget does not reflect amounts encumbered.

GL Number	Description	2025 Amended Budget	2026 Amended Budget	YTD Balance 03/31/2026 Norm (Abnorm)	Activity For 03/31/2026 Incr (Decr)	Available Balance 03/31/2026 Norm (Abnorm)	% Bdgt Used
<b>Fund: 248 DDA</b>							
<b>Account Category: Revenues</b>							
<b>Department: 000</b>							
248-000-401-401	TAXES - CASCADE TOWNSHIP	500,696.00	523,112.00	523,077.27	0.00	34.73	99.99
248-000-401-402	TAXES - G.R.C.C.	199,563.00	220,831.00	(15.57)	0.00	220,846.57	(0.01)
248-000-401-403	TAXES-KENT COUNTY	680,949.00	774,471.00	243,345.77	0.00	531,125.23	31.42
248-000-401-406	KDL TAXES-DDA	140,115.00	144,652.00	142,432.71	0.00	2,219.29	98.47
248-000-665-000	INTEREST REVENUE	132,441.00	132,441.00	2,501.05	0.00	129,939.95	1.89
248-000-675-675	MISCELLANEOUS INCOME	7,000.00	7,000.00	0.00	0.00	7,000.00	0.00
248-000-677-300	DDA CONTRIB & DONATION- METRO CRUISE	4,000.00	4,000.00	0.00	0.00	4,000.00	0.00
248-000-696-000	BOND/LOAN PROCEEDS	0.00	15,000,000.00	0.00	0.00	15,000,000.00	0.00
<b>Total Dept 000</b>		<b>1,664,764.00</b>	<b>16,806,507.00</b>	<b>911,341.23</b>	<b>0.00</b>	<b>15,895,165.77</b>	<b>5.42</b>
Revenues		1,664,764.00	16,806,507.00	911,341.23	0.00	15,895,165.77	5.42
<b>Account Category: Expenditures</b>							
<b>Department: 190 DDA OPERATIONS/CONSTRUCTION</b>							
248-190-702-000	WAGES- FULL TIME	0.00	78,078.00	14,768.80	14,768.80	63,309.20	18.92
248-190-703-000	WAGES	88,000.00	0.00	2,953.76	(8,861.28)	(2,953.76)	100.00
248-190-723-000	DDA - MEMBERSHIP AND DUES	2,000.00	2,000.00	650.00	0.00	1,350.00	32.50
248-190-724-000	DDA - EDUCATION	2,000.00	2,000.00	0.00	0.00	2,000.00	0.00
248-190-801-000	CONTRACT SERVICES	175,000.00	175,000.00	0.00	0.00	175,000.00	0.00
248-190-821-000	ENGINEERING	75,000.00	75,000.00	0.00	0.00	75,000.00	0.00
248-190-826-265	LEGAL	2,500.00	2,500.00	0.00	0.00	2,500.00	0.00
248-190-861-100	TRANSPORTATION SERVICES	60,000.00	60,000.00	4,646.50	2,281.00	55,353.50	7.74
248-190-921-000	ELECTRICITY	26,000.00	26,000.00	4,280.82	1,706.37	21,719.18	16.46
248-190-922-000	STREETLIGHTS	30,000.00	30,000.00	0.00	0.00	30,000.00	0.00
248-190-924-100	CELL PHONES/DATA	900.00	900.00	49.65	0.00	850.35	5.52
248-190-927-000	WATER-SEWER	8,500.00	8,500.00	18.97	0.00	8,481.03	0.22
248-190-931-000	MAINT & REPAIR/IMPROVEMENTS	68,000.00	68,000.00	5,710.00	985.00	62,290.00	8.40
248-190-960-000	COST ALLOCATION PLAN	434,564.00	475,000.00	0.00	0.00	475,000.00	0.00
248-190-964-100	DDA PROPERTY TAX REFUNDS	25,000.00	25,000.00	0.00	0.00	25,000.00	0.00
248-190-967-000	SPECIAL PROJECTS-DDA LIGHTING/DECOR	15,000.00	15,000.00	797.43	0.00	14,202.57	5.32
248-190-967-001	SPECIAL PROJECTS-TACTICAL URBANISM	20,000.00	0.00	0.00	0.00	0.00	0.00
248-190-967-002	SPECIAL PROJECTS-FLOWERS/PLANTINGS	110,000.00	110,000.00	0.00	0.00	110,000.00	0.00
248-190-967-003	SPECIAL PROJECTS-PR/MARKETING/PROMOT	20,000.00	20,000.00	0.00	0.00	20,000.00	0.00
248-190-967-004	SPECIAL PROJECTS-SPECIAL EVENTS	15,000.00	35,000.00	0.00	0.00	35,000.00	0.00
248-190-967-006	SPECIAL PROJECTS - DEVELOPMENT GRANT	100,000.00	100,000.00	0.00	0.00	100,000.00	0.00
248-190-981-000	OFFICE EQUIPMENT	1,000.00	0.00	0.00	0.00	0.00	0.00
<b>Total Dept 190 - DDA OPERATIONS/CONSTRUCTION</b>		<b>1,278,464.00</b>	<b>1,307,978.00</b>	<b>33,875.93</b>	<b>10,879.89</b>	<b>1,274,102.07</b>	<b>2.59</b>
<b>Department: 250 BENEFITS/INSURANCE</b>							
248-250-715-000	FICA-EMPLOYER	12,000.00	5,973.00	1,353.93	451.31	4,619.07	22.67
248-250-716-000	DEFINED CONTRIBUTION PLAN	0.00	7,808.00	1,772.28	590.76	6,035.72	22.70
248-250-718-000	VISION INSURANCE BENEFITS	0.00	160.00	0.00	0.00	160.00	0.00
248-250-718-200	OTHER BENEFITS	0.00	0.00	1,600.00	0.00	(1,600.00)	100.00
248-250-719-000	HEALTH INSURANCE BENEFITS	0.00	21,660.00	0.00	0.00	21,660.00	0.00
248-250-720-000	LIFE & DISABILITY INSURANCE	0.00	1,043.00	0.00	0.00	1,043.00	0.00
248-250-721-000	DENTAL INSURANCE BENEFITS	0.00	1,500.00	(9.45)	(1.89)	1,509.45	(0.63)
<b>Total Dept 250 - BENEFITS/INSURANCE</b>		<b>12,000.00</b>	<b>38,144.00</b>	<b>4,716.76</b>	<b>1,040.18</b>	<b>33,427.24</b>	<b>12.37</b>
<b>Department: 901 CAPITAL OUTLAY</b>							

MONTHLY FINANCIAL STATEMENT FOR CASCADE CHARTER TOWNSHIP

Balance As of 03/31/2026

\*NOTE: Available Balance / Pct Budget does not reflect amounts encumbered.

GL Number	Description	2025 Amended Budget	2026 Amended Budget	YTD Balance 03/31/2026 Norm (Abnorm)	Activity For 03/31/2026 Incr (Decr)	Available Balance 03/31/2026 Norm (Abnorm)	% Bdgt Used
<b>Fund: 248 DDA</b>							
<b>Account Category: Expenditures</b>							
<b>Department: 901 CAPITAL OUTLAY</b>							
248-901-970-000	CAPITAL OUTLAY - FFE	230,000.00	0.00	0.00	0.00	0.00	0.00
248-901-971-000	LAND ACQUISITION	2,010,000.00	0.00	0.00	0.00	0.00	0.00
248-901-974-000	CAPITAL OUTLAY - LANDIMP	50,000.00	15,050,000.00	65,406.25	65,406.25	14,984,593.75	0.43
Total Dept 901 - CAPITAL OUTLAY		2,290,000.00	15,050,000.00	65,406.25	65,406.25	14,984,593.75	0.43
<b>Department: 990 DEBT SERVICE</b>							
248-990-992-007	LOAN PRINCIPAL	80,000.00	85,000.00	0.00	0.00	85,000.00	0.00
248-990-994-001	INTEREST AND FEES	14,300.00	11,700.00	5,850.00	5,850.00	5,850.00	50.00
Total Dept 990 - DEBT SERVICE		94,300.00	96,700.00	5,850.00	5,850.00	90,850.00	6.05
Expenditures		3,674,764.00	16,492,822.00	109,848.94	83,176.32	16,382,973.06	0.67
Fund 248 - DDA:							
TOTAL REVENUES		1,664,764.00	16,806,507.00	911,341.23	0.00	15,895,165.77	5.42
TOTAL EXPENDITURES		3,674,764.00	16,492,822.00	109,848.94	83,176.32	16,382,973.06	0.67
NET OF REVENUES & EXPENDITURES:		(2,010,000.00)	313,685.00	801,492.29	(83,176.32)	(487,807.29)	
BEG. FUND BALANCE		2,391,560.45	2,391,560.45	2,391,560.45			
NET OF REVENUES/EXPENDITURES - 2025			(1,423,345.61)	(1,423,345.61)			
END FUND BALANCE		381,560.45	1,281,899.84	1,769,707.13			

MONTHLY FINANCIAL STATEMENT FOR CASCADE CHARTER TOWNSHIP

Balance As of 03/31/2026

\*NOTE: Available Balance / Pct Budget does not reflect amounts encumbered.

GL Number	Description	2025 Amended Budget	2026 Amended Budget	YTD Balance 03/31/2026 Norm (Abnorm)	Activity For 03/31/2026 Incr (Decr)	Available Balance 03/31/2026 Norm (Abnorm)	% Bdgt Used
<b>Fund: 249 BUILDING FUND</b>							
<b>Account Category: Revenues</b>							
<b>Department: 000</b>							
249-000-607-100	BUILDING PERMITS	0.00	0.00	129,977.00	49,935.00	(129,977.00)	100.00
249-000-607-200	ELECTRICAL PERMITS	0.00	0.00	52,355.00	25,684.00	(52,355.00)	100.00
249-000-607-300	PLUMBING PERMITS	0.00	0.00	25,591.00	10,128.00	(25,591.00)	100.00
249-000-607-400	MECHANICAL PERMITS	0.00	0.00	45,194.00	13,557.75	(45,194.00)	100.00
249-000-607-484	CASCADE TWP BLDG RES PERMITS	320,000.00	320,000.00	34,352.00	16,304.00	285,648.00	10.74
249-000-607-485	CASCADE TWP ELECTRICAL PERMITS	90,000.00	90,000.00	11,208.00	6,632.00	78,792.00	12.45
249-000-607-486	CASCADE TWP MECHANICAL PERMITS	110,000.00	110,000.00	12,869.50	5,313.75	97,130.50	11.70
249-000-607-487	CASCADE TWP PLUMBING PERMITS	50,000.00	50,000.00	5,787.00	3,139.00	44,213.00	11.57
249-000-607-490	CASCADE TWP CONTRACTOR REG	9,000.00	9,000.00	2,145.00	750.00	6,855.00	23.83
249-000-607-500	LOWELL TWP BUILDING PERMITS	80,000.00	80,000.00	5,837.00	4,048.00	74,163.00	7.30
249-000-607-501	LOWELL TWP ELECTRICAL PERMITS	28,000.00	28,000.00	1,641.00	795.00	26,359.00	5.86
249-000-607-502	LOWELL TWP MECHANICAL PERMITS	23,000.00	23,000.00	3,125.00	1,030.00	19,875.00	13.59
249-000-607-503	LOWELL TWP PLUMBING PERMITS	20,000.00	20,000.00	1,165.00	1,015.00	18,835.00	5.83
249-000-607-510	VERGENNES TWP BUILDING PERMITS	70,000.00	80,000.00	7,982.00	3,175.00	72,018.00	9.98
249-000-607-511	VERGENNES TWP ELECTRICAL PERMITS	20,000.00	20,000.00	3,309.00	2,239.00	16,691.00	16.55
249-000-607-512	VERGENNES TWP MECHANICAL PERMITS	24,000.00	24,000.00	4,060.00	2,030.00	19,940.00	16.92
249-000-607-516	VERGENNES TWP PLUMBING PERMITS	16,000.00	16,000.00	2,145.00	1,343.00	13,855.00	13.41
249-000-607-520	ADA TWP BUILDING PERMITS	280,000.00	320,000.00	21,126.00	7,880.00	298,874.00	6.60
249-000-607-521	ADA TWP PLUMBING PERMITS	50,000.00	50,000.00	4,191.00	1,334.00	45,809.00	8.38
249-000-607-523	ADA TWP ELECTRICAL PERMITS	65,000.00	75,000.00	10,716.00	3,685.00	64,284.00	14.29
249-000-607-524	ADA TWP MECHANICAL PERMITS	65,000.00	75,000.00	13,405.00	4,595.00	61,595.00	17.87
249-000-607-531	GR TWP BUILDING PERMITS	200,000.00	200,000.00	23,973.00	9,334.00	176,027.00	11.99
249-000-607-532	GR TWP ELECTRICAL PERMITS	65,000.00	65,000.00	20,289.00	2,932.00	44,711.00	31.21
249-000-607-533	GR TWP MECHANICAL PERMITS	85,000.00	85,000.00	12,385.00	6,200.00	72,615.00	14.57
249-000-607-534	GR TWP PLUMBING PERMITS	50,000.00	50,000.00	5,130.00	1,665.00	44,870.00	10.26
249-000-607-536	EAST GR BUILDING PERMITS	150,000.00	250,000.00	26,179.00	18,043.00	223,821.00	10.47
249-000-607-537	EAST GR ELECTRICAL PERMITS	60,000.00	80,000.00	7,845.00	3,518.00	72,155.00	9.81
249-000-607-538	EAST GR MECHANICAL PERMITS	60,000.00	80,000.00	9,209.00	3,299.00	70,791.00	11.51
249-000-607-539	EAST GR PLUMBING PERMITS	35,000.00	55,000.00	6,517.00	2,232.00	48,483.00	11.85
249-000-607-541	EAST GR-RENTAL INSP	4,500.00	4,500.00	3,780.00	0.00	720.00	84.00
249-000-607-550	PLAINFIELD BUILDING PERMITS	310,000.00	310,000.00	45,413.00	21,258.00	264,587.00	14.65
249-000-607-551	PLAINFIELD - ELECTRICAL PERMITS	100,000.00	100,000.00	12,439.00	6,870.00	87,561.00	12.44
249-000-607-552	PLAINFIELD MECHANICAL PERMITS	130,000.00	130,000.00	17,608.50	9,338.50	112,391.50	13.55
249-000-607-553	PLAINFIELD - PLUMBING PERMITS	80,000.00	80,000.00	9,280.00	4,735.00	70,720.00	11.60
249-000-665-000	INTEREST REVENUE	150,000.00	150,000.00	20,222.46	0.00	129,777.54	13.48
249-000-675-675	MISCELLANEOUS INCOME	1,500.00	1,500.00	400.00	50.00	1,100.00	26.67
<b>Total Dept 000</b>		<b>2,801,000.00</b>	<b>3,031,000.00</b>	<b>618,850.46</b>	<b>254,087.00</b>	<b>2,412,149.54</b>	<b>20.42</b>
<b>Revenues</b>		<b>2,801,000.00</b>	<b>3,031,000.00</b>	<b>618,850.46</b>	<b>254,087.00</b>	<b>2,412,149.54</b>	<b>20.42</b>
<b>Account Category: Expenditures</b>							
<b>Department: 250 BENEFITS/INSURANCE</b>							
249-250-715-000	FICA-EMPLOYER	98,636.00	103,657.00	21,759.23	6,986.23	81,897.77	20.99
249-250-716-000	DEFINED CONTRIBUTION PLAN	121,282.00	132,720.00	28,263.21	9,024.70	104,456.79	21.30
249-250-717-000	WORKERS COMP INSURANCE	25,000.00	25,000.00	0.00	0.00	25,000.00	0.00
249-250-718-000	VISION INSURANCE BENEFITS	1,915.00	2,080.00	521.38	0.00	1,558.62	25.07
249-250-718-200	OTHER BENEFITS	0.00	25,000.00	23,600.00	0.00	1,400.00	94.40
249-250-719-000	HEALTH INSURANCE BENEFITS	302,065.00	281,584.00	56,557.82	(476.99)	225,026.18	20.09

MONTHLY FINANCIAL STATEMENT FOR CASCADE CHARTER TOWNSHIP

Balance As of 03/31/2026

\*NOTE: Available Balance / Pct Budget does not reflect amounts encumbered.

GL Number	Description	2025 Amended Budget	2026 Amended Budget	YTD Balance 03/31/2026 Norm (Abnorm)	Activity For 03/31/2026 Incr (Decr)	Available Balance 03/31/2026 Norm (Abnorm)	% Bdgt Used
<b>Fund: 249 BUILDING FUND</b>							
<b>Account Category: Expenditures</b>							
<b>Department: 250 BENEFITS/INSURANCE</b>							
249-250-720-000	LIFE & DISABILITY INSURANCE	15,484.00	13,556.00	2,424.70	0.00	11,131.30	17.89
249-250-721-000	DENTAL INSURANCE BENEFITS	33,740.00	19,500.00	4,779.09	(160.41)	14,720.91	24.51
249-250-722-000	PENSION PLAN BENEFITS	95,117.00	113,765.00	19,022.72	0.00	94,742.28	16.72
Total Dept 250 - BENEFITS/INSURANCE		693,239.00	716,862.00	156,928.15	15,373.53	559,933.85	21.89
<b>Department: 371 BUILDING DEPARTMENT</b>							
249-371-702-000	WAGES- FULL TIME	1,226,412.00	1,301,238.00	282,723.63	90,675.27	1,018,514.37	21.73
249-371-704-000	WAGES- PART TIME	62,954.00	53,761.00	13,739.88	4,328.00	40,021.12	25.56
249-371-723-000	MEMBERSHIPS AND DUES	6,000.00	6,000.00	990.00	0.00	5,010.00	16.50
249-371-724-000	EDUCATION	10,000.00	10,000.00	573.46	423.46	9,426.54	5.73
249-371-727-000	OFFICE SUPPLIES	10,000.00	10,000.00	406.98	0.00	9,593.02	4.07
249-371-752-101	KITCHEN SUPPLIES	700.00	700.00	336.41	74.01	363.59	48.06
249-371-757-000	BOOKS	7,500.00	7,500.00	0.00	0.00	7,500.00	0.00
249-371-787-101	CLEANING & PAPER SUPPLIES	800.00	800.00	0.00	0.00	800.00	0.00
249-371-787-200	CREDIT CARD FEES	42,000.00	42,000.00	3,056.01	3,056.01	38,943.99	7.28
249-371-807-000	AUDIT FEES & SERVICES	1,000.00	1,000.00	0.00	0.00	1,000.00	0.00
249-371-810-000	LIABILITY INSURANCE	45,000.00	35,000.00	0.00	0.00	35,000.00	0.00
249-371-860-000	MILEAGE	80,000.00	80,000.00	14,410.81	6,258.53	65,589.19	18.01
249-371-862-500	DEPT HEAD, SUPV EXPENSES	750.00	0.00	0.00	0.00	0.00	0.00
249-371-923-000	HEATING/UTILITY	9,000.00	11,000.00	3,157.44	1,217.46	7,842.56	28.70
249-371-924-000	PHONES	6,000.00	8,000.00	934.57	520.34	7,065.43	11.68
249-371-924-100	CELL PHONES/DATA	10,000.00	10,000.00	785.68	0.00	9,214.32	7.86
249-371-932-000	OFFICE EQUIP & COMPUTER REPAIR	12,000.00	0.00	0.00	0.00	0.00	0.00
249-371-939-000	SERVICE CONTRACTS	98,398.00	64,000.00	4,397.74	160.97	59,602.26	6.87
249-371-941-000	POSTAGE & MACHINE LEASE	1,000.00	1,000.00	0.00	0.00	1,000.00	0.00
249-371-957-000	BLDG PHYSICAL EXAMS	750.00	0.00	0.00	0.00	0.00	0.00
249-371-960-000	COST ALLOCATION PLAN	311,338.00	370,000.00	0.00	0.00	370,000.00	0.00
249-371-967-000	BLDG - SPECIAL PROJECTS-FURNITURE UP	15,000.00	15,000.00	0.00	0.00	15,000.00	0.00
249-371-967-200	SPECIAL PROJECTS - IT SERVICES	33,000.00	0.00	0.00	0.00	0.00	0.00
249-371-981-000	OFFICE EQUIPMENT	12,000.00	12,000.00	0.00	0.00	12,000.00	0.00
Total Dept 371 - BUILDING DEPARTMENT		2,001,602.00	2,038,999.00	325,512.61	106,714.05	1,713,486.39	15.96
<b>Department: 964 PAYMENTS TO OTHER TOWNSHIPS</b>							
249-964-964-100	PERMITS DUE TO LOWELL TWP	30,200.00	30,200.00	2,353.60	1,377.60	27,846.40	7.79
249-964-964-200	PERMITS DUE TO VERGENNES TWP	26,000.00	28,000.00	3,499.20	1,757.40	24,500.80	12.50
249-964-964-300	PERMITS DUE TO GR TWP	80,000.00	80,000.00	12,355.40	4,026.20	67,644.60	15.44
249-964-964-400	PERMITS DUE TO ADA TWP	92,000.00	104,000.00	9,887.60	3,498.80	94,112.40	9.51
249-964-964-500	PERMITS DUE TO EAST GR	61,000.00	93,000.00	9,950.00	5,418.40	83,050.00	10.70
249-964-964-600	PERMITS DUE PLAINFIELD	124,000.00	124,000.00	16,948.10	8,440.30	107,051.90	13.67
249-964-964-800	PERMITS DUE CASCADE TWP	125,000.00	125,000.00	12,843.30	6,277.75	112,156.70	10.27
Total Dept 964 - PAYMENTS TO OTHER TOWNSHIPS		538,200.00	584,200.00	67,837.20	30,796.45	516,362.80	11.61
<b>Department: 965 CONTINGENCIES</b>							
249-965-998-000	PERSONNEL CONTINGENCIES	100,000.00	0.00	0.00	0.00	0.00	0.00
Total Dept 965 - CONTINGENCIES		100,000.00	0.00	0.00	0.00	0.00	0.00
<b>Department: 966 TRANSFERS OUT</b>							
249-966-955-206	TRANSFER TO FIRE FUND FROM BLDG	20,000.00	30,000.00	0.00	0.00	30,000.00	0.00
Total Dept 966 - TRANSFERS OUT		20,000.00	30,000.00	0.00	0.00	30,000.00	0.00

MONTHLY FINANCIAL STATEMENT FOR CASCADE CHARTER TOWNSHIP

Balance As of 03/31/2026

\*NOTE: Available Balance / Pct Budget does not reflect amounts encumbered.

GL Number	Description	2025 Amended Budget	2026 Amended Budget	YTD Balance 03/31/2026 Norm (Abnorm)	Activity For 03/31/2026 Incr (Decr)	Available Balance 03/31/2026 Norm (Abnorm)	% Bdgt Used
<b>Fund: 249 BUILDING FUND</b>							
<b>Account Category: Expenditures</b>							
	Expenditures	3,353,041.00	3,370,061.00	550,277.96	152,884.03	2,819,783.04	16.33
Fund 249 - BUILDING FUND:							
	TOTAL REVENUES	2,801,000.00	3,031,000.00	618,850.46	254,087.00	2,412,149.54	20.42
	TOTAL EXPENDITURES	3,353,041.00	3,370,061.00	550,277.96	152,884.03	2,819,783.04	16.33
	NET OF REVENUES & EXPENDITURES:	(552,041.00)	(339,061.00)	68,572.50	101,202.97	(407,633.50)	
	BEG. FUND BALANCE	4,845,987.79	4,845,987.79	4,845,987.79			
	NET OF REVENUES/EXPENDITURES - 2025		(398,678.19)	(398,678.19)			
	END FUND BALANCE	4,293,946.79	4,108,248.60	4,515,882.10			

MONTHLY FINANCIAL STATEMENT FOR CASCADE CHARTER TOWNSHIP

Balance As of 03/31/2026

\*NOTE: Available Balance / Pct Budget does not reflect amounts encumbered.

GL Number	Description	2025 Amended Budget	2026 Amended Budget	YTD Balance 03/31/2026 Norm (Abnorm)	Activity For 03/31/2026 Incr (Decr)	Available Balance 03/31/2026 Norm (Abnorm)	% Bdgt Used
<b>Fund: 271 LIBRARY FUND</b>							
<b>Account Category: Revenues</b>							
<b>Department: 000</b>							
271-000-401-402	TAX LEVY	293,207.00	325,445.00	314,906.98	33,434.26	10,538.02	96.76
271-000-401-410	PERSONAL PROPERTY TAX	16,209.00	0.00	0.00	0.00	0.00	0.00
271-000-401-412	DELINQUENT TAX LEVY	700.00	0.00	0.00	0.00	0.00	0.00
271-000-401-437	ABATEMENT TAXES-LEVY	2,626.00	2,626.00	2,491.32	90.01	134.68	94.87
271-000-401-445	PENALTIES & INTEREST ON TAX	0.00	0.00	65.09	65.09	(65.09)	100.00
271-000-569-000	STATE GRANT- OTHERS	0.00	0.00	390.37	390.37	(390.37)	100.00
271-000-573-000	LOCAL COMMUNITY STABILIZATION SHARE	17,405.00	17,405.00	0.00	0.00	17,405.00	0.00
271-000-587-587	KENT DISTRICT LIBRARY PAYMENT	43,826.00	43,826.00	10,956.50	0.00	32,869.50	25.00
271-000-665-000	INTEREST REVENUE	53,000.00	53,000.00	1,193.08	0.00	51,806.92	2.25
271-000-674-100	FRIENDS OF THE LIBRARY DONATIONS	20,000.00	20,000.00	0.00	0.00	20,000.00	0.00
Total Dept 000		446,973.00	462,302.00	330,003.34	33,979.73	132,298.66	71.38
Revenues		446,973.00	462,302.00	330,003.34	33,979.73	132,298.66	71.38
<b>Account Category: Expenditures</b>							
<b>Department: 790 LIBRARY</b>							
271-790-802-200	JANITORIAL & MAINTENANCE	65,000.00	65,000.00	16,670.42	5,596.70	48,329.58	25.65
271-790-810-000	LIABILITY INSURANCE	45,000.00	45,000.00	0.00	0.00	45,000.00	0.00
271-790-921-000	LIBRARY ELECTRICITY	60,000.00	60,000.00	8,670.70	4,155.41	51,329.30	14.45
271-790-923-000	LIBRARY HEATING	12,000.00	12,000.00	5,224.92	2,288.66	6,775.08	43.54
271-790-924-000	LIBRARY PHONES	2,000.00	2,000.00	509.02	(29.94)	1,490.98	25.45
271-790-927-000	LIBRARY WATER-SEWER	8,000.00	8,000.00	1,199.28	0.00	6,800.72	14.99
271-790-931-000	LIBRARY MAINTENANCE	110,000.00	65,000.00	7,634.37	2,837.98	57,365.63	11.75
271-790-960-000	COST ALLOCATION PLAN	56,245.00	65,000.00	0.00	0.00	65,000.00	0.00
271-790-964-100	PROPERTY TAX REFUNDS	0.00	0.00	14.02	0.00	(14.02)	100.00
Total Dept 790 - LIBRARY		358,245.00	322,000.00	39,922.73	14,848.81	282,077.27	12.40
<b>Department: 901 CAPITAL OUTLAY</b>							
271-901-970-000	CAPITAL OUTLAY - FFE	2,412,000.00	0.00	80,036.00	0.00	(80,036.00)	100.00
Total Dept 901 - CAPITAL OUTLAY		2,412,000.00	0.00	80,036.00	0.00	(80,036.00)	100.00
Expenditures		2,770,245.00	322,000.00	119,958.73	14,848.81	202,041.27	37.25
<b>Fund 271 - LIBRARY FUND:</b>							
TOTAL REVENUES		446,973.00	462,302.00	330,003.34	33,979.73	132,298.66	71.38
TOTAL EXPENDITURES		2,770,245.00	322,000.00	119,958.73	14,848.81	202,041.27	37.25
NET OF REVENUES & EXPENDITURES:		(2,323,272.00)	140,302.00	210,044.61	19,130.92	(69,742.61)	
BEG. FUND BALANCE		2,431,867.92	2,431,867.92	2,431,867.92			
NET OF REVENUES/EXPENDITURES - 2025			(2,210,804.74)	(2,210,804.74)			
END FUND BALANCE		108,595.92	361,365.18	431,107.79			

MONTHLY FINANCIAL STATEMENT FOR CASCADE CHARTER TOWNSHIP

Balance As of 03/31/2026

\*NOTE: Available Balance / Pct Budget does not reflect amounts encumbered.

GL Number	Description	2025 Amended Budget	2026 Amended Budget	YTD Balance 03/31/2026 Norm (Abnorm)	Activity For 03/31/2026 Incr (Decr)	Available Balance 03/31/2026 Norm (Abnorm)	% Bdgt Used
<b>Fund: 280 GREENSPACE/FARMLAND PRESERVATION</b>							
<b>Account Category: Revenues</b>							
<b>Department: 000</b>							
280-000-699-101	TRANSFER FROM GENERAL FUND	0.00	100,000.00	0.00	0.00	100,000.00	0.00
Total Dept 000		0.00	100,000.00	0.00	0.00	100,000.00	0.00
Revenues		0.00	100,000.00	0.00	0.00	100,000.00	0.00
<b>Fund 280 - GREENSPACE/FARMLAND PRESERVATION:</b>							
TOTAL REVENUES		0.00	100,000.00	0.00	0.00	100,000.00	0.00
TOTAL EXPENDITURES		0.00	0.00	0.00	0.00	0.00	0.00
NET OF REVENUES & EXPENDITURES:		0.00	100,000.00	0.00	0.00	100,000.00	
BEG. FUND BALANCE		0.00	0.00	0.00			
NET OF REVENUES/EXPENDITURES - 2025			0.00	0.00			
END FUND BALANCE		0.00	100,000.00	0.00			

MONTHLY FINANCIAL STATEMENT FOR CASCADE CHARTER TOWNSHIP

Balance As of 03/31/2026

\*NOTE: Available Balance / Pct Budget does not reflect amounts encumbered.

GL Number	Description	2025 Amended Budget	2026 Amended Budget	YTD Balance 03/31/2026 Norm (Abnorm)	Activity For 03/31/2026 Incr (Decr)	Available Balance 03/31/2026 Norm (Abnorm)	% Bdgt Used
<b>Fund: 282 CARES ACT</b>							
<b>Account Category: Revenues</b>							
<b>Department: 000</b>							
282-000-528-007	ARPA	2,039,351.00	0.00	0.00	0.00	0.00	0.00
282-000-665-000	INTEREST ON INVESTMENTS	5,000.00	0.00	4,784.30	0.00	(4,784.30)	100.00
Total Dept 000		2,044,351.00	0.00	4,784.30	0.00	(4,784.30)	100.00
Revenues		2,044,351.00	0.00	4,784.30	0.00	(4,784.30)	100.00
<b>Account Category: Expenditures</b>							
<b>Department: 901 CAPITAL OUTLAY</b>							
282-901-974-000	CAPITAL OUTLAY	2,044,351.00	0.00	0.00	0.00	0.00	0.00
Total Dept 901 - CAPITAL OUTLAY		2,044,351.00	0.00	0.00	0.00	0.00	0.00
Expenditures		2,044,351.00	0.00	0.00	0.00	0.00	0.00
<b>Fund 282 - CARES ACT:</b>							
TOTAL REVENUES		2,044,351.00	0.00	4,784.30	0.00	(4,784.30)	100.00
TOTAL EXPENDITURES		2,044,351.00	0.00	0.00	0.00	0.00	0.00
NET OF REVENUES & EXPENDITURES:		0.00	0.00	4,784.30	0.00	(4,784.30)	
BEG. FUND BALANCE		215,566.84	215,566.84	215,566.84			
NET OF REVENUES/EXPENDITURES - 2025			101,062.89	101,062.89			
END FUND BALANCE		215,566.84	316,629.73	321,414.03			

MONTHLY FINANCIAL STATEMENT FOR CASCADE CHARTER TOWNSHIP

Balance As of 03/31/2026

\*NOTE: Available Balance / Pct Budget does not reflect amounts encumbered.

GL Number	Description	2025 Amended Budget	2026 Amended Budget	YTD Balance 03/31/2026 Norm (Abnorm)	Activity For 03/31/2026 Incr (Decr)	Available Balance 03/31/2026 Norm (Abnorm)	% Bdgt Used
<b>Fund: 284 OPIOID SETTLEMENT FUND</b>							
<b>Account Category: Revenues</b>							
<b>Department: 000</b>							
284-000-685-000	OPIOID SETTLEMENT REVENUE	4,000.00	4,000.00	0.00	0.00	4,000.00	0.00
Total Dept 000		4,000.00	4,000.00	0.00	0.00	4,000.00	0.00
Revenues		4,000.00	4,000.00	0.00	0.00	4,000.00	0.00
<b>Account Category: Expenditures</b>							
<b>Department: 631 SUBSTANCE ABUSE</b>							
284-631-801-000	CONTRACT SERVICES	4,000.00	4,000.00	0.00	0.00	4,000.00	0.00
Total Dept 631 - SUBSTANCE ABUSE		4,000.00	4,000.00	0.00	0.00	4,000.00	0.00
Expenditures		4,000.00	4,000.00	0.00	0.00	4,000.00	0.00
<b>Fund 284 - OPIOID SETTLEMENT FUND:</b>							
TOTAL REVENUES		4,000.00	4,000.00	0.00	0.00	4,000.00	0.00
TOTAL EXPENDITURES		4,000.00	4,000.00	0.00	0.00	4,000.00	0.00
NET OF REVENUES & EXPENDITURES:		0.00	0.00	0.00	0.00	0.00	
BEG. FUND BALANCE		20,591.15	20,591.15	20,591.15			
NET OF REVENUES/EXPENDITURES - 2025			4,464.57	4,464.57			
END FUND BALANCE		20,591.15	25,055.72	25,055.72			
<b>Report Totals:</b>							
TOTAL REVENUES - ALL FUNDS		21,614,647.00	35,489,753.00	11,061,197.23	1,289,259.11	24,428,555.77	31.17
TOTAL EXPENDITURES - ALL FUNDS		27,917,420.00	37,101,891.00	3,023,444.94	1,085,296.44	34,078,446.06	8.15
NET OF REVENUES & EXPENDITURES:		(6,302,773.00)	(1,612,138.00)	8,037,752.29	203,962.67	(9,649,890.29)	

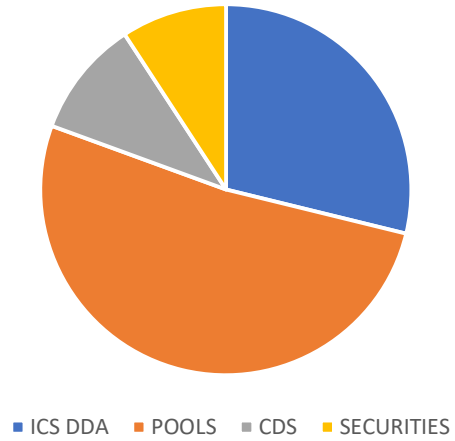
**CASCADE CHARTER TOWNSHIP  
QUARTERLY INVESTMENT REPORT  
PERIOD ENDING MARCH 31, 2026**

<u>DESCRIPTION</u>	<u>INSTITUTION</u>	<u>FUNDS</u>	<u>TOTAL</u>	<u>INTEREST</u>	<u>MATURITY</u>
<b>CHECKING/SAVING ACCOUNTS</b>					
	FLAGSTAR	MULTIPLE FUNDS	10,289,640.69	2.51%	
<b>GOVERNMENT INVESTMENT POOLS</b>					
		<b>MULTIPLE FUNDS</b>	<b>18,500,611.86</b>	<b>3.74%</b>	
	KENT COUNTY POOL		241,885.43	3.51%	
	MI CLASS		18,258,726.43	3.74%	
<b>BANK CDS</b>					
		<b>MULTIPLE FUNDS</b>	<b>3,645,216.93</b>	<b>4.07%</b>	<b>3-18 MONTHS</b>
	MSUFCU	POLICE (207)	582,446.18	4.21%	4/12/2026
	CIBC (CDARS)	IRF (246)	754,343.35	4.00%	6/5/2026
	MERCANTILE	DDA (248)	500,000.00	4.15%	9/10/2026
	GRAND RIVER (CDARS)	PATHWAYS (216)	261,297.51	4.15%	10/1/2026
	LMCU	DAM REPAIR (211)	250,000.00	4.30%	10/11/2026
	FNB MI	BUILDING (249)	250,000.00	3.90%	10/15/2026
	WMCU	POLICE (207)	250,000.00	3.65%	11/6/2026
	CONSUMERS CU	GENERAL (101)	297,129.89	4.15%	1/17/2027
	MACATAWA	GENERAL (101)	250,000.00	4.25%	1/20/2027
	ADVENTURE CU	GENERAL (101)	250,000.00	3.80%	3/26/2027
<b>SECURITIES</b>					
	<b>COMERICA FINANCIAL</b>	<b>MULTIPLE FUNDS</b>	<b>3,288,225.49</b>	<b>3.69%</b>	<b>0-36 MONTH</b>
	US TREASURY CASH RESERVES	IRF (246)	1,038,225.49	3.38%	
	FFCB	BUILDING (249)	1,000,000.00	3.55%	11/30/2026
	US TREAS NOTES	BUILDING (249)	1,000,000.00	4.02%	8/15/2027
	FNB MI CD	BUILDING (249)	250,000.00	4.25%	4/4/2028

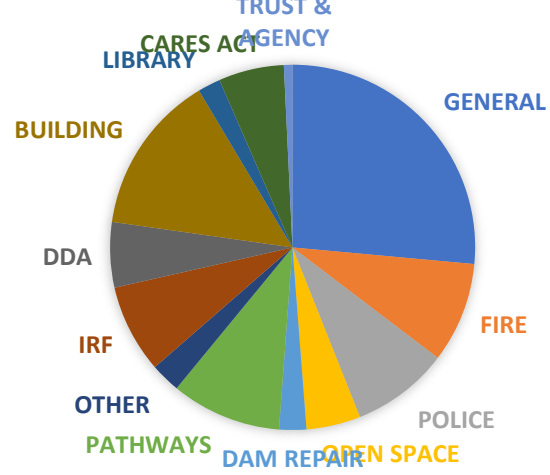
NOTE: TOTAL INTEREST IS WEIGHTED AVERAGE.

**CASCADE CHARTER TOWNSHIP  
 QUARTERLY INVESTMENT REPORT  
 PERIOD ENDING MARCH 31, 2026**

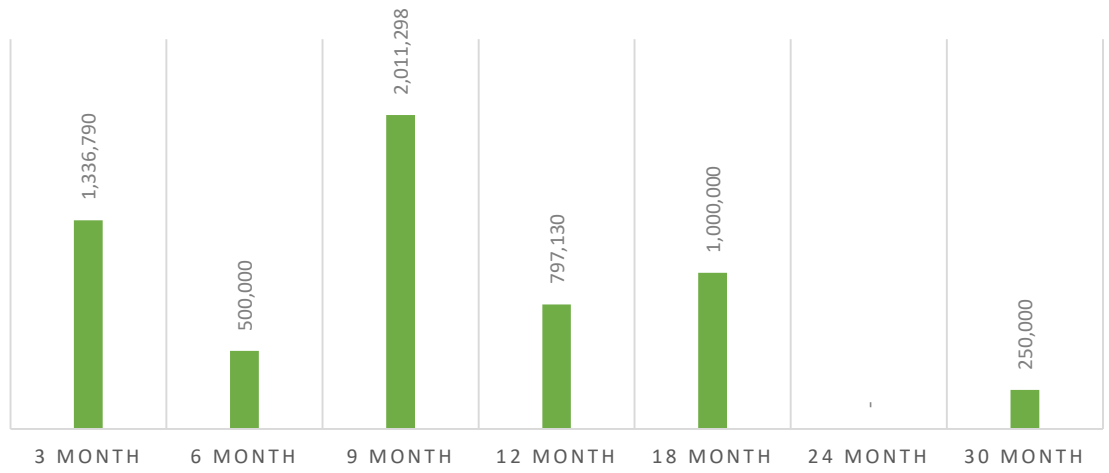
**INVESTMENTS BY TYPE**



**INVESTMENTS BY FUND**



**INVESTMENTS BY MATURITY**



\*THIS GRAPH DOES NOT INCLUDE \$ 29,828,478 IN LIQUID FUNDS.

INVOICE DISTRIBUTION REPORT FOR CASCADE CHARTER TOWNSHIP

POST DATES 03/26/2026 - 04/22/2026

POSTED  
PAID

GL Number	Invoice Line Desc	Vendor Name	Invoice Description	Invoice Number	Check Date	Amount	Check Number
<b>Fund: 101 GENERAL FUND</b>							
<b>Department: 000</b>							
101-000-123-000	PREPAID EXPENSE	MICHIGAN MUNICIPAL LEAG	MML FULL ASSOCIATE TOWNSHIP	0011588	03/27/2026	999.60	10922
101-000-123-000	PREPAID EXPENSE	BUSINESS SOLUTIONS, LLC	MICROSOFT LICENSING (PRE MO	67859	04/08/2026	1,628.37	80549
101-000-123-000	PREPAID EXPENSE	FISERV	CC ADMIN - PROFESSIONAL ENG	26030274613941	04/08/2026	56.70	80562
101-000-123-000	PREPAID EXPENSE - CLOUD HOSTING	BS&A SOFTWARE	BS&A CLOUD SOFTWARE/ APRIL	166280	04/08/2026	3,106.75	80548
101-000-123-000	PREPAID EXPENSE - ACCT PAYABLE CL	BS&A SOFTWARE	BS&A CLOUD SOFTWARE/ APRIL	166280	04/08/2026	982.00	80548
101-000-123-000	PREPAID EXPENSE - ASSESSING CLOUD	BS&A SOFTWARE	BS&A CLOUD SOFTWARE/ APRIL	166280	04/08/2026	1,178.50	80548
101-000-123-000	PREPAID EXPENSE - CASH RECEIPTING	BS&A SOFTWARE	BS&A CLOUD SOFTWARE/ APRIL	166280	04/08/2026	982.00	80548
101-000-123-000	PREPAID EXPENSE - DELQ PP -CLOUD	BS&A SOFTWARE	BS&A CLOUD SOFTWARE/ APRIL	166280	04/08/2026	340.25	80548
101-000-123-000	PREPAID EXPENSE - FIXED ASSETS -C	BS&A SOFTWARE	BS&A CLOUD SOFTWARE/ APRIL	166280	04/08/2026	982.00	80548
101-000-123-000	PREPAID EXPENSE - GEN LEDGER - CL	BS&A SOFTWARE	BS&A CLOUD SOFTWARE/ APRIL	166280	04/08/2026	1,155.50	80548
101-000-123-000	PREPAID EXPENSE - PURCHASE ORDER	BS&A SOFTWARE	BS&A CLOUD SOFTWARE/ APRIL	166280	04/08/2026	982.00	80548
101-000-123-000	PREPAID EXPENSE - PAYROLL CLOUD F	BS&A SOFTWARE	BS&A CLOUD SOFTWARE/ APRIL	166280	04/08/2026	1,588.00	80548
101-000-123-000	PREPAID EXPENSE SPEC. ASSESSMENT	BS&A SOFTWARE	BS&A CLOUD SOFTWARE/ APRIL	166280	04/08/2026	589.25	80548
101-000-123-000	PREPAID EXPENSE - TAX CLOUD FEE	BS&A SOFTWARE	BS&A CLOUD SOFTWARE/ APRIL	166280	04/08/2026	995.00	80548
101-000-123-000	PREPAID EXPENSE - TIMESHEETS CLOU	BS&A SOFTWARE	BS&A CLOUD SOFTWARE/ APRIL	166280	04/08/2026	704.75	80548
101-000-123-000	PREPAID EXPENSE	FIRST BANKARD	DUPLICATE PAYMENT IN DECEMB	DECEMBER ACH PYMT	04/08/2026	(2,389.70)	80562
101-000-123-000	PREPAID EXPENSE	FIRST BANKARD	DUPLICATE PAYMENT IN DECEMB	DECEMBER ACH PYMT	04/08/2026	(5,975.69)	80562
101-000-123-000	PREPAID EXPENSE	FIRST BANKARD	CC FNBO - OVERPAYMENT FROM	APRIL 2025	04/08/2026	(250.44)	80562
<b>Total Department 000</b>						<b>7,654.84</b>	
<b>Department: 101 TOWNSHIP BOARD</b>							
101-101-723-000	TOWNSHIP DUES	MICHIGAN MUNICIPAL LEAG	MML FULL ASSOCIATE TOWNSHIP	0011588	03/27/2026	4,998.40	10922
101-101-924-100	TRUSTEE CELL PHONES/IPADS/DATA	VERIZON WIRELESS	VERIZON CELL PHONES, IPAD/D	6137488472	04/08/2026	20.04	80589
101-101-924-100	TOWNSHIP BOARD CELL PHONES/DATA	VERIZON WIRELESS	VERIZON CELL PHONES, IPAD/D	6137488472	04/08/2026	96.63	80589
<b>Total Department 101 TOWNSHIP BOARD</b>						<b>5,115.07</b>	
<b>Department: 172 TOWNSHIP MANAGER</b>							
101-172-924-100	MANAGER CELL PHONES/DATA	VERIZON WIRELESS	VERIZON CELL PHONES, IPAD/D	6137488472	04/08/2026	47.60	80589
<b>Total Department 172 TOWNSHIP MANAGER</b>						<b>47.60</b>	
<b>Department: 201 FINANCE</b>							
101-201-924-100	CELL PHONES/DATA	VERIZON WIRELESS	VERIZON CELL PHONES, IPAD/D	6137488472	04/08/2026	47.70	80589
101-201-939-000	SERVICE CONTRACTS - ACCT. PAYABLE	BS&A SOFTWARE	BS&A CLOUD SOFTWARE/ APRIL	166280	04/08/2026	2,946.00	80548
101-201-939-000	SERVICE CONTRACTS - FIXED ASSETS	BS&A SOFTWARE	BS&A CLOUD SOFTWARE/ APRIL	166280	04/08/2026	2,946.00	80548
101-201-939-000	SERVICE CONTRACTS - GENERAL LEDGE	BS&A SOFTWARE	BS&A CLOUD SOFTWARE/ APRIL	166280	04/08/2026	3,466.50	80548
101-201-939-000	SERVICE CONTRACTS -PURCHASE ORDER	BS&A SOFTWARE	BS&A CLOUD SOFTWARE/ APRIL	166280	04/08/2026	2,946.00	80548
<b>Total Department 201 FINANCE</b>						<b>12,352.20</b>	
<b>Department: 215 CLERK</b>							
101-215-724-000	EDUCATION	MI ASSOC OF MUNICIPAL C	MAMC SUMMER CONFERENCE - MI	2026 MAMC CONFERENC	04/08/2026	575.00	80574
101-215-925-000	CLERK CELL PHONE/IPADS/DATA	VERIZON WIRELESS	VERIZON CELL PHONES, IPAD/D	6137488472	04/08/2026	10.02	80589
<b>Total Department 215 CLERK</b>						<b>585.02</b>	
<b>Department: 225 ADMINISTRATIVE</b>							
101-225-723-000	MEMBERSHIP AND DUES	SHRM	CC ADMIN - MEMBERSHIP	000252459	04/08/2026	299.00	80562
101-225-727-000	OFFICE SUPPLIES	STAPLES	OFFICE & KITCHEN SUPPLIES	6058262955	03/27/2026	75.98	10927
101-225-727-000	OFFICE SUPPLIES	CASCADE PRINTING & GRAP	BUSINESS CARDS - PAULA JAST	68950	03/26/2026	70.56	80507
101-225-727-000	OFFICE SUPPLIES	STAPLES	OFFICE SUPPLIES, KITCHEN SU	6059403028	04/09/2026	34.10	10969
101-225-727-000	OFFICE SUPPLIES	AMAZON.COM	CC ADMIN - KITCHEN & OFFICE	113-3542229-0492249	04/08/2026	11.99	80562
101-225-727-000	OFFICE SUPPLIES	AMAZON.COM	CC ADMIN - OFFICE & KITCHEN	113-0148195-6775471	04/08/2026	13.40	80562
101-225-727-000	OFFICE SUPPLIES	AMAZON.COM	CC ADMIN - OFFICE SUPPLY, E	113-3681610-9477811	04/08/2026	7.20	80562

INVOICE DISTRIBUTION REPORT FOR CASCADE CHARTER TOWNSHIP

POST DATES 03/26/2026 - 04/22/2026

POSTED  
PAID

GL Number	Invoice Line Desc	Vendor Name	Invoice Description	Invoice Number	Check Date	Amount	Check Number
<b>Fund: 101 GENERAL FUND</b>							
<b>Department: 225 ADMINISTRATIVE</b>							
101-225-727-000	OFFICE SUPPLIES	AMAZON.COM	CC ADMIN - OFFICE SUPPLIES	113-2832755-7709068	04/08/2026	40.42	80562
101-225-727-000	OFFICE SUPPLIES	SMART SOURCE LLC	CC ADMIN - 1099S	1863440	04/08/2026	449.12	80562
101-225-727-000	OFFICE SUPPLIES	STAPLES	COPY PAPER	6060294721	04/09/2026	37.99	10969
101-225-752-000	SUPPLIES	FIRST BANKARD	CC ADMIN - MARCH	MARCH	04/08/2026	64.48	80562
101-225-752-000	SUPPLIES	FIRST BANKARD	CC FNBO - DECEMBER 2025	DECEMBER 2025	04/08/2026	121.33	80562
101-225-752-000	SUPPLIES	FIRST BANKARD	CC FNBO - DECEMBER 2025	DECEMBER 2025	04/08/2026	0.00	80562
101-225-752-000	SUPPLIES	FIRST BANKARD	CC FNBO - NOVEMBER 2025	NOVEMBER 2025	04/08/2026	149.32	80562
101-225-752-000	SUPPLIES	FIRST BANKARD	CC FNBO - OCTOBER 2025	OCTOBER 2025	04/08/2026	102.61	80562
101-225-752-101	KITCHEN SUPPLIES	STAPLES	OFFICE & KITCHEN SUPPLIES	6058262955	03/27/2026	92.26	10927
101-225-752-101	KITCHEN SUPPLIES	STAPLES	OFFICE SUPPLIES, KITCHEN SU	6059403028	04/09/2026	21.84	10969
101-225-752-101	KITCHEN SUPPLIES	STAPLES	KITCHEN SUPPLIES	6059403029	04/09/2026	40.98	10969
101-225-752-101	KITCHEN SUPPLIES	AMAZON.COM	CC ADMIN - KITCHEN & OFFICE	113-3542229-0492249	04/08/2026	9.57	80562
101-225-752-101	KITCHEN SUPPLIES	AMAZON.COM	CC ADMIN - SUPPLIES FOR PAR	113-2772288-7273050	04/08/2026	87.66	80562
101-225-752-101	KITCHEN SUPPLIES	AMAZON.COM	CC ADMIN - OFFICE & KITCHEN	113-0148195-6775471	04/08/2026	35.88	80562
101-225-752-101	KITCHEN SUPPLIES	AMAZON.COM	CC ADMIN - KITCHEN SUPPLY	113-1347619-1846631	04/08/2026	19.40	80562
101-225-752-101	KITCHEN SUPPLIES	AMAZON.COM	CC ADMIN - KITCHEN SUPPLY R	113-1347619-1846631	04/08/2026	(19.40)	80562
101-225-752-101	KITCHEN SUPPLIES	AMAZON.COM	CC ADMIN - KITCHEN SUPPLIES	113-8308167-3377808	04/08/2026	50.93	80562
101-225-794-700	PLANTS/PLANT MAINTENANCE	AMAZON.COM	CC ADMIN - POTS	113-3639827-0280269	04/08/2026	47.98	80562
101-225-810-000	LIABILITY INSURANCE	DECKER AGENCY	ADD 6915 CASCADE ROAD TO 20	6168	03/26/2026	1,998.00	80512
101-225-815-000	COMPUTER COSTS-ISP	ADOBE INC	CC ADMIN - ADOBE	ADOBE	04/08/2026	343.52	80562
101-225-815-000	COMPUTER COSTS-ISP	CCSI EFAX	CC ADMIN - CCSI	CCSI	04/08/2026	18.99	80562
101-225-815-050	COMPUTER SOFTWARE/CAMERA MONITOR/Z	ZOOM VIDEO COMMUNICATIO	CC ADMIN - SERVICES 3/23 -	INV347011575	04/08/2026	307.90	80562
101-225-815-100	COMPUTER COSTS-WEB SITE	MUNIWEB -INGSTRON	WEBSITE HOSTING/ PROGRAMMIN	1390	03/26/2026	248.00	80529
101-225-815-100	40% WEB MIGRATION P1	MUNIWEB -INGSTRON	WEBSITE MIGRATION PHASE -1	1306	03/26/2026	5,050.00	80529
101-225-880-000	COMMUNITY PROMOTION	AMAZON.COM	CC ADMIN - EASTER EGGS	113-5713705-0833010	04/08/2026	53.07	80562
101-225-880-000	COMMUNITY PROMOTION	AMAZON.COM	CC ADMIN - SUPPLIES FOR PAR	113-2772288-7273050	04/08/2026	368.31	80562
101-225-880-000	COMMUNITY PROMOTION	AMAZON.COM	CC ADMIN - EASTER DECORATIO	113-3884997-1447431	04/08/2026	79.99	80562
101-225-880-000	COMMUNITY PROMOTION	AMAZON.COM	CC ADMIN - OFFICE SUPPLY, E	113-3681610-9477811	04/08/2026	39.97	80562
101-225-900-000	PRINTING/PUBLISHING	MLIVE MEDIA GROUP	TEARSHEET/AFFIDAVITS - FEBR	3853183	03/26/2026	312.00	80528
101-225-900-000	PRINTING/PUBLISHING	MICHIGAN ASSOCIATION OF	EMPLOYMENT ADVERTISEMENTS:	45698	03/26/2026	150.00	80527
101-225-900-000	PRINTING/PUBLISHING	YOURMEMBERSHIP.COM	CC ADMIN - JOB AD FOR PLANN	R77029232	04/08/2026	199.00	80562
101-225-900-000	PRINTING/PUBLISHING	MLIVE MEDIA GROUP	PROFESSIONAL ADS / AFFIDAVI	3912569	04/08/2026	361.40	80579
101-225-900-000	PRINTING/PUBLISHING	MLIVE MEDIA GROUP	PROFESSIONAL ADS / AFFIDAVI	3912569	04/08/2026	457.20	80579
101-225-924-100	ENGINEER CELL PHONES/ IPADS/DATA	VERIZON WIRELESS	VERIZON CELL PHONES, IPAD/D	6137488472	04/08/2026	37.58	80589
101-225-924-100	CELL PHONES/DATA- ARLO CAMERAS 1-	VERIZON WIRELESS	VERIZON CELL PHONES, IPAD/D	6137488472	04/08/2026	163.24	80589
101-225-939-000	SERVICE CONTRACTS	KONICA MINOLTA BUSINESS	C308 COPIER/ PRINTER	506954588	03/27/2026	79.44	10921
101-225-939-000	SERVICE CONTRACTS	KONICA MINOLTA BUSINESS	C308 COPIER /PRINTER	506954937	03/27/2026	63.77	10921
101-225-939-000	SERVICE CONTRACTS	KONICA MINOLTA BUSINESS	C558 COPIER / PRINTER COPY	506954936	03/27/2026	233.82	10921
101-225-967-000	SPECIAL PROJECTS - COMMUNCATIONS/	G.O.A.T. TECH, LLC	CC ADMIN - GOAT TECH	MARCH	04/08/2026	16.63	80562
101-225-967-000	SPECIAL PROJECTS - COMMUNCATIONS/	MAILCHIMP	CC ADMIN - STANDARD PLAN	MC23453441	04/08/2026	100.00	80562
101-225-981-000	OFFICE EQUIPMENT	AMAZON.COM	CC ADMIN - STANDING DESK	113-0709396-6159422	04/08/2026	199.99	80562
<b>Total Department 225 ADMINISTRATIVE</b>						<b>12,746.42</b>	
<b>Department: 228 INFORMATION TECHNOLOGY</b>							
101-228-939-000	ANNUAL IT SERVICES	BUSINESS SOLUTIONS, LLC	IT SERVICES ANNUAL CONTRACT	67773	03/26/2026	787.50	80506
101-228-939-000	ANNUAL IT SERVICES	BUSINESS SOLUTIONS, LLC	IT SERVICES ANNUAL CONTRACT	67907	04/08/2026	1,202.50	80549
101-228-939-000	ANNUAL IT SERVICES	BUSINESS SOLUTIONS, LLC	IT SERVICES ANNUAL CONTRACT	68101	04/08/2026	4,644.00	80549
101-228-939-000	ANNUAL IT SERVICES	BUSINESS SOLUTIONS, LLC	IT SERVICES ANNUAL CONTRACT	68241	04/08/2026	72.50	80549
101-228-958-000	365 APPS	BUSINESS SOLUTIONS, LLC	MICROSOFT LICENSING (PRE MO	67859	04/08/2026	7,948.80	80549
101-228-958-000	EXCHANGE PLANS	BUSINESS SOLUTIONS, LLC	MICROSOFT LICENSING (PRE MO	67859	04/08/2026	4,636.80	80549

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GL Number	Invoice Line Desc	Vendor Name	Invoice Description	Invoice Number	Check Date	Amount	Check Number
<b>Fund: 101 GENERAL FUND</b>							
<b>Department: 228 INFORMATION TECHNOLOGY</b>							
101-228-958-000	DEFENDER SECURITY	BUSINESS SOLUTIONS, LLC	MICROSOFT LICENSING (PRE MO	67859	04/08/2026	4,065.14	80549
101-228-958-000	G3 ANNUAL	BUSINESS SOLUTIONS, LLC	MICROSOFT LICENSING (PRE MO	67859	04/08/2026	1,589.76	80549
101-228-958-000	PWER BI ADD ON	BUSINESS SOLUTIONS, LLC	MICROSOFT LICENSING (PRE MO	67859	04/08/2026	485.76	80549
101-228-958-000	SOFTWARE/SUPPORT - CLOUD HOSTING	BS&A SOFTWARE	BS&A CLOUD SOFTWARE/ APRIL	166280	04/08/2026	9,320.25	80548
101-228-967-200	FIXED FEE FOR SERVICES	BUSINESS SOLUTIONS, LLC	IT MODERNIZATION PROJECT	67779	03/26/2026	1,202.50	80506
101-228-967-200	FIXED FEE FOR SERVICES	BUSINESS SOLUTIONS, LLC	IT MODERNIZATION PROJECT	67782	03/26/2026	19,332.50	80506
101-228-981-000	OFFICE EQUIPMENT	DELL MARKETING LP	CUST# 5191638 / DELL PRO 16	10869367891	04/08/2026	3,475.12	80556
<b>Total Department 228 INFORMATION TECHNOLOGY</b>						<b>58,763.13</b>	
<b>Department: 250 BENEFITS/INSURANCE</b>							
101-250-718-000	VISION INSURANCE BENEFITS	NATIONAL VISION ADMINIS	VISION INSURANCE - APRIL 20	4477672	04/09/2026	198.09	10963
101-250-719-000	HEALTH INSURANCE BENEFITS	WEST MICHIGAN HEALTH IN	HEALTH & DENTAL INSURANCE F	HEALTH & DENTAL	04/09/2026	24,679.84	10973
101-250-721-000	DENTAL INSURANCE BENEFITS	WEST MICHIGAN HEALTH IN	HEALTH & DENTAL INSURANCE F	HEALTH & DENTAL	04/09/2026	1,823.92	10973
<b>Total Department 250 BENEFITS/INSURANCE</b>						<b>26,701.85</b>	
<b>Department: 253 TREASURER</b>							
101-253-724-000	EDUCATION	BRUNO IVOS	REIMBURSE TUITION: MBA 705	REIMBURSEMENT	03/27/2026	1,452.00	10916
101-253-860-000	MILEAGE	BRUNO IVOS	REIMBURSE 32 MILES - B. IVO	REIMBURSEMENT	04/09/2026	23.20	10935
101-253-860-000	TREASURER MILEAGE	SOURINE, OXANA	REIMBURSE 124 MILES - OXANA	MILEAGE - JAN- MARC	04/08/2026	89.90	80585
101-253-924-100	TREASURER'S CELL PHONES/IPADS/DAT	VERIZON WIRELESS	VERIZON CELL PHONES, IPAD/D	6137488472	04/08/2026	58.89	80589
101-253-939-000	SERVICE CONTRACTS -CASH RECEIPTIN	BS&A SOFTWARE	BS&A CLOUD SOFTWARE/ APRIL	166280	04/08/2026	2,946.00	80548
101-253-939-000	SERVICE CONTRACTS - DELQ PP	BS&A SOFTWARE	BS&A CLOUD SOFTWARE/ APRIL	166280	04/08/2026	1,020.75	80548
101-253-939-000	SERVICE CONTRACTS - SPEC ASSESS-	BS&A SOFTWARE	BS&A CLOUD SOFTWARE/ APRIL	166280	04/08/2026	1,767.75	80548
101-253-939-000	SERVICE CONTRACTS - TAX CLOUD	BS&A SOFTWARE	BS&A CLOUD SOFTWARE/ APRIL	166280	04/08/2026	2,985.00	80548
<b>Total Department 253 TREASURER</b>						<b>10,343.49</b>	
<b>Department: 257 ASSESSING</b>							
101-257-727-000	ASSESSING PUBLICATION/SUPPLIES	CASCADE PRINTING & GRAP	500 BUSINESS CARDS, ASHLEIG	69138	04/08/2026	110.70	80553
101-257-808-000	BOARD OF REVIEW EXPENSES	CASCADE ROADHOUSE	CC ADMIN - BOR MEAL	499766	04/08/2026	112.52	80562
101-257-808-000	BOARD OF REVIEW EXPENSES	EURO BISTRO	CC ADMIN - BOR MEAL	33410G	04/08/2026	258.20	80562
101-257-826-000	LEGAL FEES	FOSTER, SWIFT, COLLINS	MATTER: 87192-00040/ GRAND	937301	04/08/2026	562.17	80563
101-257-826-000	LEGAL FEES	FOSTER, SWIFT, COLLINS	MATTER: 87192-00040/ GRAND H	934019 PREVIOUS BAL	04/08/2026	374.85	80563
101-257-826-000	LEGAL FEES	FOSTER, SWIFT, COLLINS	MATTER: 87192-00018 / TOWN	937302	04/08/2026	7,923.92	80563
101-257-826-000	LEGAL FEES	FOSTER, SWIFT, COLLINS	MATTER 87192-00018 / TOWN C	935188 PREVIOUS BAL	04/08/2026	2,355.76	80563
101-257-900-000	ASSESSING PRINTING AND PUBLISHING	MLIVE MEDIA GROUP	PROFESSIONAL ADS / AFFIDAVI	3912569	04/08/2026	572.00	80579
101-257-924-100	ASSESSING CELL PHONES/ IPDADS /DA	VERIZON WIRELESS	VERIZON CELL PHONES, IPAD/D	6137488472	04/08/2026	20.04	80589
101-257-939-000	ASSESSING SERVICE CONTRACTS - CLO	BS&A SOFTWARE	BS&A CLOUD SOFTWARE/ APRIL	166280	04/08/2026	3,535.50	80548
<b>Total Department 257 ASSESSING</b>						<b>15,825.66</b>	
<b>Department: 262 ELECTIONS</b>							
101-262-756-000	ELECTION SUPPLIES	CASCADE ROADHOUSE	CC SLATER - ELECTION TRAINI	23435C	04/08/2026	57.82	80562
101-262-939-000	SERVICE CONTRACTS - ELECTION MONI	VERIZON WIRELESS	VERIZON CELL PHONES, IPAD/D	6137488472	04/08/2026	115.64	80589
<b>Total Department 262 ELECTIONS</b>						<b>173.46</b>	
<b>Department: 265 BUILDING AND GROUNDS</b>							
101-265-702-250	BLDG & GROUNDS EXPENSE ACCOUNT	JT PIZZA	CC ZWICK: PIZZA FOR END OF	250917-06-17	04/08/2026	94.34	80562
101-265-724-000	CC MCCARTY - PESTICIDE EXAM- TANY	METRO INSTITUTE	CC ZWICK: PESTICIDE TEST -	532490	04/08/2026	55.00	80562
101-265-768-000	BLDG & GROUNDS UNIFORMS	KINGSLAND'S ACE HARDWA	GLASSES & GLOVES	224986	03/27/2026	49.48	10920
101-265-768-000	BLDG & GROUNDS UNIFORMS	KINGSLAND'S ACE HARDWA	WORKS PANTS	224992	03/27/2026	719.86	10920
101-265-768-000	BLDG & GROUNDS UNIFORMS	FULLY PROMOTED GRAND RA	UNIFORMS	260172	03/26/2026	867.33	80518
101-265-802-200	JANITORIAL & MAINTENANCE	STAPLES	CLEANING SUPPLIES	6058340573	03/27/2026	2,475.89	10927

**INVOICE DISTRIBUTION REPORT FOR CASCADE CHARTER TOWNSHIP**

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PAID

GL Number	Invoice Line Desc	Vendor Name	Invoice Description	Invoice Number	Check Date	Amount	Check Number
<b>Fund: 101 GENERAL FUND</b>							
<b>Department: 265 BUILDING AND GROUNDS</b>							
101-265-863-000	VEHICLE MAINT	KINGSLAND'S ACE	HARDWA EQUIPMENT MAINTENANCE	224844	03/27/2026	178.49	10920
101-265-863-000	VEHICLE MAINT	KINGSLAND'S ACE	HARDWA EQUIPMENT MAINTENANCE	224909	03/27/2026	113.32	10920
101-265-863-000	VEHICLE MAINT	KINGSLAND'S ACE	HARDWA SMALL ENGINE PARTS	224956	03/27/2026	313.15	10920
101-265-863-000	VEHICLE MAINT	KINGSLAND'S ACE	HARDWA SUPPLIES FOR CHAINSAW	224973	03/27/2026	63.37	10920
101-265-863-000	VEHICLE MAINT	CARLETON EQUIPMENT	VEHICLE MAINTENANCE	02-760876	04/08/2026	766.48	80550
101-265-863-000	VEHICLE MAINT	CARLETON EQUIPMENT	VEHICLE MAINTENANCE	02-761336	04/08/2026	309.44	80550
101-265-863-000	VEHICLE MAINT	CARLETON EQUIPMENT	VEHICLE MAINTENANCE	02-761786	04/08/2026	504.26	80550
101-265-863-000	VEHICLE MAINT	CARLETON EQUIPMENT	VEHICLE MAINTENANCE	02-759650	04/08/2026	1,440.77	80550
101-265-863-000	VEHICLE MAINT	DISCOUNT DOOR CO, LLC.	CABLE	94934	04/08/2026	130.00	80558
101-265-863-000	VEHICLE MAINT	FOX FORD MAZDA	VEHICLE MAINTENANCE	1652079071G	04/08/2026	471.56	80564
101-265-863-000	VEHICLE MAINT	NAPA AUTO PARTS	VEHICLE SUPPLIES	243659	04/09/2026	137.65	10962
101-265-863-000	VEHICLE MAINT	NAPA AUTO PARTS	VEHICLE SUPPLIES	243962	04/09/2026	183.25	10962
101-265-863-000	VEHICLE MAINT	NAPA AUTO PARTS	VEHICLE SUPPLIES	243966	04/09/2026	65.97	10962
101-265-863-000	VEHICLE MAINT	NAPA AUTO PARTS	PLIERS	243969	04/09/2026	33.99	10962
101-265-863-000	VEHICLE MAINT	GAS PEDAL CUSTOMS	CC MCCARTY - CAR MAINTENANC	PS-1283	04/08/2026	74.00	80562
101-265-863-000	VEHICLE MAINT	REVELS	CC MCCARTY - CAR MAINTENANC	382810	04/08/2026	238.74	80562
101-265-863-000	VEHICLE MAINT	REVELS	CC MCCARTY - FREIGHT	383798	04/08/2026	44.52	80562
101-265-863-000	VEHICLE MAINT	WONDERLAND TIRE COMPANY	(4) LT275/65R 18E FIRESTONE	0010072448	04/08/2026	957.80	80592
101-265-864-000	FUEL	WEX BANK	ACCT# 0462-00-394745-4/ WEX	111591067	04/09/2026	1,361.97	10972
101-265-921-000	1001 0083 1708	2865 THORNHILLS	CONSUMERS ENERGY	CONSUMER ENERGRY BILLS FOR MULTIPLE	04/09/2026	1,772.28	10943
101-265-921-000	1000 1205 2419	6569 THORNBROO	CONSUMERS ENERGY	CONSUMER ENERGY BILLS FOR MULTIPLE	04/09/2026	29.66	10943
101-265-921-000	1030 2346 2197	2867 THORNHILLS	CONSUMERS ENERGY	CONSUMER ENERGY BILLS FOR MULTIPLE	04/09/2026	31.36	10943
101-265-921-000	103036932491	5920 TAHOE DR	CONSUMERS ENERGY	CONSUMER ENERGY BILLS FOR MULTIPLE	04/09/2026	0.00	10943
101-265-921-000	103040083240	2894 THORNAPP	CONSUMERS ENERGY	CONSUMER ENERGY BILLS FOR MULTIPLE	04/09/2026	0.00	10943
101-265-921-000	COMPLEX ELECTRICITY	CONSUMERS ENERGY	ACCT # 1030 3693 2491 / APR	20643754797	04/09/2026	1,386.78	10943
101-265-923-000	COMPLEX HEATING- 5920 TAHOE DR SE	DTE ENERGY	CASCADE TOWNSHIP - DTE ENER	MULTIPLE	04/08/2026	704.71	80559
101-265-924-000	COMPLEX PHONES- B&G	COMCAST	ACCT # 932769807 / COMCAST	265466506	03/26/2026	1,040.68	80509
101-265-924-000	COMPLEX PHONES- B&G	COMCAST	CC MAGERS - SERVICES @ 2990	8529 11 273 0015086	04/08/2026	0.00	80562
101-265-924-000	COMPLEX PHONES- B&G	COMCAST	CC MAGERS - SERVICES @ 2865	8529 11 273 0159454	04/08/2026	0.00	80562
101-265-924-100	BLDG AND GROUNDS CELL PHONES/ IPA	VERIZON WIRELESS	VERIZON CELL PHONES, IPAD/D	6137488472	04/08/2026	144.22	80589
101-265-927-000	WS2177971 7150 30TH ST - WATER	GRAND RAPIDS CITY TREAS	WATER/ IRRIGATION/ USAGE PE	MULTIPLE	03/26/2026	130.58	80519
101-265-931-000	COMPLEX MAINTENANCE	DISCOUNT DOOR CO, LLC.	GARAGE DOOR INSTALLATION	94933	04/08/2026	3,722.00	80558
101-265-931-000	COMPLEX MAINTENANCE	CONTROL SOLUTIONS, INC.	LABOR & MATERIALS TO REPLAC	24308CW	04/09/2026	1,323.00	10945
101-265-931-000	COMPLEX MAINTENANCE	CONTROL SOLUTIONS, INC.	SITE VISIT TO TROUBLESHOOT	24327CW	04/09/2026	220.00	10945
101-265-931-000	COMPLEX MAINTENANCE- TRASH/ RECYC	ARROWASTE	ACCT # 91-153550 9/ WASTE	APRIL 2026	04/08/2026	327.21	80544
101-265-939-000	SERVICE CONTRACTS	STATE OF MICHIGAN	BOILER CERTIFICATE	BLR514593	03/26/2026	300.00	80536
101-265-939-000	SERVICE CONTRACTS	B&V MECHANICAL INC.	HEAT MAINTENANCE	111195	04/08/2026	450.37	80546
101-265-939-000	SERVICE CONTRACTS	VOLGISTICS	CC ADMIN - SERVICE 3/23 - 4	566401	04/08/2026	18.00	80562
101-265-939-000	SERVICE CONTRACTS	B&V MECHANICAL INC.	MONTHLY MAINTENANCE @ TOWNS	111386	04/08/2026	463.50	80546
101-265-939-000	SERVICE CONTRACTS	THORNAPPLE RIVER NURSER	W&F APPL. #1 @ CASCADE TWP	1640547	04/09/2026	60.00	10970
101-265-939-000	SERVICE CONTRACTS	THORNAPPLE RIVER NURSER	W&F APPL. #1 @ CASCADE TOWN	1640548	04/09/2026	129.00	10970
101-265-981-500	TOOLS/ SMALL EQUIPMENT MAINTENANC	TRACTOR SUPPLY CO	CC ZWICK - TOW LAWN ROLLER	82885G	04/08/2026	249.99	80562
<b>Total Department 265 BUILDING AND GROUNDS</b>						<b>24,153.97</b>	
<b>Department: 270 HUMAN RESOURCES</b>							
101-270-924-100	HR CELL PHONES/DATA	VERIZON WIRELESS	VERIZON CELL PHONES, IPAD/D	6137488472	04/08/2026	58.89	80589
101-270-939-000	SERVICE CONTRACTS - PAYROLL CLOUD	BS&A SOFTWARE	BS&A CLOUD SOFTWARE/ APRIL	166280	04/08/2026	4,764.00	80548
101-270-939-000	SERVICE CONTRACTS - TIMESHEETS CL	BS&A SOFTWARE	BS&A CLOUD SOFTWARE/ APRIL	166280	04/08/2026	2,114.25	80548
<b>Total Department 270 HUMAN RESOURCES</b>						<b>6,937.14</b>	

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<b>Fund: 101 GENERAL FUND</b>							
<b>Department: 276 CEMETERY</b>							
101-276-921-000	1030 5108 417	5601 WHITNEYVILLE	CONSUMERS ENERGY	CONSUMER ENERGRY BILLS FOR MULTIPLE	04/09/2026	29.06	10943
101-276-921-000	1030 3659 1347	7200 30TH ST	CONSUMERS ENERGY	CONSUMER ENERGRY BILLS FOR MULTIPLE	04/09/2026	33.92	10943
<b>Total Department 276 CEMETERY</b>						<b>62.98</b>	
<b>Department: 447 ENGINEERS/ ENGINEERING</b>							
101-447-723-000	ENGINEERING MEMBERSHIP & DUES	FISERV	CC ADMIN - PROFESSIONAL ENG	26030274613941	04/08/2026	23.30	80562
101-447-801-000	CONTRACT SERVICES	SPALDING DEDECKER	PROJ: CC23006.IT / GARDEN A	00107133	03/26/2026	5,052.50	80535
101-447-801-000	CONTRACT SERVICES	KENT COUNTY ROAD COMMIS	PAYABLES	416062	03/26/2026	9.46	80523
101-447-801-000	CONTRACT SERVICES	CITY OF GRAND RAPIDS	GARDEN APT. / EDWARD ROSE/ W	59096	03/26/2026	3,652.50	80508
101-447-801-000	CONTRACT SERVICES	CITY OF GRAND RAPIDS	#5725 52ND ST. WATER MAIN	56097	03/26/2026	2,030.00	80508
101-447-801-000	CONTRACT SERVICES	CITY OF GRAND RAPIDS	GARDEN APT. / EDWARD ROSE/	56068	03/26/2026	245.00	80508
101-447-860-000	ENGINEERING MILEAGE	ARIC THORNE	REIMBURSE 132 MILES - ARIC	MILEAGE - JAN-MARCH	04/08/2026	95.70	80543
<b>Total Department 447 ENGINEERS/ ENGINEERING</b>						<b>11,108.46</b>	
<b>Department: 448 STREET LIGHTS</b>							
101-448-926-000	1000 1196 5082	2870 JACK SMITH	CONSUMERS ENERGY	CONSUMER ENERGRY BILLS FOR MULTIPLE	04/09/2026	208.13	10943
101-448-926-000	STREETLIGHTING		CONSUMERS ENERGY	ACCT# 1030 3406 2978/ 49506	04/09/2026	6,115.03	10944
101-448-926-000	STREETLIGHTING		CONSUMERS ENERGY	ACCT # 1000 0037 3306/ STRE	04/09/2026	5,085.85	10944
<b>Total Department 448 STREET LIGHTS</b>						<b>11,409.01</b>	
<b>Department: 701 PLANNING</b>							
101-701-724-000	EDUCATION	MARV HERZOG HOTEL	CC ADMIN - COMMISSIONERS RE	H65MGGCYC	04/08/2026	237.29	80562
101-701-724-000	EDUCATION	AMERICAN PLANNING ASSOC	CC ADMIN - NPC26	9056303	04/08/2026	835.00	80562
101-701-900-000	PRINTING & PUBLISHING	MLIVE MEDIA GROUP	TEARSHEET/AFFIDAVITS - FEBR	3853183	03/26/2026	636.00	80528
101-701-900-000	PRINTING & PUBLISHING	MLIVE MEDIA GROUP	PROFESSIONAL ADS / AFFIDAVI	3912569	04/08/2026	669.00	80579
101-701-925-000	COMM DEV CELL/IPADS/DATA	VERIZON WIRELESS	VERIZON CELL PHONES, IPAD/D	6137488472	04/08/2026	75.91	80589
<b>Total Department 701 PLANNING</b>						<b>2,453.20</b>	
<b>Department: 756 PARKS</b>							
101-756-752-000	SUPPLIES	AMAZON.COM	CC ADMIN - SUPPLIES FOR PAR	113-2772288-7273050	04/08/2026	51.99	80562
101-756-756-000	PARK OPERATING SUPPLIES	KINGSLAND'S ACE	HARDWA PARK SUPPLIES	224816	03/27/2026	133.80	10920
101-756-756-000	PARK OPERATING SUPPLIES	KINGSLAND'S ACE	HARDWA NYLON	224823	03/27/2026	6.83	10920
101-756-756-000	PARK OPERATING SUPPLIES	KINGSLAND'S ACE	HARDWA PARK SUPPLIES	224842	03/27/2026	4.13	10920
101-756-756-000	PARK OPERATING SUPPLIES	KINGSLAND'S ACE	HARDWA LIGHT MOUNT	224845	03/27/2026	14.39	10920
101-756-756-000	PARK OPERATING SUPPLIES	KINGSLAND'S ACE	HARDWA BATTERY	224872	03/27/2026	269.10	10920
101-756-756-000	PARK OPERATING SUPPLIES	KINGSLAND'S ACE	HARDWA CLEANING SUPPLIES	224878	03/27/2026	12.21	10920
101-756-756-000	PARK OPERATING SUPPLIES	KINGSLAND'S ACE	HARDWA SCREWS	224906	03/27/2026	1.15	10920
101-756-756-000	PARK OPERATING SUPPLIES	KINGSLAND'S ACE	HARDWA STORAGE BOX	224911	03/27/2026	15.29	10920
101-756-756-000	PARK OPERATING SUPPLIES	KINGSLAND'S ACE	HARDWA PARK SUPPLIES	224915	03/27/2026	327.02	10920
101-756-756-000	PARK OPERATING SUPPLIES	KINGSLAND'S ACE	HARDWA TAPE	224917	03/27/2026	13.66	10920
101-756-756-000	PARK OPERATING SUPPLIES	KINGSLAND'S ACE	HARDWA TREE EQUIPMENT	224939	03/27/2026	29.68	10920
101-756-756-000	PARK OPERATING SUPPLIES	KINGSLAND'S ACE	HARDWA FLAGS & SPRAY	224972	03/27/2026	53.05	10920
101-756-756-000	PARK OPERATING SUPPLIES	SITEONE LANDSCAPE SUPPL	RAKES	163054120-001	03/26/2026	219.96	80534
101-756-756-000	PARK OPERATING SUPPLIES	SUPERIOR SPORT STORE	7 PICKLEBALL NETS	009942	03/26/2026	1,309.65	80537
101-756-756-000	PARK OPERATING SUPPLIES	SITEONE LANDSCAPE SUPPL	RETURNED RAKE	163082795-001	03/26/2026	(54.99)	80534
101-756-756-000	PARK OPERATING SUPPLIES	THE HOME DEPOT CREDIT S	ACCT 6035 3221 5394 3356: S	6014645	04/08/2026	260.51	80587
101-756-850-000	COMMUNICATIONS	AT&T	4G LTE LAPTOPS	287303607022x014202	03/26/2026	184.92	80500
101-756-850-000	PARKS COMMUNICATIONS	VERIZON WIRELESS	VERIZON CELL PHONES, IPAD/D	6137488472	04/08/2026	38.85	80589
101-756-880-000	COMMUNITY PROMOTION	CE FAST, LLC DBA FASTSI	YARD SIGNS - EGG HUNT	467-156101	03/27/2026	301.51	10917
101-756-880-000	COMMUNITY PROMOTION	THE HOME DEPOT CREDIT S	ACCT 6035 3221 5394 3356: T	2013838	04/08/2026	214.86	80587
101-756-880-000	COMMUNITY PROMOTION	D&W FRESH MARKET	CC ZWICK - WATER & DONUTS	15675G 3762	04/08/2026	55.01	80562

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GL Number	Invoice Line Desc	Vendor Name	Invoice Description	Invoice Number	Check Date	Amount	Check Number
<b>Fund: 101 GENERAL FUND</b>							
<b>Department: 756 PARKS</b>							
101-756-880-000	COMMUNITY PROMOTION	MAHJONG	CC ZWICK - 2026 CARDS	5569095	04/08/2026	168.00	80562
101-756-880-000	COMMUNITY PROMOTION	REVOLIN PICKLEBALL	CC ZWICK - REVOLIN PICKLEBA	Q85U4GATT	04/08/2026	420.00	80562
101-756-880-000	COMMUNITY PROMOTION	SAM'S CLUB MC/SYNCB	CC ZWICK - CANDY	27689G	04/08/2026	235.74	80562
101-756-880-000	COMMUNITY PROMOTION	TOOLS OF MARKETING	CC ZWICK - CULVERS	556440	04/08/2026	456.68	80562
101-756-880-000	COMMUNITY PROMOTION	WAL-MART	CC ZWICK - EASTER CANDY	94213G	04/08/2026	353.58	80562
101-756-880-000	COMMUNITY PROMOTION	FIRST BANKARD	CC ZWICK - MARCH	FNBO - MARCH	04/08/2026	21.09	80562
101-756-880-000	COMMUNITY PROMOTION	CE FAST, LLC DBA FASTSI	6 YARD SIGNS FOR EASTER EGG	467-156523	04/09/2026	218.11	10942
101-756-921-000	1030 5108 4186 2900 THORNAPPLE R	CONSUMERS ENERGY	CONSUMER ENERGY BILLS FOR	MULTIPLE	04/09/2026	272.68	10943
101-756-921-000	1030 5108 4202 3804 THORNAPPL	CONSUMERS ENERGY	CONSUMER ENERGY BILLS FOR	MULTIPLE	04/09/2026	115.09	10943
101-756-921-000	1030 5108 42 3820 THORNAPPLE	CONSUMERS ENERGY	CONSUMER ENERGY BILLS FOR	MULTIPLE	04/09/2026	59.10	10943
101-756-927-000	WS2064693 2900 TRD TASSEL PK W/S	GRAND RAPIDS CITY TREAS	WATER/ IRRIGATION/ USAGE PE	MULTIPLE	03/26/2026	363.56	80519
101-756-935-000	PARK MAINTENANCE	THE HOME DEPOT CREDIT S	ACCT 6035 3221 5394 3356: B	6041535	04/08/2026	64.39	80587
101-756-935-000	PARK MAINTENANCE-TRASH/ RECYCLE	ARROWASTE	ACCT # 91-153550 9/ WASTE	APRIL 2026	04/08/2026	329.68	80544
101-756-939-000	SERVICE CONTRACTS	KERKSTRA PORTABLE RESTR	PORTABLE RESTROOM RENTAL	292758	03/27/2026	225.00	10919
101-756-939-000	SERVICE CONTRACTS	PREIN & NEWHOF	WATER TESTING	130125	04/09/2026	20.00	10968
101-756-939-000	SERVICE CONTRACTS	PREIN & NEWHOF	WATER TESTING	128975	04/09/2026	20.00	10968
101-756-939-000	SERVICE CONTRACTS	B&V MECHANICAL INC.	MONTHLY MAINTENANCE @ BURTO	111381	04/08/2026	125.00	80546
101-756-939-000	SERVICE CONTRACTS	B&V MECHANICAL INC.	MONTHLY MAINTENANCE @ REC P	111387	04/08/2026	33.34	80546
101-756-939-000	SERVICE CONTRACTS	CORPORATE CLEANING & FA	CUSTODIAL SERVICES @ PARK R	5941	04/09/2026	1,819.00	10946
101-756-939-000	SERVICE CONTRACTS	KERKSTRA PORTABLE RESTR	HCPT RESTROOM @8900 GRAND R	569	04/09/2026	225.00	10957
101-756-939-000	SERVICE CONTRACTS	KERKSTRA PORTABLE RESTR	3 HCPT WITH SANITIZER RENTA	294239	04/09/2026	640.00	10957
101-756-939-000	SERVICE CONTRACTS	THORNAPPLE RIVER NURSER	W&F APPL. #1 @ TASSELL PARK	1640505	04/09/2026	284.00	10970
101-756-981-500	TOOLS/ SMALL EQUIPMENT MAINTENANC	KINGSLAND'S ACE	HARDWA CHAINSAW CHAIN	224879	03/27/2026	502.19	10920
<b>Total Department 756 PARKS</b>						<b>10,433.81</b>	
<b>Department: 803 HISTORICAL</b>							
101-803-921-000	1030 5108 4194 2839 THORNAPPLE R	CONSUMERS ENERGY	CONSUMER ENERGY BILLS FOR	MULTIPLE	04/09/2026	79.96	10943
101-803-923-000	MUSEUM HEATING DTE ENERGY	DTE ENERGY	CASCADE TOWNSHIP - DTE ENER	MULTIPLE	04/08/2026	135.03	80559
101-803-927-000	WS2064703 MUSEUM WATER-SEWER	GRAND RAPIDS CITY TREAS	WATER/ IRRIGATION/ USAGE PE	MULTIPLE	03/26/2026	78.21	80519
101-803-961-000	MUSEUM MAINTENANCE	B&V MECHANICAL INC.	MONTHLY MAINTENANCE @ MUSEU	111385	04/08/2026	43.75	80546
<b>Total Department 803 HISTORICAL</b>						<b>336.95</b>	
<b>Total Fund 101 GENERAL FUND</b>						<b>217,204.26</b>	
<b>Fund: 206 FIRE FUND</b>							
<b>Department: 250 BENEFITS/INSURANCE</b>							
206-250-718-000	VISION INSURANCE BENEFITS	NATIONAL VISION ADMINIS	VISION INSURANCE - APRIL 20	4477672	04/09/2026	375.57	10963
206-250-719-000	HEALTH INSURANCE BENEFITS	WEST MICHIGAN HEALTH IN	HEALTH & DENTAL INSURANCE F	HEALTH & DENTAL	04/09/2026	31,595.50	10973
206-250-721-000	DENTAL INSURANCE BENEFITS	WEST MICHIGAN HEALTH IN	HEALTH & DENTAL INSURANCE F	HEALTH & DENTAL	04/09/2026	3,351.59	10973
<b>Total Department 250 BENEFITS/INSURANCE</b>						<b>35,322.66</b>	
<b>Department: 336 FIRE DEPARTMENT</b>							
206-336-723-000	FIRE MEMBERSHIP AND DUES	LEMKULL, MICHAEL	REIMBURSE EMS LICENSE RENEW	REIMBURSEMENT	03/26/2026	25.00	80525
206-336-726-000	FIRE TRAINING	LANSING COMMUNITY COLLE	EMTA 224 CLASS/ EMS IC PROG	X00709257	03/26/2026	780.00	80524
206-336-726-000	FIRE TRAINING - MILEAGE	STEVENSON, TODD ROY	REIMBURSE 180 MILES/ MEALS	REIMBURSEMENT	04/08/2026	130.50	80586
206-336-726-000	FIRE TRAINING	STEVENSON, TODD ROY	REIMBURSE 180 MILES/ MEALS	REIMBURSEMENT	04/08/2026	47.73	80586
206-336-726-000	FIRE TRAINING	KENT COUNTY FIRE CHIEFS	THE 9L'S IMPACTING THE CULT	1118	04/08/2026	30.00	80570
206-336-726-000	FIRE TRAINING	MICHIGAN STATE POLICE	REGISTRATION FEE - MI HAZMA	551-673687	04/08/2026	400.00	80578
206-336-726-000	FIRE TRAINING	INTERNATIONAL SOCIETY O	ISFSI- LIVE FIRE INSTRUCTOR	4/14/26 ISFSI CLASS	04/08/2026	750.00	80568
206-336-726-000	FIRE TRAINING	INTERNATIONAL SOCIETY O	ISFSI LIVE FIRE INSTRUCTOR	4/14/26 ISFSI CLASS	04/08/2026	750.00	80568
206-336-726-000	FIRE TRAINING	INTERNATIONAL SOCIETY O	ISFSI LIVE FIRE INSTRUCTOR	4/14/26 ISFSI CLASS	04/08/2026	750.00	80568

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<b>Fund: 206 FIRE FUND</b>							
<b>Department: 336 FIRE DEPARTMENT</b>							
206-336-726-000	FIRE TRAINING	INTERNATIONAL SOCIETY O	ISFSI- LIVE FIRE INSTRUCTOR	4/14/26 ISFSI CLASS	04/08/2026	750.00	80568
206-336-726-000	FIRE TRAINING	CASCADE SHOE SERVICE	CC MAGERS - SHOE REPAIR	73086G	04/08/2026	100.00	80562
206-336-726-000	FIRE TRAINING	HEROIC DEEDS CHAPLAIN	CC MAGERS - FOUNDATION OF F	3010-G1QK-746	04/08/2026	56.38	80562
206-336-726-000	FIRE TRAINING	JET'S PIZZA	CC MAGERS - BLOCK TRAINING	49896G	04/08/2026	243.45	80562
206-336-726-000	FIRE TRAINING	WAL-MART	CC MAGERS - BLOCK TRAINING	12691G	04/08/2026	45.58	80562
206-336-726-000	FIRE TRAINING	THE EMPLOYERS ASSOCIATI	CC ADMIN - TRAINING, J. KNO	30353	04/08/2026	325.00	80562
206-336-726-000	FIRE TRAINING	MICHIGAN STATE FIREMAN'	LIVE FIRE TRAINING PRINCIPA	6851	04/08/2026	155.54	80577
206-336-726-500	FIRE TRAINING / FIRE INSPECTIONS	PELL, TODD	REIMBURSE MEALS NOT PROVIDE	REIMBURSEMENT	03/26/2026	129.21	80531
206-336-727-000	FIRE OFFICE SUPPLIES	KINGSLAND'S ACE HARDWA	RULER & CLEANING SUPPLY	224863	03/27/2026	20.48	10920
206-336-727-000	FIRE OFFICE SUPPLIES	KINGSLAND'S ACE HARDWA	TAPE	224867	03/27/2026	12.39	10920
206-336-727-000	FIRE OFFICE SUPPLIES	STAPLES	OFFICE SUPPLIES	6059060157	04/09/2026	153.88	10969
206-336-727-000	FIRE OFFICE SUPPLIES	AMAZON.COM	CC ADMIN - COMMAND STRIPS,	111-5270881-5960218	04/08/2026	35.88	80562
206-336-738-000	FIRE MAINT SUPPLIES	STAPLES	FIRE STATION MAINTENANCE SU	6057775160	03/27/2026	307.37	10927
206-336-738-000	FIRE MAINT SUPPLIES	STAPLES	FIRE STATION MAINTENANCE SU	6057775161	03/27/2026	24.56	10927
206-336-738-000	FIRE MAINT SUPPLIES	STAPLES	DSNFCT WIPES FRESH	6057969789	03/27/2026	43.46	10927
206-336-745-000	FIRE FUELS	AUTOZONE	CUST # 506134/ (2) DIESEL E	05023315867	03/26/2026	36.84	80501
206-336-745-000	FIRE FUELS	AUTOZONE	2 DIESEL EXHAUST FL BLUDEF	05023319046	04/08/2026	36.84	80545
206-336-745-000	FIRE FUELS	WEX BANK	ACCT# 0462-00-394745-4/ WEX	111591067	04/09/2026	2,880.72	10972
206-336-745-000	FIRE FUELS	FLYERS ENERGY LLC	DEF FUEL	CFS-4572815	04/09/2026	107.31	10949
206-336-752-000	SUPPLIES	AMAZON.COM	CC ADMIN - FIRE DEPT SUPPLI	111-3372964-1037065	04/08/2026	133.39	80562
206-336-752-000	SUPPLIES	AMAZON.COM	CC ADMIN - FIRE DEPT SUPPLI	111-7390738-8628260	04/08/2026	74.97	80562
206-336-752-151	THERMAL IMAGING CAMERAS	WITMER PUBLIC SAFETY GR	THERMAL IMAGING CAMERAS	INV863431	04/08/2026	5,611.36	80591
206-336-752-206	KITCHEN SUPPLIES	WAL-MART	CC MAGERS - COFFEE	52007G	04/08/2026	127.52	80562
206-336-756-000	DEPARTMENT SUPPLIES	CASCADE PRINTING & GRAP	DECALS FOR ENGINES 1,2 ,3 &	69018	04/08/2026	111.15	80553
206-336-768-000	FIRE UNIFORMS	GRX GROUP, LLC	DEEP NAVY PERFORMANCE STRET	37761	03/27/2026	19.85	10918
206-336-768-000	FIRE UNIFORMS	FORZLEY, COLIN	REIMBURSE TACTICAL RESPONSE	REIMBURSEMENT	03/26/2026	150.00	80516
206-336-768-000	FIRE UNIFORMS	GRX GROUP, LLC	FIRE DEPT CLOTHING	38034	04/09/2026	2,260.97	10952
206-336-768-000	FIRE UNIFORMS	NYE UNIFORM COMPANY	FIRE UNIFORM - LT. COLIN FO	942330A	04/09/2026	90.00	10964
206-336-768-000	FIRE UNIFORMS	NYE UNIFORM COMPANY	FIRE UNIFORM - CHIEF ADAM M	942349	04/09/2026	80.00	10964
206-336-768-000	FIRE UNIFORMS	NYE UNIFORM COMPANY	FIRE UNIFORM - JON SNYDER	942332	04/09/2026	113.00	10964
206-336-768-000	FIRE UNIFORMS	NYE UNIFORM COMPANY	FIRE UNIFORM- JOEL BAKER	941904	04/09/2026	186.00	10964
206-336-768-000	FIRE UNIFORMS	NYE UNIFORM COMPANY	FIRE UNIFORM - BRETT BOONEN	940157	04/09/2026	35.50	10964
206-336-768-000	FIRE UNIFORMS	SHELDON CLEANERS	ACCT# SB2862 / DRY CLEANING	MARCH 2026	04/08/2026	63.25	80584
206-336-768-000	FIRE UNIFORMS	LEMKULL, MICHAEL	REIMBURSE FF BOOTS - MICHAEL	REIMBURSEMENT	04/08/2026	109.30	80572
206-336-802-000	CONTRACTUAL SERVICES	HUMATIX, LLC.	YEAR 2 OF 3 CONTRACT WITH A	HUMAT10029	04/08/2026	2,600.00	80566
206-336-850-000	COMMUNICATIONS- PHONES	COMCAST	ACCT # 932769807 / COMCAST	265466506	03/26/2026	520.35	80509
206-336-850-000	COMMUNICATIONS	VERIZON WIRELESS	VERIZON CELL PHONES, IPAD/D	6137488472	04/08/2026	705.77	80589
206-336-850-000	COMMUNICATIONS	COMCAST	ACCT # 8529 11 273 0083548/	APRIL 2026	04/08/2026	68.16	80554
206-336-850-000	COMMUNICATIONS- PHONES	COMCAST	CC MAGERS - SERVICES @ 2990	8529 11 273 0015086	04/08/2026	100.85	80562
206-336-850-000	COMMUNICATIONS- PHONES	COMCAST	CC MAGERS - SERVICES @ 2865	8529 11 273 0159454	04/08/2026	232.68	80562
206-336-850-000	COMMUNICATIONS	REMARKABLE	CC MAGERS - REMARKABLE MONT	REMARKABLE	04/08/2026	2.99	80562
206-336-863-000	VEHICLE MAINT	KINGSLAND'S ACE HARDWA	VEHICLE MAINTENANCE	224967	03/27/2026	63.50	10920
206-336-863-000	VEHICLE MAINT	KINGSLAND'S ACE HARDWA	VEHICLE MAINTENANCE	224968	03/27/2026	31.11	10920
206-336-863-000	VEHICLE MAINT	AUTOZONE	CUST # 506134 / DIESEL EXHA	05023313547	03/26/2026	39.88	80501
206-336-863-000	VEHICLE MAINT	TOMMY'S EXPRESS CAR WAS	CC MAGERS - MONTHLY CAR WAS	MARCH 2026	04/08/2026	159.96	80562
206-336-863-000	VEHICLE MAINT	AMAZON.COM	CC ADMIN - VEHICLE SUPPLIES	111-6672146-0077007	04/08/2026	34.18	80562
206-336-863-000	VEHICLE MAINT	CASCADE AUTOMOTIVE SERV	2016 CHEVROLET TAHOE - BATT	77219	04/09/2026	916.49	10939
206-336-863-000	VEHICLE MAINT	AUTOZONE	ELECTRICAL FUSE HOLDER FOR	05023325947	04/08/2026	28.22	80545
206-336-863-000	VEHICLE MAINT	CASCADE AUTOMOTIVE SERV	2015 CHEVEROLET SURBURBAN -	77263	04/09/2026	1,958.02	10939

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<b>Fund: 206 FIRE FUND</b>							
<b>Department: 336 FIRE DEPARTMENT</b>							
206-336-863-000	VEHICLE MAINT	CASCADE AUTOMOTIVE SERV	2022 FORD F-250 OIL CHANGE	77268	04/09/2026	89.81	10939
206-336-863-000	VEHICLE MAINT	KLEYN MOBILE REPAIR, LL	CHASSIS PARTS / LABOR FOR B	59027	04/09/2026	608.06	10958
206-336-863-000	VEHICLE MAINT	KLEYN MOBILE REPAIR, LL	ENGINE 1 / MIL LIGHT RELATE	59066	04/09/2026	1,669.78	10958
206-336-901-000	FIRE PUBLICATIONS	CASCADE PRINTING & GRAP	2025 FIRE ANNUAL REPORT- FI	69092	04/08/2026	553.00	80553
206-336-928-000	WS2059561 2990 BUTTRICK AVE SE-	GRAND RAPIDS CITY TREAS	WATER/ IRRIGATION/ USAGE PE	MULTIPLE	03/26/2026	89.68	80519
206-336-928-000	WS2059560 2990 BUTTRICK AVE SE- F	GRAND RAPIDS CITY TREAS	WATER/ IRRIGATION/ USAGE PE	MULTIPLE	03/26/2026	76.18	80519
206-336-928-000	1000 1276 2959 2990 BUTTRICK	CONSUMERS ENERGY	CONSUMER ENERGRY BILLS FOR	MULTIPLE	04/09/2026	756.77	10943
206-336-928-000	9100 206 52430 4 2865 THORNHILLS	DTE ENERGY	CASCADE TOWNSHIP - DTE ENER	MULTIPLE	04/08/2026	1,019.86	80559
206-336-928-000	9100 206 5269 9 2900 BUTTRICK FS	DTE ENERGY	CASCADE TOWNSHIP - DTE ENER	MULTIPLE	04/08/2026	611.15	80559
206-336-936-000	FIRE STATION MAINT	KINGSLAND'S ACE HARDWA	COMMAND STRIPS, HOOKS	224897	03/27/2026	47.66	10920
206-336-936-000	FIRE STATION MAINT	B&V MECHANICAL INC.	FIRE STATION #1 - MONTHLY M	110956	03/26/2026	525.00	80502
206-336-936-000	FIRE STATION MAINT	ADVOWASTE MEDICAL SERVI	MEDICAL WASTE	282546	03/27/2026	220.00	10915
206-336-936-000	FIRE STATION MAINT	EXCEL	INSTALLATION OF NEW LIGHT/F	39684	04/08/2026	640.00	80560
206-336-936-000	FIRE STATION MAINT	B&V MECHANICAL INC.	INSULATE FRESH AIR INTAKE	111290	04/08/2026	440.00	80546
206-336-936-000	FIRE STATION MAINT	ARROWASTE	ACCT # 91-153550 9/ WASTE	APRIL 2026	04/08/2026	237.91	80544
206-336-936-002	FIRE STATION MAINT/BUTTRICK	B&V MECHANICAL INC.	FIRE STATION #2 - MONTHLY M	110955	03/26/2026	235.41	80502
206-336-936-002	FIRE STATION MAINT/BUTTRICK- TRAS	ARROWASTE	ACCT # 91-153550 9/ WASTE	APRIL 2026	04/08/2026	134.00	80544
206-336-936-002	FIRE STATION MAINT/BUTTRICK	OVERHEAD DOOR CO OF GR,	PLANNED SAFETY INSPECTION F	INV283812	04/08/2026	586.65	80581
206-336-938-000	FIRE EQUIPMENT MAINT	MI RESCUE RESOURCES LLC	ANNUAL MAINTENANCE: FULL SE	26-2014	04/08/2026	2,172.50	80575
206-336-939-000	FIRE COPIER/LEASE/SERVICE	KONICA MINOLTA BUSINESS	C4501 45 PPM COLOR COPIER/P	506825596	03/27/2026	99.00	10921
206-336-939-000	FIRE COPIER/LEASE/SERVICE	KONICA MINOLTA BUSINESS	COPIER/ PRINTER - MARCH 202	507321153	04/09/2026	99.00	10959
206-336-958-000	FIRE SUPPLEMENTAL EQUIPMENT	KINGSLAND'S ACE HARDWA	EMS SUPPLIES	224818	03/27/2026	4.11	10920
206-336-958-000	FIRE SUPPLEMENTAL EQUIPMENT	KINGSLAND'S ACE HARDWA	ROTARY TOOL	224959	03/27/2026	214.20	10920
206-336-958-000	FIRE SUPPLEMENTAL EQUIPMENT	THE HOME DEPOT CREDIT S	ACCT 6035 3221 5394 3356: 0	535759	04/08/2026	148.94	80587
206-336-981-000	OFFICE EQUIPMENT	EXTREME GRAFFIX	WALL SIGN - PRINTED ON CANV	INV-61820	04/08/2026	275.00	80561
Total Department 336 FIRE DEPARTMENT						37,310.21	
Total Fund 206 FIRE FUND						72,632.87	
<b>Fund: 207 POLICE FUND</b>							
<b>Department: 301 POLICE DEPARTMENT</b>							
207-301-801-000	TOWNSHIP LAW- EAST PRECINCT - FEB	COUNTY OF KENT	TOWNSHIP LAW - EAST PRECINC	26031100934	03/26/2026	66,263.63	80510
Total Department 301 POLICE DEPARTMENT						66,263.63	
Total Fund 207 POLICE FUND						66,263.63	
<b>Fund: 208 OPEN SPACE FUND</b>							
<b>Department: 751 OPEN SPACE PRESERVATION</b>							
208-751-921-000	1000 4177 2151 6803 BURTON ST	CONSUMERS ENERGY	CONSUMER ENERGRY BILLS FOR	MULTIPLE	04/09/2026	238.32	10943
208-751-921-000	1000 6109 6465 6803 BURTON	CONSUMERS ENERGY	CONSUMER ENERGRY BILLS FOR	MULTIPLE	04/09/2026	30.69	10943
208-751-923-000	HEATING/UTILITY -6803 BURTON ST S	DTE ENERGY	CASCADE TOWNSHIP - DTE ENER	MULTIPLE	04/08/2026	339.86	80559
208-751-923-000	HEATING/UTILITY-2894 THORNAPPLE R	DTE ENERGY	CASCADE TOWNSHIP - DTE ENER	MULTIPLE	04/08/2026	60.57	80559
208-751-923-000	9200 691 0968 3 6915 CASCADE RD S	DTE ENERGY	CASCADE TOWNSHIP - DTE ENER	MULTIPLE	04/08/2026	359.29	80559
208-751-923-000	9200 244 5760 7 2781 ORANGE ST	DTE ENERGY	CASCADE TOWNSHIP - DTE ENER	MULTIPLE	04/08/2026	137.71	80559
208-751-927-000	WS2049855 6805 BURTON ST SE WATE	GRAND RAPIDS CITY TREAS	WATER/ IRRIGATION/ USAGE PE	MULTIPLE	03/26/2026	242.28	80519
Total Department 751 OPEN SPACE PRESERVATION						1,408.72	
Total Fund 208 OPEN SPACE FUND						1,408.72	
<b>Fund: 218 HAZMAT FUND</b>							
<b>Department: 344 HAZMAT</b>							

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<b>Fund: 218 HAZMAT FUND</b>							
<b>Department: 344 HAZMAT</b>							
218-344-958-000	HAZMAT EQUIPMENT	SAFEWARE INC	HAZMAT SUPPLIES/ EQUIP	30335933	03/27/2026	788.61	10926
218-344-958-000	HAZMAT EQUIPMENT	SAFETY SERVICES INC	PREVENTATIVE MAINTENANCE &	153513	03/26/2026	230.00	80533
<b>Total Department 344 HAZMAT</b>						<b>1,018.61</b>	
<b>Total Fund 218 HAZMAT FUND</b>						<b>1,018.61</b>	
<b>Fund: 248 DDA</b>							
<b>Department: 190 DDA OPERATIONS/CONSTRUCTION</b>							
248-190-861-100	2026 TRANSPORTATION SERVICES	HOPE NETWORK	MEDICAL TRANSPORTATION SERV	100029490	04/09/2026	2,476.50	10953
248-190-921-000	1000 1190 1541 6800 CASCADE	CONSUMERS ENERGY	CONSUMER ENERGRY BILLS FOR	MULTIPLE	04/09/2026	155.20	10943
248-190-921-000	1000 1190 1814 6811 CASCADE R	CONSUMERS ENERGY	CONSUMER ENERGRY BILLS FOR	MULTIPLE	04/09/2026	103.97	10943
248-190-921-000	1000 1201 7115 6753 OLD 28TH	CONSUMERS ENERGY	CONSUMER ENERGRY BILLS FOR	MULTIPLE	04/09/2026	161.45	10943
248-190-921-000	1000 1201 7305 6610 28TH ST SE	CONSUMERS ENERGY	CONSUMER ENERGRY BILLS FOR	MULTIPLE	04/09/2026	90.22	10943
248-190-921-000	1000 1221 3862 6658 28TH ST	CONSUMERS ENERGY	CONSUMER ENERGRY BILLS FOR	MULTIPLE	04/09/2026	30.01	10943
248-190-921-000	1000 4105 8650 6116 28TH ST S	CONSUMERS ENERGY	CONSUMER ENERGRY BILLS FOR	MULTIPLE	04/09/2026	54.80	10943
248-190-921-000	1000 4105 9278 5905 28TH ST S	CONSUMERS ENERGY	CONSUMER ENERGRY BILLS FOR	MULTIPLE	04/09/2026	53.84	10943
248-190-921-000	1000 4108 1355 5613 28TH ST S	CONSUMERS ENERGY	CONSUMER ENERGRY BILLS FOR	MULTIPLE	04/09/2026	49.42	10943
248-190-921-000	1000 5437 9084 5196 28TH ST	CONSUMERS ENERGY	CONSUMER ENERGRY BILLS FOR	MULTIPLE	04/09/2026	249.84	10943
248-190-921-000	1000 5439 3572 5434 28TH ST	CONSUMERS ENERGY	CONSUMER ENERGRY BILLS FOR	MULTIPLE	04/09/2026	53.24	10943
248-190-921-000	1000 6346 0503 5770 FOREMOS	CONSUMERS ENERGY	CONSUMER ENERGRY BILLS FOR	MULTIPLE	04/09/2026	57.83	10943
248-190-921-000	1000 6687 4924 2990 LUCERNE D	CONSUMERS ENERGY	CONSUMER ENERGRY BILLS FOR	MULTIPLE	04/09/2026	0.00	10943
248-190-921-000	1000 4105 9393 6282 28TH ST	CONSUMERS ENERGY	CONSUMER ENERGRY BILLS FOR	MULTIPLE	04/09/2026	73.51	10943
248-190-921-000	1000 8837 6080 3001 ORCHARD V	CONSUMERS ENERGY	CONSUMER ENERGRY BILLS FOR	MULTIPLE	04/09/2026	64.79	10943
248-190-921-000	1030 5031 3966 2781 ORANGE ST	CONSUMERS ENERGY	CONSUMER ENERGRY BILLS FOR	MULTIPLE	04/09/2026	79.75	10943
248-190-921-000	1030 5463 4136 6915 CASCADE RD S	CONSUMERS ENERGY	CONSUMER ENERGRY BILLS FOR	MULTIPLE	04/09/2026	91.18	10943
248-190-921-000	1000 9074 7807 6736 CASCADE RD SE	CONSUMERS ENERGY	CONSUMER ENERGRY BILLS FOR	MULTIPLE	04/09/2026	93.62	10943
248-190-924-100	DDA CELL PHONES/ IPADS/ DATA	VERIZON WIRELESS	VERIZON CELL PHONES, IPAD/D	6137488472	04/08/2026	39.37	80589
248-190-931-000	MAINT & REPAIR/IMPROVEMENTS	THORNAPPLE RIVER NURSER	W&F APPL #1 @ OLD 28TH STRE	1640522	04/09/2026	234.00	10970
248-190-931-000	MAINT & REPAIR/IMPROVEMENTS	BUIST ELECTRIC INC	MAINTENANCE FOR JOB#U260163	219814	04/09/2026	3,637.57	10936
248-190-931-000	MAINT & REPAIR/IMPROVEMENTS	THORNAPPLE RIVER NURSER	W&F APPL. #1 @ 28TH ISLANDS	1640602	04/09/2026	88.00	10970
248-190-967-000	SPECIAL PROJECTS-DDA LIGHTING/DEC	CASCADE PRINTING & GRAP	TWO SETS OF 8 MESH BANNERS	69043	04/08/2026	1,337.64	80553
<b>Total Department 190 DDA OPERATIONS/CONSTRUCTION</b>						<b>9,275.75</b>	
<b>Department: 990 DEBT SERVICE</b>							
248-990-994-001	INTEREST AND FEES	UNITED BANK	UNITED BANK- COMMERCIAL LOA	LOAN 986526	03/26/2026	5,850.00	80538
<b>Total Department 990 DEBT SERVICE</b>						<b>5,850.00</b>	
<b>Total Fund 248 DDA</b>						<b>15,125.75</b>	
<b>Fund: 249 BUILDING FUND</b>							
<b>Department: 000</b>							
249-000-123-000	PREPAID EXPENSE-- COMM DEVELOP	BS&A SOFTWARE	BS&A CLOUD SOFTWARE/ APRIL	166280	04/08/2026	3,411.00	80548
249-000-607-100	BUILDING PERMITS	MOSAIC GENERAL CONTRACT	REFUND RECEIPT 202605169 -	#PB26000125	04/08/2026	1,492.00	80580
249-000-607-400	MECHANICAL PERMITS	HANCOCK CHIMNEY SERVICE	REFUND PER#26000548	REFUND	03/26/2026	45.00	80520
<b>Total Department 000</b>						<b>4,948.00</b>	
<b>Department: 250 BENEFITS/INSURANCE</b>							
249-250-718-000	VISION INSURANCE BENEFITS	NATIONAL VISION ADMINIS	VISION INSURANCE - APRIL 20	4477672	04/09/2026	181.47	10963
249-250-719-000	HEALTH INSURANCE BENEFITS	WEST MICHIGAN HEALTH IN	HEALTH & DENTAL INSURANCE F	HEALTH & DENTAL	04/09/2026	20,250.01	10973
249-250-721-000	DENTAL INSURANCE BENEFITS	WEST MICHIGAN HEALTH IN	HEALTH & DENTAL INSURANCE F	HEALTH & DENTAL	04/09/2026	1,874.20	10973
<b>Total Department 250 BENEFITS/INSURANCE</b>						<b>22,305.68</b>	

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<b>Fund: 249 BUILDING FUND</b>							
<b>Department: 371 BUILDING DEPARTMENT</b>							
249-371-724-000	EDUCATION	HUYSER, DANIEL A.	REIMBURSE 598 MILES, HOTEL	REIMBURSEMENT	03/26/2026	268.46	80521
249-371-724-000	EDUCATION	INTERNATIONAL ASSOCIATI	CC WILSON - IAEI COURSE, P.	ORD001891	04/08/2026	25.00	80562
249-371-724-000	EDUCATION	MECHANICAL INSPECTORS A	REGISTRATION FOR MIAM SPRIN	2026 MIAM SPRING CO	04/08/2026	325.00	80573
249-371-724-000	EDUCATION	MECHANICAL INSPECTORS A	REGISTRATION FOR MIAM SPRIN	2026 SPRING MIAM CO	04/08/2026	325.00	80573
249-371-727-000	OFFICE SUPPLIES	THE HOME DEPOT	CC WILSON - DRILL, OUTLET T	WK17325862	04/08/2026	458.66	80562
249-371-727-000	OFFICE SUPPLIES	THE HOME DEPOT	CC WILSON - BIT HOLDER	WK17325862	04/08/2026	31.74	80562
249-371-727-000	OFFICE SUPPLIES	THE HOME DEPOT	CC WILSON - RECHARGEABLE BA	WK17325862	04/08/2026	211.41	80562
249-371-727-000	OFFICE SUPPLIES	AMAZON.COM	CC ADMIN - POST-IT NOTES	113-8330246-5041022	04/08/2026	16.99	80562
249-371-727-000	OFFICE SUPPLIES	AMAZON.COM	CC ADMIN - SUPPLIES FOR PAR	113-2772288-7273050	04/08/2026	16.90	80562
249-371-752-101	KITCHEN SUPPLIES	AMAZON.COM	CC ADMIN - KITCHEN & OFFICE	113-3542229-0492249	04/08/2026	59.48	80562
249-371-752-101	KITCHEN SUPPLIES	AMAZON.COM	CC ADMIN - OFFICE & KITCHEN	113-0148195-6775471	04/08/2026	22.53	80562
249-371-752-101	KITCHEN SUPPLIES	AMAZON.COM	CC ADMIN - KITCHEN SUPPLY	113-1347619-1846631	04/08/2026	19.40	80562
249-371-752-101	KITCHEN SUPPLIES	AMAZON.COM	CC ADMIN - KITCHEN SUPPLY R	113-1347619-1846631	04/08/2026	(19.40)	80562
249-371-757-000	BOOKS	AMAZON.COM	CC ADMIN - BOOK TABS	113-6476821-8226660	04/08/2026	16.19	80562
249-371-787-101	CLEANING & PAPER SUPPLIES	AMAZON.COM	CC ADMIN - CLEANING SUPPLIE	113-9612589-1829848	04/08/2026	37.91	80562
249-371-787-200	CREDIT CARD FEES	BS&A SOFTWARE	INTEGRATED PAYMENTS FOR BUI	166493	03/26/2026	3,056.01	80505
249-371-860-000	MILEAGE - M. BONNEY	MICHAEL BONNEY	REIMBURSE 447 MILES - MIKE	MILEAGE	03/26/2026	324.08	80526
249-371-860-000	MILEAGE - CRAIG SMITH	CRAIG SMITH	REIMBURSE 665 MILES - CRAIG	MILEAGE	03/26/2026	482.13	80511
249-371-860-000	MILEAGE - TOM DEMAAGD	DEMAAGD, TOM	REIMBURSE 481 MILES - TOM D	MILEAGE	03/26/2026	348.73	80513
249-371-860-000	MILEAGE- HUYSER	HUYSER, DANIEL A.	REIMBURSE 598 MILES, HOTEL	REIMBURSEMENT	03/26/2026	433.55	80521
249-371-860-000	MILEAGE MILITO-	VINCENT MILITO	REIMBURSE 452 MILES - VINCE	MILEAGE	03/26/2026	327.70	80539
249-371-860-000	MILEAGE - D. ROWLADER	ROWLADER, DENNIS	REIMBURSE 264 MILES - DENNI	MILEAGE	03/26/2026	191.40	80532
249-371-860-000	MILEAGE - J. VANTIL	JEFFREY C. VANTIL	REIMBURSE 438 MILES - JEFF	MILEAGE	03/26/2026	317.55	80522
249-371-860-000	MILEAGE - DOUGLAS WEEKS	DOUGLAS WEEKS	REIMBURSE 178 MILES - DOUGL	MILEAGE	03/26/2026	129.05	80514
249-371-860-000	MILEAGE - PAUL WESTHOUSE	PAUL WESTHOUSE	REIMBURSE 452 MILES - PAUL	MILEAGE	03/26/2026	327.70	80530
249-371-860-000	MILEAGE WILSON	BRIAN WILSON	REIMBURSE 64 MILES - BRIAN	MILEAGE	03/26/2026	46.40	80504
249-371-860-000	MILEAGE	ZENOBIA, BLAKE	REIMBURSE 461 MILES - BLAKE	MILEAGE	03/26/2026	334.23	80540
249-371-860-000	MILEAGE - B. BOONENBERG	BOONENBERG, BRETT	REIMBURSE MEALS NOT PROVID	REIMBURSEMENT	03/26/2026	59.73	80503
249-371-860-000	MILEAGE - BLAKE ZENOBIA	ZENOBIA, BLAKE	REIMBURSE 524 MILES - BLAKE	MILEAGE	04/08/2026	379.90	80593
249-371-860-000	MILEAGE MILITO-	VINCENT MILITO	REIMBURSE 495 MILES - VINCE	MILEAGE	04/08/2026	358.88	80590
249-371-860-000	MILEAGE - M. BONNEY	MICHAEL BONNEY	REIMBURSE 191 MILES - MIKE	MILEAGE	04/08/2026	138.48	80576
249-371-860-000	MILEAGE - J. VANTIL	JEFFREY C. VANTIL	REIMBURSE 500 MILES - JEFF	MILEAGE	04/08/2026	362.50	80569
249-371-860-000	MILEAGE -TOM DEMAAGD	DEMAAGD, TOM	REIMBURSE 505 MILES - TOM D	MILEAGE	04/08/2026	366.13	80557
249-371-860-000	MILEAGE- WILSON	BRIAN WILSON	REIMBURSE 109 MILES - BRIAN	MILEAGE	04/08/2026	79.03	80547
249-371-860-000	MILEAGE - D. ROWLADER	ROWLADER, DENNIS	REIMBURSE 339 MILES - DENNI	MILEAGE	04/08/2026	245.78	80583
249-371-860-000	MILEAGE - CRAIG SMITH	CRAIG SMITH	REIMBURSE 504 MILES - CRAIG	MILEAGE	04/08/2026	365.40	80555
249-371-860-000	MILEAGE	PAUL WESTHOUSE	REIMBURSE 461 MILES - PAUL	MILEAGE	04/08/2026	334.23	80582
249-371-860-000	MILEAGE- HUYSER	HUYSER, DANIEL A.	REIMBURSE 398 MILES - DANIE	MILEAGE	04/08/2026	288.55	80567
249-371-923-000	9200 176 5118 2 5920 TAHOE DR	DTE ENERGY	CASCADE TOWNSHIP - DTE ENER	MULTIPLE	04/08/2026	347.09	80559
249-371-923-000	HEATING/UTILITY	CONSUMERS ENERGY	ACCT # 1030 3693 2491 / APR	20643754797	04/09/2026	683.05	10943
249-371-924-000	BUILDING PHONES	COMCAST	ACCT # 932769807 / COMCAST	265466506	03/26/2026	520.34	80509
249-371-924-000	BUILDING PHONES	COMCAST	CC MAGERS - SERVICES @ 2990	8529 11 273 0015086	04/08/2026	0.00	80562
249-371-924-000	BUILDING PHONES	COMCAST	CC MAGERS - SERVICES @ 2865	8529 11 273 0159454	04/08/2026	0.00	80562
249-371-924-100	BLDG CELL PHONES/IPADS/DATA	VERIZON WIRELESS	VERIZON CELL PHONES, IPAD/D	6137488472	04/08/2026	705.28	80589
249-371-939-000	SERVICE CONTRACTS	RICOH USA INC	PRINTER IMAGES - BLACK&WHIT	5072841610	03/27/2026	48.02	10924
249-371-939-000	SERVICE CONTRACTS	RICOH USA INC	COPIER/ PRINTER SERVICE AGR	5072916446	03/27/2026	112.95	10924
249-371-939-000	SERVICE CONTRACTS	FIRST CHOICE COFFEE SER	CUST # GR200813 / COFFEE SU	DT-1170335	04/09/2026	147.90	10948
249-371-939-000	SERVICE CONTRACTS	FIRST CHOICE COFFEE SER	CUST# GR200813	DT-1095640	04/09/2026	147.90	10948
249-371-939-000	SERVICE CONTRACTS- COMM DEVELOP.	BS&A SOFTWARE	BS&A CLOUD SOFTWARE/ APRIL	166280	04/08/2026	10,233.00	80548

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<b>Fund: 249 BUILDING FUND</b>							
<b>Department: 371 BUILDING DEPARTMENT</b>							
<b>Total Department 371 BUILDING DEPARTMENT</b>						<b>24,057.94</b>	
<b>Department: 964 PAYMENTS TO OTHER TOWNSHIPS</b>							
249-964-964-100	PERMITS DUE TO LOWELL TWP	LOWELL TOWNSHIP	MARCH BUILDING PERMITS DUE	BLDG PERMITS DUE	04/09/2026	2,721.00	10961
249-964-964-200	PERMITS DUE TO VERGENNES TWP	VERGENNES TOWNSHIP	MARCH BUILDING PERMITS DUE	BLDG PERMITS DUE	04/09/2026	2,649.40	10971
249-964-964-300	PERMITS DUE TO GR TWP	GRAND RAPIDS CHARTER TO	MARCH BUILDING PERMITS DUE	BLDG PERMITS DUE	04/08/2026	7,188.60	80565
249-964-964-400	PERMITS DUE TO ADA TWP	ADA TOWNSHIP	MARCH BUILDING PERMITS DUE	BLDG PERMITS DUE	04/09/2026	5,187.40	10934
249-964-964-500	PERMITS DUE TO EAST GR	EAST GRAND RAPIDS/CITY	MARCH BUILDING PERMITS DUE	BLDG PERMITS DUE	04/09/2026	2,747.40	10947
249-964-964-600	PERMITS DUE PLAINFIELD	PLAINFIELD CHARTER TOWN	MARCH BUILDING PERMITS DUE	BLDG PERMITS DUE	04/09/2026	9,914.50	10966
249-964-964-800	PERMITS DUE CASCADE TWP	CASCADE CHARTER TOWNSHI	MARCH BUILDING PERMITS DUE	BLDG PERMITS DUE	04/08/2026	20,290.10	80551
<b>Total Department 964 PAYMENTS TO OTHER TOWNSHIPS</b>						<b>50,698.40</b>	
<b>Total Fund 249 BUILDING FUND</b>						<b>102,010.02</b>	
<b>Fund: 271 LIBRARY FUND</b>							
<b>Department: 790 LIBRARY</b>							
271-790-921-000	1000 0028 4784 2870 JACK SMITH	CONSUMERS ENERGY	CONSUMER ENERGY BILLS FOR	MULTIPLE	04/09/2026	3,616.04	10943
271-790-923-000	LIBRARY HEATING DTE ENERGY	DTE ENERGY	CASCADE TOWNSHIP - DTE ENER	MULTIPLE	04/08/2026	1,561.58	80559
271-790-924-000	LIBRARY PHONES	COMCAST	ACCT # 932769807 / COMCAST	265466506	03/26/2026	0.00	80509
271-790-924-000	WISNER CENTER	VERIZON WIRELESS	VERIZON CELL PHONES, IPAD/D	6137488472	04/08/2026	10.02	80589
271-790-924-000	LIBRARY PHONES	COMCAST	CC MAGERS - SERVICES @ 2990	8529 11 273 0015086	04/08/2026	0.00	80562
271-790-924-000	LIBRARY PHONES	COMCAST	CC MAGERS - SERVICES @ 2865	8529 11 273 0159454	04/08/2026	0.00	80562
271-790-931-000	LIBRARY MAINTENANCE	ELEVATOR SERVICE INC	MAINTENANCE CONTRACT MARCH-	INV-53908-M5D7	03/26/2026	160.97	80515
271-790-931-000	LIBRARY MAINTENANCE	STAPLES	CLEANING SUPPLIES	6058340573	03/27/2026	825.30	10927
271-790-931-000	LIBRARY MAINTENANCE	THE HOME DEPOT CREDIT S	ACCT 6035 3221 5394 3356: W	3022222	04/08/2026	98.54	80587
271-790-931-000	LIBRARY MAINTENANCE- TRASH/ RECYC	ARROWASTE	ACCT # 91-153550 9/ WASTE	APRIL 2026	04/08/2026	237.96	80544
271-790-931-000	LIBRARY MAINTENANCE	B&V MECHANICAL INC.	MONTHLY MAINTENANCE @ LIBRA	111384	04/08/2026	607.75	80546
<b>Total Department 790 LIBRARY</b>						<b>7,118.16</b>	
<b>Total Fund 271 LIBRARY FUND</b>						<b>7,118.16</b>	
<b>Fund: 701 TRUST AND AGENCY</b>							
<b>Department: 000</b>							
701-000-254-000	PZE ESCROW OR BOND	TOREN KEVIN G & SHELLY	BOND RELEASE - TOREN KEVIN	00023378	04/08/2026	10,000.00	80588
<b>Total Department 000</b>						<b>10,000.00</b>	
<b>Total Fund 701 TRUST AND AGENCY</b>						<b>10,000.00</b>	
<b>Fund: 703 CURRENT TAX COLLECTION FUND</b>							
<b>Department: 000</b>							
703-000-230-002	CALEDONIA OPERATING	CALEDONIA COMMUNITY SCH	DELINQUENT TAX DISBURSEMENT	DQ2025-1	04/09/2026	7,813.17	10937
703-000-230-002	CALEDONIA - INTEREST	CALEDONIA COMMUNITY SCH	DELINQUENT TAX DISBURSEMENT	DQ2025-1	04/09/2026	170.52	10937
703-000-230-002	DELQ CALEDONIA DEBT	CALEDONIA COMMUNITY SCH	DELINQUENT TAX DISBURSEMENT	DQ 2025-1	04/09/2026	5,172.37	10938
703-000-230-002	DELQ TAX - DEBT INT	CALEDONIA COMMUNITY SCH	DELINQUENT TAX DISBURSEMENT	DQ 2025-1	04/09/2026	120.08	10938
703-000-230-002	DELQ FHPS - OPERATING	FOREST HILLS PUBLIC SCH	DELINQUENT TAX DISBURSEMENT	DQ 2025-1	04/09/2026	1,495.37	10950
703-000-230-002	DELQ FHPS - DEBT	FOREST HILLS PUBLIC SCH	DELINQUENT TAX DISBURSEMENT	DQ 2025-1	04/09/2026	787.61	10950
703-000-230-002	DELQ FHPS - RECREATION	FOREST HILLS PUBLIC SCH	DELINQUENT TAX DISBURSEMENT	DQ 2025-1	04/09/2026	128.71	10950
703-000-230-002	DELQ FHPS - INTEREST	FOREST HILLS PUBLIC SCH	DELINQUENT TAX DISBURSEMENT	DQ 2025-1	04/09/2026	93.25	10950
703-000-230-002	DELQ TAX - GRCC	GRAND RAPIDS COMMUNITY	DELINQUENT TAX DISBURSEMENT	DQ 2025-1	04/09/2026	232.44	10951
703-000-230-002	DELQ TAX - INTEREST	GRAND RAPIDS COMMUNITY	DELINQUENT TAX DISBURSEMENT	DQ 2025-1	04/09/2026	20.33	10951
703-000-230-002	DELQ TAX - KISD	KENT INTERMEDIATE SCHOO	DELINQUENT TAX DISBURSEMENT	DQ 2025-1	04/09/2026	740.81	10956
703-000-230-002	DELQ TAX - INTEREST	KENT INTERMEDIATE SCHOO	DELINQUENT TAX DISBURSEMENT	DQ 2025-1	04/09/2026	64.82	10956

INVOICE DISTRIBUTION REPORT FOR CASCADE CHARTER TOWNSHIP

POST DATES 03/26/2026 - 04/22/2026

Check runs between 3/26/26 - 4/22/2026

GL Number	Invoice Line Desc	Vendor Name	Invoice Description	Invoice Number	Check Date	Amount	Check Number
<b>Fund: 703 CURRENT TAX COLLECTION FUND</b>							
<b>Department: 000</b>							
703-000-230-002	DELQ TAX - INTEREST	KENT COUNTY TREASURER-S	DELINQUENT TAX DISBURSEMENT	DQ 2025-1	04/09/2026	72.47	10955
703-000-230-002	DELQ TAX - SET	KENT COUNTY TREASURER-S	DELINQUENT TAX DISBURSEMENT	DQ 2025-1	04/09/2026	829.47	10955
703-000-230-002	DELQ TAX - OPERATING	KENT COUNTY TREASURER	DELINQUENT TAX DISBURSEMENT	DQ 2025-1	04/09/2026	562.09	10954
703-000-230-002	DELQ TAX - JAIL	KENT COUNTY TREASURER	DELINQUENT TAX DISBURSEMENT	DQ 2025-1	04/09/2026	1,187.09	10954
703-000-230-002	DELQ TAX - SENIOR	KENT COUNTY TREASURER	DELINQUENT TAX DISBURSEMENT	DQ 2025-1	04/09/2026	786.15	10954
703-000-230-002	DELQ TAX - Z/M	KENT COUNTY TREASURER	DELINQUENT TAX DISBURSEMENT	DQ 2025-1	04/09/2026	661.62	10954
703-000-230-002	DELQ TAX - CHILD	KENT COUNTY TREASURER	DELINQUENT TAX DISBURSEMENT	DQ 2025-1	04/09/2026	395.83	10954
703-000-230-002	DELQ TAX - VETERANS	KENT COUNTY TREASURER	DELINQUENT TAX DISBURSEMENT	DQ 2025-1	04/09/2026	78.47	10954
703-000-230-002	DELQ TAX - INTEREST	KENT COUNTY TREASURER	DELINQUENT TAX DISBURSEMENT	DQ 2025-1	04/09/2026	115.89	10954
703-000-230-002	DELQ TAX - KDL	KENT DISTRICT LIBRARY	DELINQUENT TAX DISBURSEMENT	DQ 2025-1	04/08/2026	1,735.85	80571
703-000-230-002	DELQ TAX - INTEREST	KENT DISTRICT LIBRARY	DELINQUENT TAX DISBURSEMENT	DQ 2025-1	04/08/2026	37.26	80571
703-000-230-002	DELQ TAX - FIRE	CASCADE CHARTER TOWNSHI	DELINQUENT TAX DISBURSEMENT	DQ 2025-1	04/09/2026	2,968.58	10940
703-000-230-002	DELQ TAX - INTEREST	CASCADE CHARTER TOWNSHI	DELINQUENT TAX DISBURSEMENT	DQ 2025-1	04/09/2026	63.74	10940
703-000-230-002	DELQ TAX - LIBRARY	LIBRARY FUND	DELINQUENT TAX DISBURSEMENT	DQ 2025-1	04/09/2026	238.79	10960
703-000-230-002	DELQ TAX - INTEREST	LIBRARY FUND	DELINQUENT TAX DISBURSEMENT	DQ 2025-1	04/09/2026	5.15	10960
703-000-230-002	DELQ TAX - OPEN SPACE	CASCADE CHARTER TOWNSHI	DELINQUENT TAX DISBURSEMENT	DQ 2025-1	04/09/2026	359.67	10941
703-000-230-002	DELQ TAX - INTEREST	CASCADE CHARTER TOWNSHI	DELINQUENT TAX DISBURSEMENT	DQ 2025-1	04/09/2026	7.71	10941
703-000-230-002	DELQ TAX - PATHWAYS	PATHWAYS FUND	DELINQUENT TAX DISBURSEMENT	DQ 2025-1	04/09/2026	550.07	10965
703-000-230-002	DELQ TAX - INTEREST	PATHWAYS FUND	DELINQUENT TAX DISBURSEMENT	DQ 2025-1	04/09/2026	11.79	10965
703-000-230-002	DELQ TAX - POLICE	POLICE FUND	DELINQUENT TAX DISBURSEMENT	DQ 2005-1	04/09/2026	718.10	10967
703-000-230-002	DELQ TAX - INTEREST	POLICE FUND	DELINQUENT TAX DISBURSEMENT	DQ 2005-1	04/09/2026	15.43	10967
703-000-230-002	DELQ TAX - INTEREST	CASCADE CHARTER TWP	DELINQUENT TAX DISBURSEMENT	DQ 2025-1	04/08/2026	36.46	80552
703-000-230-002	DELQ TAX - OPERATING	CASCADE CHARTER TWP	DELINQUENT TAX DISBURSEMENT	DQ 2025-1	04/08/2026	1,521.08	80552
703-000-230-002	DELQ TAX - ADMIN	CASCADE CHARTER TWP	DELINQUENT TAX DISBURSEMENT	DQ 2025-1	04/08/2026	289.51	80552
703-000-230-002	DELQ TAX - PENALTY	CASCADE CHARTER TWP	DELINQUENT TAX DISBURSEMENT	DQ 2025-1	04/08/2026	863.13	80552
703-000-230-032	DELQ TAX OVER AND SHORT	CASCADE CHARTER TWP	DELINQUENT TAX DISBURSEMENT	DQ 2025-1	04/08/2026	(11.16)	80552
703-000-275-000	DUE TO TAXPAYERS	FOWLING WAREHOUSE	DPP TAX REFUND	03/11/2026	03/26/2026	116.75	80517
<b>Total Department 000</b>						<b>31,056.47</b>	
<b>Total Fund 703 CURRENT TAX COLLECTION FUND</b>						<b>31,056.47</b>	

Check runs between 3/26/26 - 4/22/2026

INVOICE DISTRIBUTION REPORT FOR CASCADE CHARTER TOWNSHIP

POST DATES 03/26/2026 - 04/22/2026

POSTED  
PAID

GL Number	Invoice Line Desc	Vendor Name	Invoice Description	Invoice Number	Check Date	Amount	Check Number	
--- TOTALS BY FUND ---								
		101	GENERAL FUND			217,204.26		
		206	FIRE FUND			72,632.87		
		207	POLICE FUND			66,263.63		
		208	OPEN SPACE FUND			1,408.72		
		218	HAZMAT FUND			1,018.61		
		248	DDA			15,125.75		
		249	BUILDING FUND			102,010.02		
		271	LIBRARY FUND			7,118.16		
		701	TRUST AND AGENCY			10,000.00		
		703	CURRENT TAX COLLECTION FUND			31,056.47		
		Total For All Funds:					523,838.49	

I certify that the items listed are valid claims against the resources of Cascade Charter Township, and that said items are in compliance with statutory, budgetary, and accounting requirements.

*Lorna Nenciarini*

Lorna Nenciarini  
Finance & Budget Director



# CASCADE CHARTER TOWNSHIP

5920 Tahoe Drive SE • Grand Rapids, MI 49546

## Cascade Planning Department Code Enforcement Monthly Report Month of March 2026

New Cases

3

Closed Cases

4

Total Open Cases

9

### Current Open Enforcement Cases

#### Enforcements by Status

04/15/2026

1/1

#### IN PROGRESS

Enforcement #	Address	Category	Filed	Closed
EN250114	7269 THORNCREST DR SE	ZONING	09/18/2025	
EN250159	5671 WHITNEYVILLE AVE SE	ZONING	12/15/2025	
EN260017	6313 GREENWAY DR SE	CASCADE TWP ORDINANC	02/17/2026	
EN260021	3897 BUTTRICK AVE SE	CASCADE TWP ORDINANC	03/05/2026	
EN260022	3585 APPLE HILL DR SE	CASCADE TWP ORDINANC	03/05/2026	

**Total # for In Progress: 5**

#### MONITOR

Enforcement #	Address	Category	Filed	Closed
EN250118	5138 THORNAPPLE RIV DR SE	ZONING	09/09/2025	
EN250133	2909 BURRWICK DR SE	CASCADE TWP ORDINANC	10/15/2025	
EN250154	3801 KRAFT AVE SE	ZONING	12/04/2025	
EN260005	7840 TIMBER BLUFF DR SE	ZONING	01/13/2026	

**Total # for Monitor: 4**

**Total # of Enforcements: 9**

## New Enforcement Cases Filed in March 2026

### IN PROGRESS

Enforcement #	Address	Category	Filed	Closed
EN260021	3897 BUTTRICK AVE SE	CASCADE TWP ORDINANC	03/05/2026	
EN260022	3585 APPLE HILL DR SE	CASCADE TWP ORDINANC	03/05/2026	

**Total # for In Progress: 2**

### RESOLVED

Enforcement #	Address	Category	Filed	Closed
EN260023	6384 CASCADE RD SE	CASCADE TWP ORDINANC	03/06/2026	04/02/2026

**Total # for Resolved: 1**

**Total # of Enforcements: 3**

# Enforcement Cases Closed in March 2026

## RESOLVED

Enforcement #	Address	Category	Filed	Closed
EN250150	6690 TANGLEWOOD DR SE	ZONING	11/14/2025	03/25/2026
EN250141	9425 28TH ST	ZONING	10/30/2025	03/24/2026
EN260002	7140 OAK BROOK ST SE	ZONING	01/07/2026	03/24/2026
EN260018	5441 36TH ST SE	CASCADE TWP ORDINANC	02/17/2026	03/06/2026

**Total # for Resolved: 4**

**Total # of Enforcements: 4**

## Inspection Summary for March 2026

Enforcement #	Address	Status	Filed	Closed
EN260030	7530 DOUBLOON DR SE	Resolved	04/03/26	04/09/26

Complaint: Commercial vehicle parking---No violation was found

Inspection Type	Status	Scheduled	Completed	Code Officer
General Code	No Violation	04/06/26	04/06/26	Ryan Sennett
General Code	No Violation	04/10/26	04/08/26	Ryan Sennett

Enforcement #	Address	Status	Filed	Closed
EN260023	6384 CASCADE RD SE	Resolved	03/06/26	04/02/26

Complaint: Accumulation of junk in the front yard

Inspection Type	Status	Scheduled	Completed	Code Officer
General Code	Violations	03/09/26	03/10/26	Ryan Sennett
General Code	Complied	03/24/26	04/02/26	Ryan Sennett

Enforcement #	Address	Status	Filed	Closed
EN250150	6690 TANGLEWOOD DR SE	Resolved	11/14/25	03/25/26

Complaint: POD storage container in driveway---Renovation has been completed, and POD containers removed

Inspection Type	Status	Scheduled	Completed	Code Officer
Ordinance	Completed	11/24/25	11/25/25	Ryan Sennett
Ordinance	Complied	03/24/26	03/24/26	Ryan Sennett

Enforcement #	Address	Status	Filed	Closed
EN250141	9425 28TH ST	Resolved	10/30/25	03/24/26

Complaint: Fence close to the road, blocking the view. Height above maximum allowance --- Height has been lowered, the property has been surveyed, and the homeowner has moved the fence north of the property line.

Inspection Type	Status	Scheduled	Completed	Code Officer
Ordinance	Violations	10/15/25	10/15/25	Ryan Sennett
Ordinance	Partially Complie	11/18/25	11/18/25	Ryan Sennett
Ordinance	Complied	05/01/26	03/24/26	Ryan Sennett

Enforcement #	Address	Status	Filed	Closed
EN260002	7140 OAK BROOK ST SE	Resolved	01/07/26	03/24/26

Complaint: Concern over new fence exceeding maximum height allowance --- coordinated with contractor over the winter, and confirmed fence heights with an inspection

Inspection Type	Status	Scheduled	Completed	Code Officer
Ordinance	No Violation	03/10/26	03/10/26	Ryan Sennett

## Inspection Summary Continued

Enforcement #	Address	Status	Filed	Closed
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EN260017	6313 GREENWAY DR SE	In Progress	02/17/26	
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Complaint: vehicle in driveway with no license plate

Inspection Type	Status	Scheduled	Completed	Code Officer
General Code	Completed	02/17/26	02/17/26	Ryan Sennett
Follow-Up Contact	No Violation	02/25/26	02/25/26	Ryan Sennett
General Code	Violations	03/25/26	03/25/26	Ryan Sennett
General Code	Completed	04/02/26	04/02/26	Ryan Sennett

Enforcement #	Address	Status	Filed	Closed
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EN260021	3897 BUTTRICK AVE SE	In Progress	03/05/26	
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Complaint: Recreational vehicle parking, accumulation of junk, and suspicion of business being operated from residential property.

Inspection Type	Status	Scheduled	Completed	Code Officer
General Code	Violations	03/09/26	03/10/26	Ryan Sennett
General Code	Scheduled	04/16/26		Ryan Sennett

Enforcement #	Address	Status	Filed	Closed
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EN260022	3585 APPLE HILL DR SE	In Progress	03/05/26	
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Complaint: Inoperable vehicle --- tow truck scheduled

Inspection Type	Status	Scheduled	Completed	Code Officer
General Code	Violations	03/09/26	03/10/26	Ryan Sennett
General Code	Violations	03/24/26	03/24/26	Ryan Sennett
General Code	Scheduled	04/16/26		Ryan Sennett

**INVOICE DISTRIBUTION REPORT FOR CASCADE CHARTER TOWNSHIP**  
 ALL DATES, POSTED AND UNPOSTED  
 OPEN

GL Number	Invoice Line Desc	Vendor Name	Invoice Description	Invoice Number	Check Date	Amount	Check Number
<b>Fund: 101 GENERAL FUND</b>							
<b>Department: 000</b>							
101-000-040-000	ACCOUNTS RECEIVABLE	KATHRYN MURAWSKI	REIMBURSEMENT OF NSF FEE DU	R091625		30.00	None
101-000-231-220	DEPENDENT LIFE W/H (C) GF	MUTUAL OF OMAHA INSURAN	GRP ID# G00AC5D 0001/ MUTUA	002067863492		3.90	None
101-000-231-220	DEPENDENT LIFE W/H (C) FIRE	MUTUAL OF OMAHA INSURAN	GRP ID# G00AC5D 0001/ MUTUA	002067863492		11.70	None
101-000-231-221	ADDITIONAL LIFE W/H (D) GF	MUTUAL OF OMAHA INSURAN	GRP ID# G00AC5D 0001/ MUTUA	002067863492		0.00	None
101-000-231-221	ADDITIONAL LIFE W/H (D) FIRE	MUTUAL OF OMAHA INSURAN	GRP ID# G00AC5D 0001/ MUTUA	002067863492		148.40	None
101-000-231-221	ADDITIONAL LIFE W/H (D) BLDG	MUTUAL OF OMAHA INSURAN	GRP ID# G00AC5D 0001/ MUTUA	002067863492		0.00	None
101-000-231-221	ADDITIONAL LIFE W/H (E) GF	MUTUAL OF OMAHA INSURAN	GRP ID# G00AC5D 0001/ MUTUA	002067863492		0.00	None
101-000-231-221	ADDITIONAL LIFE W/H (E) FIR	MUTUAL OF OMAHA INSURAN	GRP ID# G00AC5D 0001/ MUTUA	002067863492		114.80	None
101-000-231-221	ADDITIONAL LIFE W/H (E) BLDG	MUTUAL OF OMAHA INSURAN	GRP ID# G00AC5D 0001/ MUTUA	002067863492		0.00	None
101-000-667-003	RENTAL OF FACILITIES	DAVID PRATT	PAVILION RENTAL REFUND	REFUND		150.00	None
101-000-667-003	RENTAL OF FACILITIES	FLAVIA GAINES	PAVILION RENTAL REFUND	REFUND		100.00	None
<b>Total Department 000</b>						<b>558.80</b>	
<b>Department: 101 TOWNSHIP BOARD</b>							
101-101-924-100	TRUSTEE CELL PHONES/IPADS/DATA	VERIZON WIRELESS	ACCT#886527849-00001 / VERI	6140026433		115.37	None
<b>Total Department 101 TOWNSHIP BOARD</b>						<b>115.37</b>	
<b>Department: 172 TOWNSHIP MANAGER</b>							
101-172-924-100	MANAGER CELL PHONES/DATA	VERIZON WIRELESS	ACCT#886527849-00001 / VERI	6140026433		47.58	None
<b>Total Department 172 TOWNSHIP MANAGER</b>						<b>47.58</b>	
<b>Department: 201 FINANCE</b>							
101-201-924-100	FINANCE CELL PHONES/DATA	VERIZON WIRELESS	ACCT#886527849-00001 / VERI	6140026433		47.68	None
<b>Total Department 201 FINANCE</b>						<b>47.68</b>	
<b>Department: 215 CLERK</b>							
101-215-724-000	EDUCATION	ALBERTS, MICHELLE	REIMBURSE 150.6 MILES, MAMC	REIMBURSEMENT		65.59	None
101-215-860-000	CLERK MILEAGE	ALBERTS, MICHELLE	REIMBURSE 150.6 MILES, MAMC	REIMBURSEMENT		109.19	None
101-215-925-000	CLERK CELL PHONE/IPADS/DATA	VERIZON WIRELESS	ACCT#886527849-00001 / VERI	6140026433		10.02	None
<b>Total Department 215 CLERK</b>						<b>184.80</b>	
<b>Department: 225 ADMINISTRATIVE</b>							
101-225-727-000	OFFICE SUPPLIES	STAPLES	USB DRIVE	6060370268		7.76	None
101-225-826-000	LEGAL FEES	BLOOM SLUGGETT, PC	RE: 0057-003 - CASCADE TWP	28030		3,060.00	None
101-225-826-000	LEGAL FEES	FOSTER, SWIFT, COLLINS	CLIENT/MATTER # 87192-00041	937300		4,845.37	None
101-225-826-000	LEGAL FEES	FOSTER, SWIFT, COLLINS	MATTER# 87192-00001 / GENER	937303		6,585.42	None
101-225-900-000	PRINTING/PUBLISHING	FCPA HOLDINGS, LLC	2026 CASCADE CONNECTION EDI	369268011		5,912.90	None
101-225-924-100	ADMIN CELL PHONES/ IPADS/DATA	VERIZON WIRELESS	ACCT#886527849-00001 / VERI	6140026433		37.56	None
101-225-924-100	CELL PHONES/DATA- ARLO CAMERAS	VERIZON WIRELESS	ACCT#886527849-00001 / VERI	6140026433		160.04	None
101-225-939-000	SERVICE CONTRACTS	KONICA MINOLTA BUSINESS	MONTHLY MAINTENANCE 3/1/26	507501175		194.25	None
101-225-939-000	SERVICE CONTRACTS	KONICA MINOLTA BUSINESS	MONTHLY MAINTENANCE 3/1/26	507502010		45.30	None
101-225-939-000	SERVICE CONTRACTS	KONICA MINOLTA BUSINESS	MONTHLY MAINTENANCE 3/1/26	507501912		116.62	None
<b>Total Department 225 ADMINISTRATIVE</b>						<b>20,965.22</b>	
<b>Department: 228 INFORMATION TECHNOLOGY</b>							
101-228-850-000	COMMUNICATIONS	COMCAST	ACCT # 932769807 / COMCAST	267973418		2,082.68	None
101-228-939-000	SERVICE CONTRACTS	11:11 SYSTEMS, INC.	CONTRACT # 37192	71327128		1,079.37	None
<b>Total Department 228 INFORMATION TECHNOLOGY</b>						<b>3,162.05</b>	
<b>Department: 250 BENEFITS/INSURANCE</b>							
101-250-720-000	LIFE INSURANCE BENEFITS (A)	MUTUAL OF OMAHA INSURAN	GRP ID# G00AC5D 0001/ MUTUA	002067863492		254.25	None
101-250-720-000	LIFE AD&D BENEFITS (B)	MUTUAL OF OMAHA INSURAN	GRP ID# G00AC5D 0001/ MUTUA	002067863492		38.65	None

INVOICE DISTRIBUTION REPORT FOR CASCADE CHARTER TOWNSHIP

ALL DATES, POSTED AND UNPOSTED  
OPEN

GL Number	Invoice Line Desc	Vendor Name	Invoice Description	Invoice Number	Check Date	Amount	Check Number
<b>Fund: 101 GENERAL FUND</b>							
<b>Department: 250 BENEFITS/INSURANCE</b>							
101-250-720-000	LIFE LTD BENEFITS (F)	MUTUAL OF OMAHA INSURAN	GRP ID# G00AC5D 0001/ MUTUA	002067863492		664.53	None
101-250-720-000	LIFE STD BENEFITS (G)	MUTUAL OF OMAHA INSURAN	GRP ID# G00AC5D 0001/ MUTUA	002067863492		258.88	None
101-250-723-000	OTHER BENEFITS	UNEMPLOYMENT INSURANCE	CASCADE CHARTER TOWNSHIP Q	EAN: 802067		403.20	None
Total Department 250 BENEFITS/INSURANCE						1,619.51	
<b>Department: 253 TREASURER</b>							
101-253-724-000	EDUCATION	KORSTANGE, WINDY J	REIMBURSE MMTA 2026 BASIC I	REIMBURSEMENT		599.00	None
101-253-924-100	TREASURER'S CELL PHONES/IPADS/DAT	VERIZON WIRELESS	ACCT#886527849-00001 / VERI	6140026433		58.87	None
Total Department 253 TREASURER						657.87	
<b>Department: 257 ASSESSING</b>							
101-257-924-100	ASSESSING CELL PHONES/ IPDADS /DA	VERIZON WIRELESS	ACCT#886527849-00001 / VERI	6140026433		20.04	None
Total Department 257 ASSESSING						20.04	
<b>Department: 262 ELECTIONS</b>							
101-262-939-000	ELECTION S	VERIZON WIRELESS	ACCT#886527849-00001 / VERI	6140026433		137.04	None
Total Department 262 ELECTIONS						137.04	
<b>Department: 265 BUILDING AND GROUNDS</b>							
101-265-802-200	JANITORIAL & MAINTENANCE	KINGSLAND'S ACE	HARDWA CLEANING SUPPLIES	225115		20.18	None
101-265-863-000	VEHICLE MAINT	HOEKSTRA COMPANIES, LLC	MOWER PARTS	33686		447.34	None
101-265-863-000	VEHICLE MAINT	NAPA AUTO PARTS	VEHICLE BATTERIES	245894		393.50	None
101-265-863-000	VEHICLE MAINT	NAPA AUTO PARTS	OIL & FILTER	247164		35.08	None
101-265-863-000	VEHICLE MAINT	CARLETON EQUIPMENT	CYLINDER CLAMP	02-763188		749.31	None
101-265-863-000	VEHICLE MAINT	CARLETON EQUIPMENT	CREDIT	02-763311		(504.26)	None
101-265-863-000	VEHICLE MAINT	KINGSLAND'S ACE	HARDWA KEYS & CHAINSAW CHAIN	225016		64.39	None
101-265-863-000	VEHICLE MAINT	KINGSLAND'S ACE	HARDWA CHAIN FILES	225017		8.99	None
101-265-863-000	VEHICLE MAINT	KINGSLAND'S ACE	HARDWA SHOP TOOL	225101		17.09	None
101-265-863-000	VEHICLE MAINT	NAPA AUTO PARTS	VEHICLE MAINTENANCE	248894		1,224.48	None
101-265-924-100	BLDG AND GROUNDS CELL PHONES/ IPA	VERIZON WIRELESS	ACCT#886527849-00001 / VERI	6140026433		144.18	None
101-265-931-000	COMPLEX MAINTENANCE REPUBLIC	REPUBLIC SERVICES	ACCT# 3-0240-0360995: CCT G	0240-010293473		0.00	None
101-265-939-000	SERVICE CONTRACTS	GOOSE CONTROL OF WEST M	GOOSE HAZING: 3/1/26 - 3/31	260401		425.00	None
101-265-939-000	SERVICE CONTRACTS	CORPORATE CLEANING & FA	MONTHLY CLEANING	5959		1,706.00	None
101-265-981-500	UTILITY LOCATOR FOR MISDIGS	KINGSLAND'S ACE	HARDWA UTILITY LOCATOR FOR MISDIGS	225099		6,300.00	None
Total Department 265 BUILDING AND GROUNDS						11,031.28	
<b>Department: 270 HUMAN RESOURCES</b>							
101-270-924-100	HR CELL PHONES/DATA	VERIZON WIRELESS	ACCT#886527849-00001 / VERI	6140026433		58.87	None
Total Department 270 HUMAN RESOURCES						58.87	
<b>Department: 276 CEMETERY</b>							
101-276-932-000	CEMETERY MAINT	THORNAPPLE RIVER NURSER	TOPSOIL	1640658		240.00	None
101-276-932-000	CEMETERY MAINT	THORNAPPLE RIVER NURSER	TOPSOIL	1640662		120.00	None
Total Department 276 CEMETERY						360.00	
<b>Department: 443 YARD WASTE REMOVAL</b>							
101-443-820-000	SPRING/ FALL CLEANUP	REPUBLIC SERVICES	ACCT# 3-0240-0360995: CCT G	0240-010293473		125.00	None
Total Department 443 YARD WASTE REMOVAL						125.00	
<b>Department: 701 PLANNING</b>							
101-701-801-000	CONTRACT SERVICES	MCKENNA ASSOCIATES, INC	CASCADE TWP ZONING ORDINANC	24-091 -16		1,890.00	None
101-701-925-000	COMM DEV CELL/IPADS/DATA	VERIZON WIRELESS	ACCT#886527849-00001 / VERI	6140026433		75.12	None

**INVOICE DISTRIBUTION REPORT FOR CASCADE CHARTER TOWNSHIP**  
 ALL DATES, POSTED AND UNPOSTED  
 OPEN

GL Number	Invoice Line Desc	Vendor Name	Invoice Description	Invoice Number	Check Date	Amount	Check Number
<b>Fund: 101 GENERAL FUND</b>							
<b>Department: 701 PLANNING</b>							
						<b>Total Department 701 PLANNING</b>	<b>1,965.12</b>
<b>Department: 756 PARKS</b>							
101-756-756-000	PARK OPERATING SUPPLIES	KINGSLAND'S ACE	HARDWA PARK SUPPLIES	225011		24.12	None
101-756-756-000	PARK OPERATING SUPPLIES	KINGSLAND'S ACE	HARDWA PARK SUPPLIES	225059		25.13	None
101-756-756-000	PARK OPERATING SUPPLIES	KINGSLAND'S ACE	HARDWA TRASH BIN	225070		39.98	None
101-756-756-000	PARK OPERATING SUPPLIES	KINGSLAND'S ACE	HARDWA KEY	225085		4.49	None
101-756-756-000	PARK OPERATING SUPPLIES	KINGSLAND'S ACE	HARDWA AMERICAN FLAGS	225100		233.98	None
101-756-756-000	PARK OPERATING SUPPLIES	KINGSLAND'S ACE	HARDWA SUPPLIES	225206		15.81	None
101-756-850-000	PARK COMMUNICATIONS	VERIZON WIRELESS	ACCT#886527849-00001 / VERI	6140026433		38.83	None
101-756-880-000	COMMUNITY PROMOTION	ANGELA FLETCHER	MARCH 28, 2026 @ REC PARK,	EASTER BUNNY		250.00	None
101-756-880-000	COMMUNITY PROMOTION	KINGSLAND'S ACE	HARDWA TAPE	225164		29.08	None
101-756-935-000	PARK MAINTENANCE	KINGSLAND'S ACE	HARDWA SCREWS & WASHERS	225013		36.88	None
101-756-935-000	PARK MAINTENANCE	KINGSLAND'S ACE	HARDWA TWIST CONNECTOR	225097		2.15	None
101-756-935-000	PARK MAINTENANCE	KINGSLAND'S ACE	HARDWA BLACKTOP REPAIR	225165		158.33	None
101-756-935-000	PARK MAINTENANCE	AQUARIUS LAWN SPRINKLIN	PARKS MAINTENANCE	92617		3,079.03	None
101-756-935-000	PARK MAINTENANCE	CARLETON EQUIPMENT	MACHINE RENTAL	02-760889		175.00	None
101-756-935-000	PARK MAINTENANCE	CARLETON EQUIPMENT	MACHINE RENTAL	02-761110		175.00	None
101-756-935-000	PARK MAINTENANCE REPUBLIC	REPUBLIC SERVICES	ACCT# 3-0240-0360995: CCT G	0240-010293473		0.00	None
101-756-939-000	SERVICE CONTRACTS	SUPERIOR PEST CONTROL I	B&G BURTON GARAGE - REGULAR	98369		60.00	None
101-756-939-000	SERVICE CONTRACTS	SUPERIOR PEST CONTROL I	CASCADE TOWNSHIP - REGULAR	98376		50.00	None
101-756-939-000	SERVICE CONTRACTS	GREENLINE	MOLE TRAPPING	256037		1,200.00	None
						<b>Total Department 756 PARKS</b>	<b>5,597.81</b>
<b>Department: 803 HISTORICAL</b>							
101-803-961-000	MUSEUM MAINTENANCE	SUPERIOR PEST CONTROL I	CASCADE MUSEUM - REGULAR SE	98360		55.00	None
						<b>Total Department 803 HISTORICAL</b>	<b>55.00</b>
<b>Department: 990 DEBT SERVICE</b>							
101-990-991-008	FIRE ST. #1 BOND PRINCIPAL PAYMEN	ARGENT INSTITUTIONAL TR	ACCT# 334037214723/ 2022 CA	CASCDCCTCI22		215,000.00	None
101-990-994-001	BOND INTEREST & FEES	ARGENT INSTITUTIONAL TR	ACCT# 334037214723/ 2022 CA	CASCDCCTCI22		102,500.00	None
						<b>Total Department 990 DEBT SERVICE</b>	<b>317,500.00</b>
						<b>Total Fund 101 GENERAL FUND</b>	<b>364,209.04</b>
<b>Fund: 206 FIRE FUND</b>							
<b>Department: 250 BENEFITS/INSURANCE</b>							
206-250-720-000	LIFE INSURANCE BENEFITS (A)	MUTUAL OF OMAHA INSURAN GRP	ID# G00AC5D 0001/ MUTUA	002067863492		373.25	None
206-250-720-000	LIFE AD&D BENEFITS (B)	MUTUAL OF OMAHA INSURAN GRP	ID# G00AC5D 0001/ MUTUA	002067863492		56.74	None
206-250-720-000	LIFE LTD BENEFITS (F)	MUTUAL OF OMAHA INSURAN GRP	ID# G00AC5D 0001/ MUTUA	002067863492		993.66	None
206-250-720-000	LIFE STD BENEFITS (G)	MUTUAL OF OMAHA INSURAN GRP	ID# G00AC5D 0001/ MUTUA	002067863492		387.45	None
						<b>Total Department 250 BENEFITS/INSURANCE</b>	<b>1,811.10</b>
<b>Department: 336 FIRE DEPARTMENT</b>							
206-336-723-000	FIRE MEMBERSHIP AND DUES	POOLMAN, MICHAEL	REIMBURSE EMT LICENSE - MIC	REIMBURSEMENT		25.00	None
206-336-738-000	FIRE MAINT SUPPLIES	KINGSLAND'S ACE	HARDWA CLEANING SUPPLIES	225131		17.26	None
206-336-745-000	FIRE FUELS	AUTOZONE	DIESEL EXHAUST FLUID	05023327058		36.84	None
206-336-752-000	SUPPLIES	KINGSLAND'S ACE	HARDWA TARP	225034		31.49	None
206-336-752-151	SUPPLIES	KINGSLAND'S ACE	HARDWA SUPPLIES	225145		36.08	None
206-336-790-000	FIRE PREVENTION - INVESTIGATION	KINGSLAND'S ACE	HARDWA FIRE PREVENTION	225107		189.06	None
206-336-802-000	CONTRACTUAL SERVICES	HUMATIX, LLC.	YEAR 2 OF 3 CONTRACT WITH A	HUMAT10029		2,600.00	None
206-336-802-000	CONTRACTUAL SERVICES	B&V MECHANICAL INC.	APRIL MONTHLY BILLING	111382		235.41	None

INVOICE DISTRIBUTION REPORT FOR CASCADE CHARTER TOWNSHIP

ALL DATES, POSTED AND UNPOSTED  
OPEN

GL Number	Invoice Line Desc	Vendor Name	Invoice Description	Invoice Number	Check Date	Amount	Check Number
<b>Fund: 206 FIRE FUND</b>							
<b>Department: 336 FIRE DEPARTMENT</b>							
206-336-802-000	CONTRACTUAL SERVICES	B&V MECHANICAL INC.	APRIL MONTHLY BILLING	111383		525.00	None
206-336-802-000	CONTRACTUAL SERVICES	KENT COUNTY EMERGENCY	QUARTERLY ASSESSMENT	6407		298.18	None
206-336-850-000	FIRE COMMUNICATIONS	VERIZON WIRELESS	ACCT#886527849-00001 / VERI	6140026433		1,326.40	None
206-336-863-000	VEHICLE MAINT	3RD COAST UPFITTING	VEHICLE MAINTENANCE	181		437.50	None
206-336-863-000	VEHICLE MAINT	NAPA AUTO PARTS	MI TOPPER #12	247997		71.98	None
206-336-863-000	VEHICLE MAINT	KINGSLAND'S ACE	HARDWA SUPPLIES	225065		34.51	None
206-336-863-000	VEHICLE MAINT	KINGSLAND'S ACE	HARDWA BALL VALVE	225071		25.19	None
206-336-936-002	FIRE STATION MAINT/BUTTRICK	KINGSLAND'S ACE	HARDWA PROPANE, BULBS	225024		51.27	None
206-336-936-002	FIRE STATION MAINT REPUBLIC	REPUBLIC SERVICES	ACCT# 3-0240-0360995: CCT G	0240-010293473		0.00	None
206-336-937-000	FIRE RADIO MAINT	KINGSLAND'S ACE	HARDWA MAINTENANCE SUPPLIES	225199		30.58	None
206-336-938-000	FIRE EQUIPMENT MAINT	DINGES FIRE CO.	EQUIPMENT	84738		2,458.16	None
Total Department 336 FIRE DEPARTMENT						8,429.91	
Total Fund 206 FIRE FUND						10,241.01	
<b>Fund: 208 OPEN SPACE FUND</b>							
<b>Department: 990 DEBT SERVICE</b>							
208-990-991-201	BOND PRINCIPAL REFINANCE	CHASE BANK	ACCT # 452008288001- BILLIN	0000000395		307,000.00	None
208-990-993-201	BOND INTEREST REFINANCE	CHASE BANK	ACCT # 452008288001- BILLIN	0000000395		9,147.10	None
Total Department 990 DEBT SERVICE						316,147.10	
Total Fund 208 OPEN SPACE FUND						316,147.10	
<b>Fund: 248 DDA</b>							
<b>Department: 190 DDA OPERATIONS/CONSTRUCTION</b>							
248-190-787-000	DDA MEETING PASTRIES	STINE, JESSICA A	REIMBURSE PASTRIES FOR DDA	REIMBURSEMENT		161.29	None
248-190-924-100	DDA CELL PHONES/ IPADS/ DATA	VERIZON WIRELESS	ACCT#886527849-00001 / VERI	6140026433		38.85	None
Total Department 190 DDA OPERATIONS/CONSTRUCTION						200.14	
<b>Department: 901 CAPITAL OUTLAY</b>							
248-901-974-000	CAPITAL OUTLAY - LANDIMP	TROYER GROUP	PROJ: 250126.0 / TASSELL PA	66246		58,384.50	None
Total Department 901 CAPITAL OUTLAY						58,384.50	
Total Fund 248 DDA						58,584.64	
<b>Fund: 249 BUILDING FUND</b>							
<b>Department: 250 BENEFITS/INSURANCE</b>							
249-250-720-000	LIFE INSURANCE BENEFITS (A)	MUTUAL OF OMAHA INSURAN	GRP ID# G00AC5D 0001/ MUTUA	002067863492		141.88	None
249-250-720-000	LIFE AD&D BENEFITS (B)	MUTUAL OF OMAHA INSURAN	GRP ID# G00AC5D 0001/ MUTUA	002067863492		21.56	None
249-250-720-000	LIFE LTD BENEFITS (F)	MUTUAL OF OMAHA INSURAN	GRP ID# G00AC5D 0001/ MUTUA	002067863492		363.57	None
249-250-720-000	LIFE STD BENEFITS (G)	MUTUAL OF OMAHA INSURAN	GRP ID# G00AC5D 0001/ MUTUA	002067863492		149.49	None
Total Department 250 BENEFITS/INSURANCE						676.50	
<b>Department: 371 BUILDING DEPARTMENT</b>							
249-371-787-200	CREDIT CARD FEES	BS&A SOFTWARE	INTEGRATED PAYMENTS ABSORBE	168208		4,395.18	None
249-371-860-000	MILEAGE - CRAIG SMITH	CRAIG SMITH	REIMBURSE 223 MILES - CRAIG	MILEAGE		161.68	None
249-371-860-000	MILEAGE - M. BONNEY	MICHAEL BONNEY	REIMBURSE 433 MILES - MIKE	MILEAGE		313.93	None
249-371-860-000	MILEAGE - J. VANTIL	JEFFREY C. VANTIL	REIMBURSE 512 MILES - JEFF	MILEAGE		371.20	None
249-371-860-000	MILEAGE MILITO-	VINCENT MILITO	REIMBURSE 441 MILES - VINCE	MILEAGE		319.73	None
249-371-860-000	MILEAGE- HUYSER	HUYSER, DANIEL A.	REIMBURSE 450 MILES - DANIE	MILEAGE		326.25	None
249-371-860-000	MILEAGE - PAUL WESTHOUSE	PAUL WESTHOUSE	REIMBURSE 102 MILES - PAUL	MILEAGE		73.95	None
249-371-860-000	MILEAGE - DOUGLAS WEEKS	DOUGLAS WEEKS	REIMBURSE 198 MILES - DOUGL	MILEAGE		143.55	None
249-371-860-000	MILEAGE - BLAKE ZENOBIA	ZENOBIA, BLAKE	REIMBURSE 521 MILES - BLAKE	MILEAGE		377.73	None

INVOICE DISTRIBUTION REPORT FOR CASCADE CHARTER TOWNSHIP

ALL DATES, POSTED AND UNPOSTED  
OPEN

GL Number	Invoice Line Desc	Vendor Name	Invoice Description	Invoice Number	Check Date	Amount	Check Number
<b>Fund: 249 BUILDING FUND</b>							
<b>Department: 371 BUILDING DEPARTMENT</b>							
249-371-860-000	MILEAGE - TOM DEMAAGD	DEMAAGD, TOM	REIMBURSE 470 MILES - TOM D	MILEAGE		340.75	None
249-371-860-000	MILEAGE - D. ROWLADER	ROWLADER, DENNIS	REIMBURSE 300 MILES - DENNI	MILEAGE		217.50	None
249-371-924-100	BLDG CELL PHONES/IPADS/DATA	VERIZON WIRELESS	ACCT#886527849-00001 / VERI	6140026433		712.62	None
249-371-939-000	SERVICE CONTRACTS	RICOH USA INC	COPIER/PRINTER SERVICE AGRE	5073075524		210.85	None
Total Department 371 BUILDING DEPARTMENT						7,964.92	
Total Fund 249 BUILDING FUND						8,641.42	
<b>Fund: 271 LIBRARY FUND</b>							
<b>Department: 790 LIBRARY</b>							
271-790-802-200	JANITORIAL & MAINTENANCE	CORPORATE CLEANING & FA	MONTHLY CLEANING	5959		5,596.70	None
271-790-924-000	LIBRARY PHONES	VERIZON WIRELESS	ACCT#886527849-00001 / VERI	6140026433		10.02	None
271-790-931-000	LIBRARY MAINTENANCE	KINGSLAND'S ACE	HARDWA LADDER HANGER	225110		53.38	None
271-790-931-000	LIBRARY MAINTENANCE	KINGSLAND'S ACE	HARDWA MAINTENANCE SUPPLIES	225152		101.34	None
271-790-931-000	LIBRARY MAINTENANCE	BATTERIES PLUS - 383	LIBRARY MAINTENANCE	P90395975		506.10	None
271-790-931-000	LIBRARY MAINTENANCE REPUBLIC	REPUBLIC SERVICES	ACCT# 3-0240-0360995: CCT G	0240-010293473		0.00	None
271-790-931-000	LIBRARY MAINTENANCE	SUPERIOR PEST CONTROL I	CASCADE LIBRARY - REGULAR S	98357		70.00	None
Total Department 790 LIBRARY						6,337.54	
Total Fund 271 LIBRARY FUND						6,337.54	
<b>Fund: 701 TRUST AND AGENCY</b>							
<b>Department: 000</b>							
701-000-222-175	DOG LICENSE	KENT COUNTY - ANIMAL S	KENT COUNTY DOG LICENSES	AS25-2026-Q1		451.00	None
Total Department 000						451.00	
Total Fund 701 TRUST AND AGENCY						451.00	

INVOICE D R TION REPORT FOR CASCADE CHARTER TOWNSHIP  
 ALL DATES, POSTED AND UNPOSTED  
 OPEN

Check Run 4/23/26

GL Number	Invoice Line Desc	Vendor Name	Invoice Description	Invoice Number	Check Date	Amount	Check Number	
--- TOTALS BY FUND ---								
		101	GENERAL FUND			364,209.04		
		206	FIRE FUND			10,241.01		
		208	OPEN SPACE FUND			316,147.10		
		248	DDA			58,584.64		
		249	BUILDING FUND			8,641.42		
		271	LIBRARY FUND			6,337.54		
		701	TRUST AND AGENCY			451.00		
		Total For All Funds:					764,611.75	

I certify that the items listed are valid claims against the resources of Cascade Charter Township, and that said items are in compliance with statutory, budgetary, and accounting requirements.

*Lorna Nenciarini*

Lorna Nenciarini  
 Finance & Budget Director

RBA Intro: March 25, 2026  
DRAFT Final: April 17, 2026  
Approved:  
Published Date:

**CASCADE CHARTER TOWNSHIP  
KENT COUNTY, MICHIGAN**

**RESOLUTION NO. 019-2026  
A RESOLUTION TO ADOPT AN ORDINANCE TO AMEND THE ZONING  
ORDINANCE REGARDING MORATORIUMS**

At a meeting of the Township Board of Cascade Charter Township, Kent County, Michigan, held in the Wisner Center, 2870 Jacksmith Avenue SE, Grand Rapids, Michigan 49546 on the 22<sup>nd</sup> day of April, 2026, at 7:00 p.m.

PRESENT: \_\_\_\_\_

ABSENT: \_\_\_\_\_

The following preamble and resolution was offered by \_\_\_\_\_  
and seconded by \_\_\_\_\_.

WHEREAS, the Michigan Zoning Enabling Act, 2006 P.A. 110, being MCL 125.3101 *et seq.*, authorizes Cascade Charter Township (“Township”) to adopt reasonable regulations to control the establishment and use of land in the Township; and

WHEREAS, the Township introduced on March 25, 2026, amendments to its Zoning Ordinance to, among other things, allow for the adoption of a moratorium on the review or issuance of any applications, permits, rezonings, licenses, or approvals for existing, new, or emerging land uses in the Township by resolution; and

WHEREAS, the Township finds that adopting such amendments are in the best interest of the public health, safety, and welfare.

THEREFORE, the Township Board of the Charter Township of Cascade resolves as follows:

RBA Intro: March 25, 2026  
DRAFT Final: April 17, 2026  
Approved:  
Published Date:

1. The Township hereby adopts Ordinance No.007-2026, An Ordinance To Amend The Zoning Ordinance Regarding Moratoriums (the "Ordinance"), attached as Exhibit A.

2. Pursuant to Section 20 of the Michigan Charter Township Act, Act 82 of 1994, MCL 42.1 *et seq.* (the "Act"), the Clerk is directed to publish the Ordinance in accordance with Section 8 of the Act by posting it in the office of the Clerk and on the Township's web site. The Clerk is further directed to publish notice of the posting in a form in accordance with the law in a newspaper of general circulation in the Township within seven (7) days after the posting. The notice, which shall be substantially in the form attached as Exhibit B, shall describe the purpose of the Ordinance and state that the Ordinance is posted in the office of the Clerk and on the Township's web site.

3. Any resolutions or portions of resolutions that are inconsistent with this resolution are hereby repealed.

Upon a roll call vote, the following voted:

YEAS: \_\_\_\_\_

NAYS: \_\_\_\_\_

The Supervisor declared Resolution No. 019-2026 adopted.

I, Susan Slater, Township Clerk of the Cascade Charter Township, hereby certify this to be a true and complete copy of Resolution No. 019-2026, duly adopted at a meeting of the Township Board held on the 22nd day of April, 2026.

---

Susan B. Slater, Clerk  
Cascade Charter Township

RBA Intro: March 25, 2026  
DRAFT Final: April 17, 2026  
Approved:  
Published Date:

**CERTIFICATION**

I HEREBY CERTIFY that the foregoing is a true and complete copy of a resolution adopted by the Township Board of Cascade Charter Township, County of Kent, Michigan, at a regular meeting held on April 22, 2026, and that said meeting was conducted and public notice of said meeting was given pursuant to and in full compliance with the Open Meetings Act, being Act 267, Public Acts of Michigan, 1976, and that the minutes of said meeting were kept and will be or have been made available as required by said Act.

---

Susan B. Slater, Clerk  
Cascade Charter Township

RBA Intro: March 25, 2026  
DRAFT Final: March 19, 2026  
Approved:  
Published Date:

**EXHIBIT A**

**CASCADE CHARTER TOWNSHIP  
ORDINANCE NO.007-2026  
AN ORDINANCE TO AMEND THE ZONING ORDINANCE REGARDING  
MORATORIUMS**

Cascade Charter Township ordains:

**Section 1. Addition of New Section \_\_\_\_\_ to the Zoning Ordinance.**

A new Section \_\_\_\_\_ is added to the Zoning Ordinance and reads in its entirety as follows:

Section \_\_\_\_\_ – Moratorium by Resolution

The Township Board may, by resolution, impose a temporary moratorium on the review or issuance of any applications, permits, rezonings, licenses, or approvals for existing, new, or emerging land uses in the Township if the Township Board determines that a temporary moratorium is necessary to review, enact, or amend provisions of the master plan or zoning ordinance to address land uses that may impact the health, safety, or welfare of Township residents or property. A temporary moratorium may also be imposed by the Township Board upon the recommendation of the Planning Commission when the Planning Commission determines that a moratorium is needed to allow it sufficient time to review and recommend amendments to the master plan or zoning ordinance concerning existing, new, or emerging land uses that may adversely affect the health, safety, or welfare of Township residents or property. The resolution must state the purpose of the moratorium and include findings of the Township Board or Planning Commission in support of the moratorium and why the Township Board has determined that the temporary moratorium is necessary and in the best interest of the public health, safety, or welfare. Any resolution adopted pursuant to this Section must specify the length of the initial moratorium which shall not exceed twelve (12) months. In addition to the initial moratorium, the Township Board may extend the temporary moratorium if the Township Board determines that more time is necessary to review, enact, or amend provisions of the master plan or zoning ordinance to regulate land uses. Any extension shall not exceed six (6) additional months. Notice of the resolution must be published within fifteen (15) days of its adoption. The notice must include the following:

1. A summary of the resolution's effect.
2. The length of the moratorium and whether an extension is possible.
3. Where the public may inspect the resolution enacting the moratorium.

**Section 2. Validity and Severability.**

If any portion of this Ordinance is found invalid for any reason, such holding will not affect the validity of the remaining portions of this Ordinance.

**Section 3. Repealer.**

Any ordinances or parts of ordinances that conflict with this Ordinance are repealed, but only to the extent necessary to give this Ordinance full force and effect.

**Section 4. Effective Date.**

This Ordinance takes effect upon the expiration of seven (7) days after its publication pursuant to law.

**EXHIBIT B**

**PLEASE TAKE NOTICE** that at its meeting on April 22, 2026, at 7: 00p.m, the Cascade Charter Township Board adopted an ordinance entitled “An Ordinance to Amend the Zoning Ordinance Regarding Moratoriums,” at Wisner Center, 2870 Jacksmith Avenue SE, Grand Rapids, Michigan 49546. The adopted ordinance amends the Zoning Ordinance to allow the Township Board to enact moratoriums for specific land uses via resolution.

The adopted ordinance is available in its entirety for public inspection. The adopted ordinance is posted at the office of the Township Clerk, 5920 Tahoe Dr. SE, Grand Rapids, MI 49546-7123 and on the website of the Charter Township of Cascade, [cascadetwp.com](http://cascadetwp.com).

Susan Slater, Clerk  
Cascade Charter Township Hall  
5920 Tahoe Dr. SE  
Grand Rapids, MI 49546-7123  
(616) 949-1508



# CASCADE CHARTER TOWNSHIP

5920 Tahoe Drive SE • Grand Rapids, MI 49546

## REQUEST FOR BOARD ACTION

**MEETING DATE: April 22, 2026**

**ITEM:** Introduction of an Ordinance No. 006-2026 to amend Ordinance #8 of 2004, the Waterfall Shoppes PUD as presented in the attached "Ordinance to Amend the Waterfall Shoppes Planned Unit Development AKA "PUD-76".

**PRESENTER:** Kyle Mucha, McKenna

**INDIVIDUAL PRESENT:** Costco Wholesale

### **EXECUTIVE SUMMARY:**

The Waterfall Shoppes development is an existing mix of different uses involving general retail, restaurant, offices, and hotels. The Township Board granted approval of the Waterfall Shoppes Planned Unit Development ("PUD-76") on April 14, 2004, to develop the 118 acres consisting of a Showcase movie theatre, the old drive-in theater, wetlands, and vacant property, located at 5100 28<sup>th</sup> St SE. The approval also rezoned the property from B-2 and I-Industrial to PUD-76. The subject parcel is in the western portion of PUD 76.

The applicant (Costco Warehouse) is proposing an expansion of the existing Costco fuel facility. Phase 1 of the development (Costco Warehouse Building & Gas Station) states that the site be developed in accordance with the site plan dated March 22, 2004. Therefore, a change to the warehouse building or fuel facility requires a PUD amendment. The signage for the site is regulated by Section X, which states the signs in Phase 1 are limited to those shown in the Elevation Plan dated 12/23/2003. The proposed plans include replacing the signs included in the 12/23/2003 Elevation Plan. Currently, the gas station canopy has two additional signs that are not allowed per the approved Elevation Plan, for a total of four signs on the canopy. Staff could not find record of when these additional signs were added, or if approval was obtained. To replace all four existing signs on the canopy, a PUD text amendment is required to approve the additional two signs.

The proposed expansion project includes the following:

- An approximately 7,860-square-foot fueling canopy addition
- Installation of six (6) new multi-product dispensers (MPDs) (12 MPDs total)
- One (1) 40,000-gallon premium underground storage tank (UST)
- A new controller enclosure
- Relocation of the existing transformer

- Conversion of the existing premium UST to regular
- Relocation of three (3) dispensers
- A new VST
- Replacement of four (4) existing canopy signs
- Site reconfiguration and associated site improvements

## **MARCH 16th, 2026 PLANNING COMMISSION**

### **Summary of Public Comments**

None.

### **Case #26-3912 Planning Commission Motion - March 16th, 2026**

Motion by Vice Chair Kraemer to RECOMMEND APPROVAL of Case #26-3912, for a PUD amendment to the approved Site Plan to allow for site improvements and existing signage at the fuel facility at 5100 28th Street SE, for the following reasons:

1. The amendment to the PUD Ordinance satisfies the PUD standards of review and approval outlined in Section 16.03 of the Cascade Township Zoning Ordinance.

Supported by Treasurer Korstange.

Motion carried unanimously.

### **STRATEGIC PLANS/GOALS:**

#### **Land Use and Economic Development: Priority 2**

Ensure that zoning processes are clear, efficient, and promote both economic development and Township planning goals.

**BUDGET IMPLICATIONS:** No budget implications.

### **IMPLEMENTATION PLAN:**

- March 16, 2026: Planning Commission Public Hearing
- **April 22, 2026: Introduce Ordinance to Amend the approved site plan.**
- May 4, 2026: Adopt the Ordinance to Amend the approved site plan.
- Amendment is effective seven (7) days after the Ordinance is published.

**DIRECTOR'S RECOMMENDATION:** Yes

**MANAGER'S RECOMMENDATION:** Yes

**ACTION REQUESTED:** Motion to introduce an Ordinance to Amend Ordinance #8 of 2004, the Waterfall Shoppes PUD as presented in the attached "Ordinance to Amend the Waterfall Shoppes Planned Unit Development AKA "PUD-76".

### **ATTACHMENTS:**

1. Resolution & Ordinance
2. March 16<sup>th</sup>, 2026, Planning Commission Packet (pages 9-50)
3. DRAFT March 16<sup>th</sup>, 2026 Planning Commission Meeting Minutes

RBA Introduction: April 22, 2026

DRAFT Resolution:

Approved:

Published:

**CASCADE CHARTER TOWNSHIP  
KENT COUNTY, MICHIGAN**

**RESOLUTION NO. 020-2026**

**A RESOLUTION TO INTRODUCE ORDINANCE 006-2026 TO AMEND THE  
TOWNSHIP ZONING ORDINANCE NO. 008 OF 2004 THE WATERFALL SHOPPES  
PLANNED UNIT DEVELOPMENT PROJECT**

At a meeting of the Township Board of Cascade Charter Township, Kent County, Michigan, held in the Wisner Center, 2870 Jacksmith Avenue SE, Grand Rapids, Michigan 49546 on the 22<sup>nd</sup> day of April 2026, at 7:00 p.m.

PRESENT: \_\_\_\_\_

ABSENT:

The following preamble and resolution was offered by \_\_\_\_\_  
and seconded by \_\_\_\_\_.

WHEREAS, the Michigan Zoning Enabling Act, 2006 P.A. 110, being MCL 125.3101 *et seq.*, authorizes Cascade Charter Township (“Township”) to adopt reasonable regulations to control the establishment and use of Planned Unit Developments in the Township;  
and

WHEREAS, the Township wishes to consider amendments to its Zoning Ordinance to, among other things, amend the Waterfall Shoppes Planned Unit Development Project; and

WHEREAS, the Township finds that adopting such amendments are in the best interest of the public health, safety, and welfare.

THEREFORE, the Township Board of the Charter Township of Cascade resolves as follows:

1. The Township hereby introduces Ordinance No. 006-2026, An Ordinance to Amend the Township Zoning Ordinance No. 008 Of 2004 the Waterfall Shoppes Planned Unit Development Project (the "Ordinance"), attached as Exhibit A.

2. The Township Board will consider adopting the Ordinance at its next regular meeting on May 13, 2026.

3. Pursuant to Section 20 of the Michigan Charter Township Act, Act 82 of 1994, MCL 42.1 *et seq.* (the "Act"), the Clerk is directed to publish the Ordinance in accordance with Section 8 of the Act by posting it in the office of the Clerk and on the Township's web site. The Clerk is further directed to publish notice of the posting in a form in accordance with the law in a newspaper of general circulation in the Township within seven (7) days after the posting. The notice, which shall be substantially in the form attached as Exhibit B, shall describe the purpose of the Ordinance and state that the Ordinance is posted in the office of the Clerk and on the Township's web site.

4. Any resolutions or portions of resolutions that are inconsistent with this resolution are hereby repealed.

Upon a roll call vote, the following voted:

YEAS:

NAYS:

The Supervisor declared Resolution 020-2026 adopted.

---

Susan B. Slater, Clerk  
Cascade Charter Township

**CERTIFICATION**

I HEREBY CERTIFY that the foregoing is a true and complete copy of a resolution adopted by the Township Board of Cascade Charter Township, County of Kent, Michigan, at a regular meeting held on April 22, 2026, and that said meeting was conducted and public notice of said meeting was given pursuant to and in full compliance with the Open Meetings Act, being Act 267, Public Acts of Michigan, 1976, and that the minutes of said meeting were kept and will be or have been made available as required by said Act.

---

Susan B. Slater, Clerk  
Cascade Charter Township

## EXHIBIT A

### AN ORDINANCE TO AMEND THE TOWNSHIP ZONING ORDINANCE NO. 008 OF 2004 THE WATERFALL SHOPPES PLANNED UNIT DEVELOPMENT PROJECT

Cascade Charter Township Ordains:

#### **Section 1. Amendment of Section VIII(A)(a)**

Section VIII(A)(a) of Ordinance No. 008 Of 2004 is hereby amended to add references to new fuel facility expansion plans as follows:

" Phase 1 (Costco Warehouse Building & ~~Gas Station~~ **Fuel Facility**)

a. The Phase one portion of the site shall be developed as shown on the approved site plans signed by the Township. These plans include the following:

- i. Site Plan dated March 22, 2004
  - As amended with Fuel Facility Expansion Site Plan dated 02/20/26
- ii. Landscaping Plan dated April 15, 2004
  - As amended with Fuel Facility Expansion Landscape Plan dated 02/20/26
- iii. Photometric Plan dated December 2, 2003
  - As amended with Fuel Facility Expansion Photometric Plan dated 12/08/25
- iv. Elevation Plan dated December 23, 2003
  - As amended with Fuel Facility Expansion Elevation Plan dated 11/24/25
- v. Floor Plan dated January 9, 2004
  - As amended with Fuel Facility Expansion Floor Plan dated 11/24/25
- vi. Engineering Plan dated March 26, 2004
  - As amended with Fuel Facility Expansion Engineering Plan dated 02/20/26

#### **Section 2. Amendment of Section X(2)**

Section X(2) of Ordinance No. 008 Of 2004 is hereby amended to add references to new fuel facility expansion plans as follows:

2. Wall Mounted signs for the Phase 1 building is limited to the signs as shown on the Costco Wholesale Elevation Plan dated 12/23/2003 and **Fuel Facility Elevation Plan dated 11/24/2025**, as signed and approved by the Township. **Notwithstanding any other provision in this Section, the Fuel Facility is permitted four (4) canopy signs as shown on the approved Elevation Plan.**

**EXHIBIT B**

**PLEASE TAKE NOTICE** that at its meeting on April 22, 2026, the Cascade Charter Township Board received a proposed ordinance entitled “An Ordinance to Amend the Township Zoning Ordinance No. 008 Of 2004 the Waterfall Shoppes Planned Unit Development Project,” which will be considered for adoption on **May 13, 2026, at 7:00 p.m.**, at a meeting of the Township Board at Wisner Center, 2870 Jacksmith Avenue SE, Grand Rapids, Michigan 49546. The proposed ordinance would amend the Waterfall Shoppes PUD including incorporating new updated fuel facility plans.

The proposed ordinance is available in its entirety for public inspection. The proposed ordinance is posted at the office of the Township Clerk, 5920 Tahoe Dr. SE, Grand Rapids, MI 49546-7123 and on the website of the Charter Township of Cascade, [cascadetwp.com](http://cascadetwp.com).

Susan Slater, Clerk  
Cascade Charter Township Hall  
5920 Tahoe Dr. SE  
Grand Rapids, MI 49546-7123  
(616) 949-1508

# CASCADE CHARTER TOWNSHIP

## PLANNING COMMISSION

**MONDAY, March 16, 2026  
6:00 PM**

### **ARTICLE 7.**

#### **Case #26-3912 – Public Hearing**

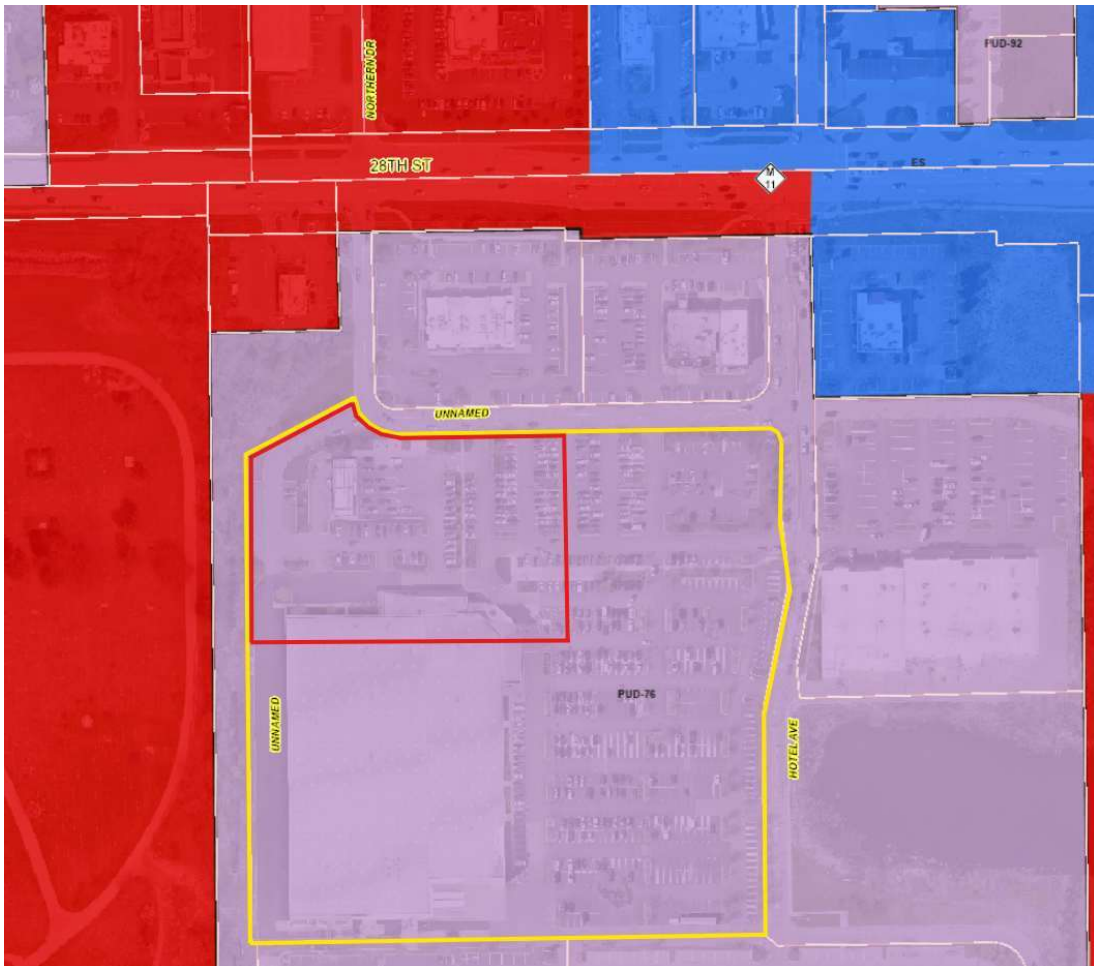
**Applicant:** Costco Wholesale, Joshua Beach

**Property Address:** 5100 28th Street SE

**Parcel Number:** 41-19-18-100-013

**Requested Action:** Request for an amendment to the Waterfall Shoppes PUD, Ord. #8 of 2004 to amend a previously approved Site Plan to expand the existing gas station, reconfigure the associated parking and access area, and amend the text to increase the number of allowed signs.

# Parcel & Zoning Map





# CASCADE CHARTER TOWNSHIP

5920 Tahoe Drive SE • Grand Rapids, MI 49546

## PLANNING COMMISSION STAFF REPORT

STAFF REPORT: Case # 26-3912  
REPORT DATE: March 11, 2026  
PREPARED FOR: Cascade Charter Township Planning Commission  
MEETING DATE: March 16, 2026  
PREPARED BY: Ryan Sennett, Downtown Development Manager

APPLICANT; Costco Wholesale  
c/o Core States Group, Joshua Beach

ADDRESS: 5100 28th Street SE

PARCEL NUMBERS: 41-19-18-100-013

REQUESTED ACTION: Amendment to the approved site plan and text-amendment for PUD – 76, Waterfall Shoppes for an approved fuel station at 5100 28th St. SE.

REQUIREMENTS: Section 16 - PUD Planned Unit Development District

EXISTING ZONING: PUD 76 – Waterfall Shoppe

GENERAL LOCATION: The subject parcel is located in the western portion of PUD 76 – Waterfall Shoppe, which contains multiple , big box stores, small retailers and restaurants, and west of I-96 near the 28<sup>th</sup> St on-ramp.

PARCEL SIZE: Approximately 14.3 acres

EXISTING LAND USE: Costco, Fuel Station

ADJACENT PROPERTIES:

N: PUD 76 – Commercial Strip Mall  
W: GB, General Business - Chapel Hill Cemetery  
S: PUD 76 – Retail Establishments  
E: PUD 76 – Commercial Strip Mall

## **HISTORY**

The Retail warehouse and fuel station have been operating since 2004 as part phase I of the Waterfall Shoppes PUD.

### **Case #03-2540 Waterfall Shoppes – PUD Ordinance**

- 2003-12-01 PC – Basic Plan Review
- 2004-02-02 PC – Preliminary PUD Approval
- 2004-03-15 PC Public Hearing – Recommended for Approval
- 2004-04-14 Township Board Meeting - Approved
- 2004-04-14 Adopted Ordinance #8 of 2004

Approval by the Township Board was granted on April 14, 2004 to develop 118 acres consisting of Showcase movie theatre, the old drive-in theater, wetlands and vacant property, located at 5100 28<sup>th</sup> St SE into a mixed-use development containing retail, restaurants, and hotels. This approval rezoned the property from B-2 and I-Industrial to PUD-76.

### **Case #06-2827 Waterfall Shoppes - PUD Amendment to Signage**

- 2006-08-21 PC Public Hearing – Recommended for Approval
- 2006-09-27 Township Board Meeting – Approved
- 2006-09-27 Adopted Ordinance #9 of 2006

The approved amendment amended the pylon signage plan, to take square footage from one pylon sign and add it to the other.

## **PROPOSED USE**

The applicant is proposing an expansion of the existing Costco fuel facility. The proposed expansion project includes an approximately 7,860-square-foot fueling canopy addition, the installation of six (6) new multi-product dispensers (MPDs) (12 MPDs total), one (1) 40,000-gallon premium underground storage tank (UST), a new controller enclosure, relocation of the existing transformer, conversion of the existing premium UST to regular, relocation of three (3) dispensers, a new VST, replacement of two (2) existing canopy signs, two (2) new canopy signs, and associated site improvements. Specific site improvements include the relocation of the fuel area exit, landscaping, paving and parking directional striping. The applicant has submitted a land use narrative for the project, which is attached. Please note that the landscaping described in the narrative has been changed to include one additional tree and additional shrubs for screening.

Phase 1 of the development (Costco Warehouse Building & Gas Station) states that the site be developed in accordance with the site plan dated March 22, 2004. Therefore, changes to the warehouse building or fuel facility require a PUD amendment. The signage for the site is regulated by Section X, which states the signs in Phase 1 are limited to those shown in the Elevation Plan dated 12/23/2003. The proposed plans include replacing the signs included in the 12/23/2003 Elevation plan and also adding two (2) additional signs to the canopy. A PUD Text-amendment is required to approve the additional two signs on the canopy.

## **SECTION 16.03**

Chapter 16 outlines the process for creating a Planning Unit Development, however, it does not address the process for amendments. Staff recommend reviewing the site plan and text amendments to determine if the proposed amendments demonstrate compliance with the statements found in Section 16.03. The Planning Commission would then direct Staff to work

with Foster Swift to amend the current PUD language to meet the Planning Commission’s recommendations and conditions. The amended ordinance would seek final approval before the Board at a future meeting. Section 16.03 of the Zoning Ordinance requires the following:

<b>Section 16.03 - PUD Standards of Review</b>	
<b>Standard</b>	<b>Findings</b>
<p><i>Granting of the Planned Unit Development rezoning will result in a recognizable and substantial benefit to the ultimate users of the project and to the community, where such benefit would otherwise be unfeasible or unlikely to be achieved.</i></p>	<p>The fuel facility is an existing use, which was included in the original PUD approval for the Costco site. Staff does not find that site adjustments to the fuel facility would result in any negative impacts on the benefits of the development.</p>
<p><i>In relation to underlying zoning, the proposed type and density of use shall not result in a material increase in the need for public services, facilities and utilities, and shall not place a material burden upon the subject or surrounding land or property owners and occupants or the natural environment</i></p>	<p>The use of this portion of the development will remain the same, and no material increase in the need for public services or utilities is anticipated.</p> <p>The plans were reviewed by the Township Engineer, who found no issues of compliance regarding drainage and stormwater maintenance. The plans result in a net gain of one (1) parking space within this portion of the lot. A minimum of 584 Parking spaces is required, with a maximum allowance of 752 for the site. This project results in a total of 745 parking spaces. Following staff feedback, the applicant has added an additional crosswalk to connect this portion of the site to the sidewalk to the south. There will continue to be one-way circulation with a bypass lane between each dispenser. There is 28ft between each dispenser.</p> <p>The egress point of the fuel facility is being moved from the South-West corner to the North-West corner of the fuel facility portion of the lot. No concerns over the egress point were raised by the Township Engineer. While the proposed exit point is on a curve, it does divert fuel facility traffic away from the building and pedestrian crossings. Staff find that the relocation of the exit from the south to the north does not create any significant safety concerns. Staff find this to be adequate and compliant with the parking requirements. The plans were reviewed by the Fire Department, and no issues were raised regarding emergency vehicle access.</p>

<p><i>The proposed development shall be compatible with the General Development Plan of the Township, and shall be consistent with the intent and spirit of this Chapter</i></p>	<p>The proposed site plan is consistent with the PUD zoning of the property, and the changes do not contradict the 2024 Master Plan.</p> <p>Per the PUD Ordinance, signage for the canopy is to be consistent with the approved Elevation Plans dated 12/23/2003. The plans allow a total of two (2) signs on the canopy to be placed on the North &amp; West elevations. Currently, the canopy has four (4) signs, one on each elevation. Staff could not find record of when the additional two wall signs were permitted, or any record of a PUD amendment to do so. The earliest streetscape images found by staff was from 2016, and shows signage on all four elevations. In 2025, a building permit was approved to replace the signs on all four elevations.</p> <p>The proposed text-amendment would adjust the approved signage for the canopy to allow for four signs, rather than two. With the requested text-amendment being consistent with the signage as it has existed for over 10 years, staff does not object to the proposed amendment. The Planning Commission should deliberate on whether the current signage is appropriate for the site.</p>
<p><i>In relation to underlying zoning, the proposed development shall not result in an unreasonable negative economic impact upon surrounding properties</i></p>	<p>No negative economic impacts on neighboring properties are anticipated due to the adjustments to the site.</p>
<p><i>The proposed development shall contain at least as much green area and usable open space as would otherwise be required by this Ordinance with respect to the most dominant use in the development.</i></p>	<p>The plans provide a 20-foot perimeter buffer with a 3ft high berm, which meets the requirements of the underlying zoning. The site will also remain compliant with the internal parking landscaping area requirement of the Zoning Ordinance. Following staff feedback, the applicant has added additional shrubs in multiple locations of the fuel facility to provide additional visual screening from the new transformer and the new additive injection system. One additional deciduous tree was added to the landscaping plan as well, resulting in all 16 of the existing deciduous trees being replaced.</p> <p>Staff find that the quantity of deciduous trees and plant material at the portion of the site being altered is sufficient.</p>

<p><i>The proposed development shall be under single ownership or control such that there is a single person or entity having responsibility for completing the project in conformity with this Ordinance. This provision shall not prohibit a transfer of ownership or control, upon due notice to the Planning Director of the Township.</i></p>	<p>The site plan and text amendments do not have any effect on ownership or control of the property.</p>
--	--

**CONSIDERATIONS**

Per the staff review above, the Planning Commission should deliberate on the following:

- The egress point of the fuel facility is being moved from the South-West corner to the North-West corner of the fuel facility portion of the lot. The fuel facility will continue to have one-way circulation, with a bypass lane between dispensers. The Planning Commission should deliberate on the circulation of the site and determine if the relocation of the fuel facility exit is appropriate.
- All 16 of the existing deciduous trees being removed will be replaced and the internal parking landscaping area required for the entirety of the site remains compliant. The landscaping plan includes visual screening in the form of shrubs surrounding the new transformer and new additive injection system. The Planning Commission should deliberate on and determine if the proposed landscaping/screening is sufficient.
- The plans include four (4) total canopy signs on the fuel facility canopy. This is consistent with what is currently existing, but exceeds the maximum allowed per the PUD Ordinance. The Planning Commission should deliberate on and determine if amending the PUD Ordinance to allow for the existing signage to remain on all four elevations of the canopy is appropriate.

**NEIGHBOR COMMENTS**

No comments have been received whether in support or opposition.

**RECOMMENDATION**

Motion to RECOMMEND APPROVAL of Case #26-3912 for a PUD Amendment to the approved site plan to allow for site improvements and additional signage at the fuel facility at 5100 28th St SE for the following reasons:

1. The amendment to the PUD Ordinance satisfies the PUD Standards of Review approval outlined in Section 16.03 of the Cascade Township Zoning Ordinance.

**ATTACHMENTS**

1. Application
2. Land Use Narrative
3. Site Plan
4. Elevations
5. Civil Plan
6. Photometric Plan
7. Landscaping Plan
8. DRAFT Waterfall Shoppes PUD Ordinance



# CASCADE CHARTER TOWNSHIP

5920 Tahoe Dr. SE, Grand Rapids, Michigan 49546-7140

## PLANNING & ZONING APPLICATION

**APPLICANT:** Name: Costco Wholesale c/o Core States Group - Attn: Joshua Beach  
 Address: 18215 72nd Avenue  
 City & Zip Code Kent, Washington 98032  
 Telephone: [REDACTED]  
 Email Address: [REDACTED]

**OWNER: \* (If different from Applicant)**  
 Name: Costco Wholesale c/o Kayleen Burnett  
 Address: 730 lake Drive  
 City & Zip Code: Issaquah, Washington 98082  
 Telephone: [REDACTED]  
 Email Address: [REDACTED]

NATURE OF THE REQUEST: (Please check the appropriate box or boxes)

<input type="checkbox"/> Administrative Appeal	<input type="checkbox"/> Administrative Site Plan Review
<input type="checkbox"/> Deferred Parking	<input type="checkbox"/> P.U.D. – Rezoning *
<input type="checkbox"/> P.U.D. – Site Condominium *	<input type="checkbox"/> Rezoning
<input checked="" type="checkbox"/> Site Plan Review *	<input type="checkbox"/> Sign Variance Subdivision
<input type="checkbox"/> Special Use Permit	<input type="checkbox"/> Plat Review *
<input type="checkbox"/> Zoning Variance	<input checked="" type="checkbox"/> Other: <u>P.U.D. Amendment *</u>

*\* Requires an initial submission of 5 copies of the completed site plan*

BRIEFLY DESCRIBE YOUR REQUEST:\*\*

PUD Amendment to the Waterfall Shoppes #87 to expand the existing Costco fuel facility and to allow up to 4 canopy signs.

(\*\*Use Attachments if Necessary)  
-SEE OTHER SIDE-

**LEGAL DESCRIPTION OF PROPERTY\*\*:**

Land in the Township of Cascade, Kent County, MI, described as follows: That part of Section 18, Town 6 North, Range 10 West, Cascade Township, Kent County, Michigan

See attachment for full legal description of property.

\_\_\_\_\_

(\*\*Use Attachments if Necessary)

**PERMANENT PARCEL (TAX) NUMBER:** 41-19 -18-100-013

**ADDRESS OF PROPERTY:** 5100 28th Street SE, Grand Rapid, MI 49512

**PRESENT USE OF THE PROPERTY:** Fuel Facility

**NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS HAVING A LEGAL OR EQUITABLE INTEREST IN THE PROPERTY:**

Name(s)	Address(es)
_____	_____
_____	_____

**SIGNATURES**

*I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) also agree to reimburse the Cascade Charter Township for all costs, including consultant costs, to review this request in a timely manner. I (we) understand that these costs may also include administrative reviews which may occur after the Township has taken action on my (our) request.*

*I (we) the undersigned also acknowledge that the proposed project does not violate any known property restrictions (i.e. plat restrictions, deed restrictions, covenants, etc.)*

KAMLEEN BURNETT  
Owner – Print or Type Name  
(\*If different from Applicant)

\* *Kamleen Burnett*  
Owner’s Signature & Date  
(\*If different from Applicant)

Joshua Beach  
Applicant – Print or Type Name

Joshua Beach  
Applicant’s Signature & Date

PLEASE ATTACH ALL REQUIRED DOCUMENTS NOTED IN THE PROCESS REVIEW SHEET – THANK YOU

Rev. 7/27/21

## Legal Description

(PER FIRST AMERICAN TITLE COMMITMENT NO. NCS-1267020-WA1, DATED JUNE 12, 2025)

Land in the Township of Cascade, Kent County, MI, described as follows: That part of Section 18, Town 6 North, Range 10 West, Cascade Township, Kent County, Michigan; Commencing at the Northwest Corner of said Section 18; thence North 87 degrees 57 minutes 28 seconds East, 1190.57 feet along the North line of said Section 18 to the West line of the fractional East 1/2 of the Northwest 1/4 of said Section 18; thence South 01 degrees 35 minutes 58 seconds East, 1159.94 feet along said West line of the fractional East 1/2 of the Northwest 1/4 of said Section 18; thence North 88 degrees 24 minutes 02 seconds East, 51.73 feet to the Point of Beginning; thence continuing North 88 degrees 24 minutes 02 seconds East, 783.50 feet; thence North 01 degrees 35 minutes 58 seconds West, 324.97 feet parallel with said West line of the fractional East 1/2 of the Northwest 1/4 of said Section 18; thence Northeasterly 28.96 feet along a 136.50 foot radius curve to the right with a central angle of 12 degrees 09 minutes 21 seconds, the long chord of which bears North 04 degrees 28 minutes 43 seconds East, 28.96 feet, thence North 10 degrees 33 minutes 23 seconds East, 174.38 feet; thence North 01 degrees 28 minutes 11 seconds West, 49.15 feet; thence North 07 degrees 24 minutes 43 seconds West, 60.31 feet; thence North 01 degrees 35 minutes 54 seconds West, 120.50 feet parallel with said West line of the fractional East 1/2 of the Northwest 1/4 of said Section 18; thence 30.63 feet along a 19.50 foot radius curve to the left with a central angle of 90 degrees 00 minutes 00 seconds, the long chord of which bears North 46 degrees 35 minutes 58 seconds West, 27.58 feet; thence South 88 degrees 24 minutes 02 seconds West, 586.34 feet; thence Northwesterly 88.47 feet along 61.33 foot radius curve to the right with a central angle of 82 degrees 39 minutes 04 seconds, the long chord of which bears North 50 degrees 16 minutes 44 seconds West, 81.00 feet; thence South 62 degrees 44 minutes 16 seconds West, 187.09 feet, thence South 01 degrees 35 minutes 58 seconds East; 745.88 feet parallel with said West line of the fractional East 1/2 of the Northwest 1/4 of said Section 18 to the Point of Beginning.

## Land Use Narrative

### Planned Unit Development Amendment, Site Plan Review

Costco Wholesale Fuel Facility Expansion  
Costco Location No. 784  
APN: 41-19-18-100-013  
CW No. 25-0485

**PREPARED BY**  
Core States Group

**PREPARED FOR**

Costco Wholesale

**CLIENT ADDRESS**

730 Lake Drive  
Issaquah, Washington 98027

**SITE ADDRESS**

5100 28<sup>th</sup> Street Southeast  
Grand Rapids, Michigan 49512

**PROJECT NO.**

11214.11

**DATE**

12/12/2025

**JURISDICTION**

City of Grand Rapids

## **Project Location:**

The project site is located at 5100 28th Street Southeast within the jurisdiction of Cascade Township, Michigan (Town). The project site area is 0.89 acres (38,873 square feet) and the overall subject property is 14.27 acres (621,601 square feet). The project site is also identified as Kent County Parcel Number 41-19-18-100-013 (the "Property"). The property is currently zoned Planned Unit Development and is subject to the Waterfall Shoppes Mixed Use Master Plan (PUD) and the Cascade Charter Township Zoning Ordinance (Code). A fuel facility is an allowed use under the PUD.

## **Project Description:**

### Overview

The expansion project includes an approximately 7,860-square-foot fueling canopy addition, the installation of six (6) new multi-product dispensers (MPDs) (12 MPDs total), one (1) 40,000-gallon premium underground storage tank (UST), a new controller enclosure, relocation of the existing transformer, conversion of the existing premium UST to regular, relocation of three (3) dispensers, a new VST, replacement of two (2) existing canopy signs, two (2) new canopy signs, and associated site improvements. Specific site improvements include the relocation of the fuel area exit, landscaping, paving and parking directional striping.

### Grading

Site grading is limited to the installation of the canopy footings, under canopy area, underground storage tank, relocated transformer, new controller enclosure, and improvements to the drive aisles and parking. The project requires excavation for the underground storage tank and will export approximately 1,250 cubic yards of material.

### Parking and Circulation

The project will result in a net gain of one (1) parking stall. The Costco development will provide a total of 745 parking stalls. The Code requires four (4) spaces per 1,000 square feet for general retail and five (5) parking spaces, plus one (1) parking space for air/water service for automobile service stations. Based on these ratios, a minimum of 584 parking spaces is required. The PUD Ordinance allows Costco a maximum of 752 parking stalls. The site will continue to conform to the minimum parking required and maximum parking allowed.

The fuel facility will continue to operate under a one-way circulation design with a full-length bypass lane between each dispenser island. The fuel area exit will be redirected to the north. Three (3) MPDs on the exit side will be relocated to match the 28-foot distance provided between dispensers to improve maneuverability around the center dispensers.

## Transportation

The purpose of the fuel facility expansion is to improve the Costco member's fuel purchasing experience. The added fueling positions, similar to opening additional check lanes in a store, increase the processing capacity of the fuel facility, thereby reducing queues and shortening wait times resulting in a more efficient fuel facility. A negligible increase in trips is anticipated due to latent trips characterized by Costco members that chose not to purchase fuel due to long lines, and reconsidered purchasing fuel after the expansion due to the improved performance of the fuel facility.

## Architectural Design

The fuel canopy addition will be designed to match the existing materials, finishes and colors of the existing fuel canopy to maintain the aesthetic of the existing facility and to continue to complement the existing Costco Warehouse. The facility architecture utilizes ribbed metal wrapped fascia and split-face CMU wrapped canopy columns in a combination of earth tones and red accent.

## Lighting and Signage

The under-canopy lighting will be Costco's standard CREE LED lighting fixtures and the canopy sign lighting will be fascia-mounted LED light fixtures aimed at the signage. The project lighting is designed to provide adequate light for security and safety purposes in conformance with Code.

The existing fuel facility has four (4) 20-square foot externally illuminated "Costco Wholesale" signs; one sign is (1) centered on each façade. While the PUD limits the Costco Fuel Facility to two (2) canopy signs; Code allows more than two (2) canopy signs on Service Stations. Costco is seeking to amend the PUD limitation on Canopy signage to allow the four (4) canopy signs and remain in conformance with Code.

Costco is requesting to amend the PUD to allow for two (2) additional canopy signs for a total of four (4) signs, one (1) on each façade.

## Landscaping

The project will remove approximately 1,226 square feet of landscaping area. The Township Code requires a minimum 20-foot perimeter buffer around the fuel facility. The buffer shall have a berm not exceeding three (3) feet in height with a slope no steeper than 1:3. The berm is not required to be continuous.

The Code requires an internal parking lot landscape area of 30 square feet per parking space in lots with over 100 parking spaces. The minimum size for any internal parking area is 180 square feet. Based on this ratio, approximately 22,350 square feet of internal parking lot landscaping is required. The site will continue to exceed the minimum internal parking lot landscape area.

The project will remove 16 deciduous parking lot trees and will provide 15 new replacement trees.

## Construction

Construction of the facility will be completed in a single phase and will commence after approval of the applicable permits and approvals.

**Purpose of Request:**

Costco is seeking approval of a Planned Unit Development Amendment and Site Plan Review application for the expansion of the existing Costco fuel facility and removing the limitation on canopy signage.

**Planned Unit Development Amendment:**

Pursuant to the Cascade Charter Township Zoning Ordinance, Chapter 16.03, a Planned Unit Development shall be approved if the following findings are made:

- 1) *Granting of the Planned Unit Development rezoning will result in a recognizable and substantial benefit to the ultimate users of the project and to the community, where such benefit would otherwise be unfeasible or unlikely to be achieved.*

**Response:** The fuel facility is consistent with the 2024 Cascade Township Community Master Plan, and the project does not require a rezone. The Master Plan designates the future land use of the site as Waterfall Shoppes Mixed Use, under which fuel facilities are an allowed use per the Waterfall Shoppes PUD Ordinance. The project is also consistent with the following goals of the Master Plan:

- Goal 3: Enhancing the Viability of Township Business by redeveloping an existing commercial site within the Waterfall Shoppes Mixed Use District
- Goal 5: Maintain Essential Public Services as the existing site is serviced and does not require additional resources as part of the expansion.
- Goal 7: Promote Efficient and Sustainable Growth Principles with infill development and maximizing the use of existing infrastructure.

The fuel facility is an existing use and the expansion provides a benefit to members with the provision of additional fueling positions, increased efficiency, and reduced queues, thereby improving site circulation and the fuel purchasing experience.

- 2) *In relation to underlying zoning, proposed type and density of use shall not result in a material increase in the need for public services, facilities and utilities, and shall not place a material burden on the subject or surrounding land or property owners and occupants or the natural environment.*

**Response:** The underlying zoning of the Waterfall Shoppes PUD is General Business. The fuel facility is an existing use and the expansion of the use will be able to operate within the existing capacities of public services, facilities and utilities.

- 3) *The proposed development shall be compatible with the General Development Plan of the Township, and shall be consistent with the intent and spirit of the chapter regulation PUD development.*

**Response:** The fuel facility is consistent with the 2024 Cascade Township Community Master Plan. The Master Plan designates the future land use of the site as Waterfall Shoppes Mixed Use, under which fuel facilities are an allowed use as described in the Waterfall Shoppes PUD Ordinance. The project is also consistent with the following goals of the Master Plan:

- Goal 3: Enhancing the Viability of Township Business by redeveloping an existing commercial site within the Waterfall Shoppes Mixed Use District
- Goal 5: Maintain Essential Public Services as the existing site is serviced and does not require additional resources as part of the expansion.
- Goal 7: Promote Efficient and Sustainable Growth Principles with infill development and maximizing the use of existing infrastructure.

- 4) *In relation to underlying zoning, the proposed development shall not result in an unreasonable negative economic impact upon surrounding properties.*

**Response:** The fuel facility expansion, as stated previously, will improve the facilities efficiency and site circulation, which will benefit surrounding properties making the development attractive to Waterfall Shoppes Center customers.

- 5) *The proposed development shall contain at least as much green area and usable open space as would otherwise be required by this Ordinance with respect to the most dominant use in the development.*

**Response:** The expansion project will continue to provide the required 20-foot perimeter buffer with 3-foot-high berm. Code/PUD requires 22,350 square feet of landscape; the project will provide 64,154 square feet, which exceed the minimum required by the ordinance.

- 6) *The proposed development shall be under single ownership or control such that there is a single person or entity having responsibility for completing the project in conformity with this Ordinance. This provision shall not prohibit a transfer of ownership or control, upon due notice to the Planning Director of the Township.*

**Response:** The fuel facility is and will continue to be owned and operated by Costco Wholesale following the expansion project.

**Site Plan Review:**

Pursuant to the Cascade Township Zoning Ordinance, Chapter 21.07, shall be approved if the following findings are made:

- 1) *Whether the required information has been furnished in sufficiently complete and understandable form to allow an accurate description of the proposed use and structures in terms of density, location, area, height, bulk, placement, setbacks, performance characteristics, parking, and traffic circulation*

**Response:** The project site is a Planned Unit Development (PUD) within the Cascade Township Zoning Ordinance, and the fueling facility expansion is an allowed use subject to a PUD Amendment and a Site Plan Review. The fueling facility will continue to comply with all applicable development regulations of the PUD Ordinance (Waterfall Shoppes #8 of 2004) and the Township Zoning Code, including the development standards, as indicated in the table below:

Development Standard	Requirement	Response
<b>Building Setback</b>	Min. Front Setback: 100 feet Min. Rear Setback: 50 feet Min. Side Setback: 25 feet Perimeter Buffer: 20 feet	The project will not encroach into the setback area and will maintain the current perimeter buffer.
<b>Maximum Building Height</b>	PUD Max. Canopy Height: 17.5 feet	The PUD Ordinance allows for a maximum canopy height of 17.5 feet. The expanded canopy will match the height of the existing canopy and the PUD Ordinance.
<b>Landscaping</b>	<ul style="list-style-type: none"> <li>•Automobile Service Stations require a minimum 20-foot buffer around the perimeter of the fuel facility and be located within the first 20 feet of the property.</li> <li>•The buffer shall have a berm no higher than three (3) feet and slope no greater than one (1) to three (3) (1:3) along the perimeter and not continuous in length.</li> <li>•Internal parking lot landscape area of 30 square feet per parking space in lots with over 100 parking spaces.</li> </ul>	<p>The project provides approximately 64,154 square feet of landscaping area.</p> <p>The site will maintain a 20-foot buffer around the perimeter of the fuel facility a berm sloped at 1:3.</p> <p>Based on this ratio approximately 22,350 square feet of internal parking lot landscaping is required. The site will continue to exceed the internal parking lot landscape area minimum.</p>
<b>Parking</b>	<p>The Code requires four (4) spaces per 1,000 square feet for general retail and five (5) parking spaces, plus one (1) parking space for air/water service for automobile service stations for a minimum of 584 stalls.</p> <p>Maximum of 752 parking spaces.</p>	<p>The project will remove 22 parking stalls and add 23 parking stalls for a net gain of one (1) parking stalls.</p> <p>The site will have a total of 745 parking stalls. The site will exceed the minimum number of spaces by 161 and be seven (7) stalls below the maximum.</p>

Development Standard	Requirement	Response
<b>Trees</b>	<p>The tree ordinance requires a replacement ratio based on the diameter breast height (DBH) of each removed deciduous tree.</p> <p>If the replacement trees are deciduous trees:</p> <ul style="list-style-type: none"> <li>•&lt;2.5 inches DBH replaces 0.5 removed trees.</li> <li>•Between 2.5- and 3.5-inches DBH replaces one (1) removed tree.</li> <li>•Between 3.5- and 4.5-inches DBH replaces 1.5 removed trees</li> <li>•&gt;4.5 inches DBH replaces two (2) removed trees</li> </ul>	<p>The project will remove 16 deciduous trees for the expansion. Based on these ratios, 15 replacement trees are required for the site.</p> <p>The landscape plan shows 15 replacement trees.</p>
<b>Signs</b>	<p>The PUD Ordinance limits canopy signage to two (2) wall signs, on the east and north façade, totaling 50.5 square feet.</p>	<p>The existing fuel facility has four (4) 20-square foot externally illuminated “Costco Wholesale” signs; one (1) centered on each façade. While the PUD limits the Costco Fuel Facility to two (2) canopy signs; Code allows more than two (2) canopy signs on Service Stations.</p> <p>Costco is seeking to amend the limitation on Canopy signage to allow the four (4) canopy signs and remain in conformance with Code.</p>
<b>Lighting</b>	<p>The Township’s lighting standards require to be shielded downward to protect pedestrians and motorists from glare, and light trespass. All parking lots utilized during night-time hours shall be artificially illuminated to a minimum level of 0.5-foot candles and a maximum level of five (5) foot candles, with one (1) foot candle being the desired level of average illumination.</p>	<p>The project will remove two (2) parking lot lights for the expansion. No new parking lot lights are part of this project. Sign lighting fixtures shall be shielded and aimed downward to not project past the object of illumination. Costco’s CREE LED lighting will meet this standard.</p> <p>The under-canopy and sign lighting will be Costco’s standard CREE LED lighting and will be directed downward to prevent off-site glare.</p>
<b>Design Criteria</b>	<p>The Township’s Special Use standards for automobile service stations requires canopies to be designed to relate to the facades of the main building.</p>	<p>The fuel canopy expansion is designed to match the existing canopy with vertical corrugated metal sheet design with concrete masonry unit (CMU) wrapped columns.</p>

2) *Whether there are ways in which the configuration of the use and structures can be changed which would improve the impact of the development on adjoining and nearby properties, persons, and activities, and on the community, while allowing reasonable use of the property within the scope of district regulations and other regulations of this Ordinance that are applicable to the property and proposed use and structures*

**Response:** The expansion project and access modifications will refresh the existing use, improve its efficiency, increase its processing capacity, reduce queues and shorten wait times, thereby benefiting Costco members and surrounding properties through improved site circulation and an upgraded fuel facility.

- 3) *The extent to which natural features and characteristics of the large trees, natural groves, and watercourses, and similar will be preserved; the regard given to existing natural features that would add attractiveness to the property and environs if they were preserved; the preservation of natural drainage systems the dedication and/or provision, where appropriate*

**Response:** The project is an expansion of an existing structure and developed commercial. Natural features, watercourses, and large trees are not impacted by the project. The project will remove 16 trees and provide 15 replacement trees consistent with the Township tree ordinance as noted in the developments standards table above.

- 4) *That the location, size, design, and operating characteristics of the proposed use are compatible with the existing and known future land uses and will not create significant noise, traffic or other conditions or situations that may be objectionable or detrimental to other permitted uses in the vicinity or adverse to the public interest, health, safety, convenience, or welfare of the city.*

**Response:** The project site has operated as a fuel facility since 2004 as part of the initial Waterfall Shoppes Commercial Center development and is consistent with the PUD Ordinance and future land uses as land zoned General Business. It is anticipated that there will be insignificant increases in noise and traffic due to the expansion; however, those increases will be offset by the improved efficiency of the facility through reduced queues; shortened wait times, and less idling. The expansion project will benefit the surrounding uses through improved site circulation and the upgraded fuel facility.

**Conclusion:**

The responses above and supporting application materials demonstrate that the project meets the approval criteria for a Planned Unit Development Amendment and Site Plan Review.



Know what's below.  
Call before you dig.  
The importance of proper utility marking is self-evident. Marking is the only way to know what's below the ground. It's the only way to avoid the cost and danger of digging into a gas line, water main, or other utility. Call 811 before you dig. It's the only way to be sure.

**PROJECT:**  
FUEL EXPANSION  
5100 28TH STREET SE  
GRAND HARDS, WA 99121

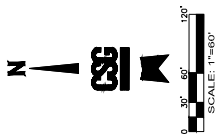
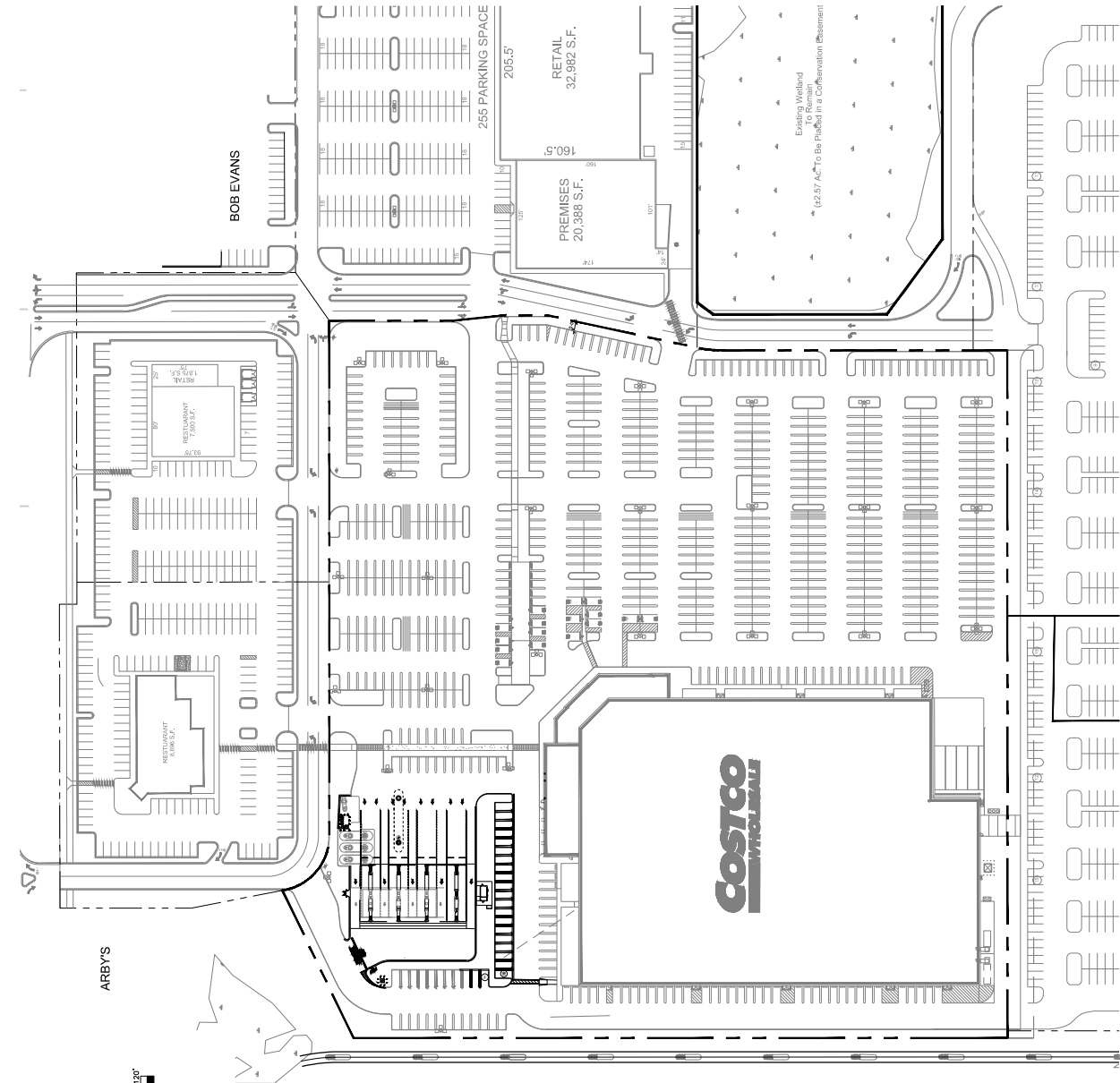
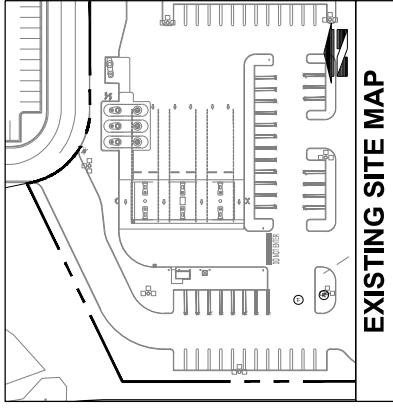
**Client:**  
**Costco Wholesale**  
COSTCO WHOLESALE  
730 LAKE DRIVE  
ISSAQUAH, WA 98027

Revision/Issue	Date	Comment
1	11/18/25	ISSUED

**Drawn:** HPRG  
**Reviewed:** JSI  
**Sheet Date:** 11/18/25  
**Proj. Number:** 11214

**Sheet Title:**  
OVERALL SITE PLAN

**Sheet Number:**  
DD-1

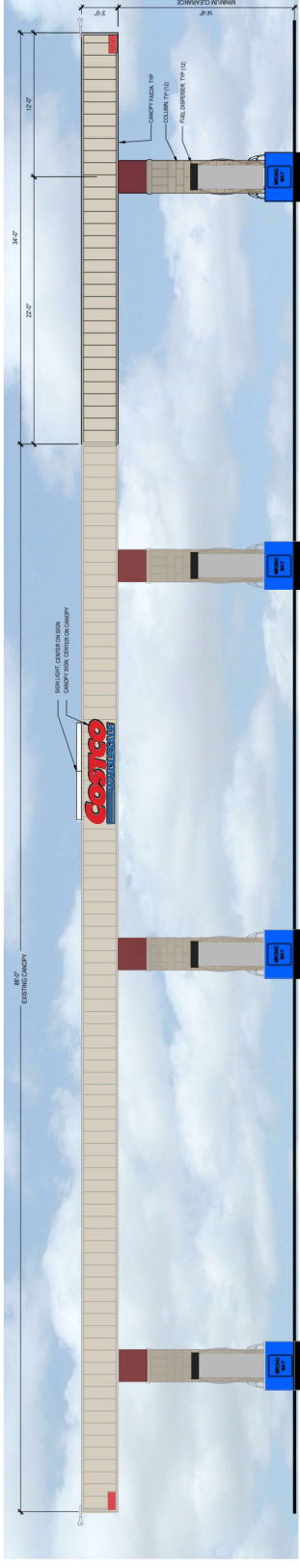




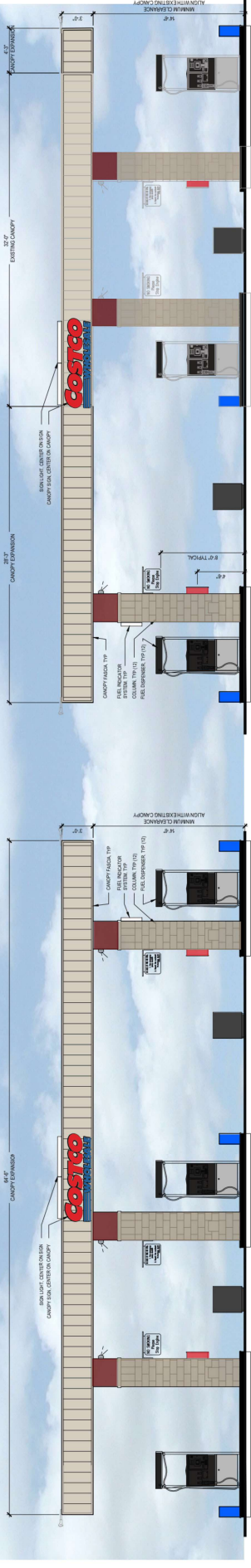









1 EAST SIDE ELEVATIONS (ENTRANCE)  
SCALE: 1/4" = 1'-0"



2 WEST SIDE ELEVATIONS (EXIT)  
SCALE: 1/4" = 1'-0"



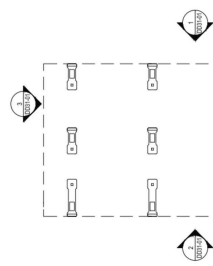
4 NORTH END ELEVATIONS  
SCALE: 1/4" = 1'-0"

	CANOPY FACIA MATERIAL: COLOR CLASSIC BEIGE		SIGN COLOR: COSTCO RED		FUEL INDICATOR LIGHT SYSTEM
	SIGN COLOR: COSTCO BLUE		COLUMN WRAP OR IF FACE MASONRY COLOR: MEDITERRANEAN TAN - MATCH TO EXISTING		

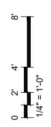
3 SOUTH END ELEVATIONS  
SCALE: 1/2" = 1'-0"



5 CANOPY SIGN  
SCALE: 1/2" = 1'-0"  
SUPPLIED AND INSTALLED BY CANOPY SUPPLIER, L218



KEY PLAN  
SCALE: NTS



**COSTCO WHOLESALE**  
GRAND RAPIDS, MI # 784  
5145 45TH STREET SE  
GRAND RAPIDS, MI 49512



03-1493-XX  
NOVEMBER 24, 2024  
PRELIMINARY  
ELEVATION  
DD31-01

# PRELIMINARY ELEVATIONS

# COSTCO WHOLESALE

GRAND RAPIDS, MICHIGAN

NOVEMBER 24, 2025





Know what's below.  
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THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES AND STRUCTURES PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 811 AND THEN VERIFYING THE LOCATION PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES PRIOR TO CONSTRUCTION.

**PROJECT:**  
 FUEL EXPANSION  
 5100 28TH STREET SE  
 GRAND RAPIDS, MI 49512

**CLIENT:**  
**COSTCO WHOLESALE**  
 730 LAKE DRIVE  
 ISSAQUAH, WA 98027

REVISION NUMBER	DATE	DESCRIPTION
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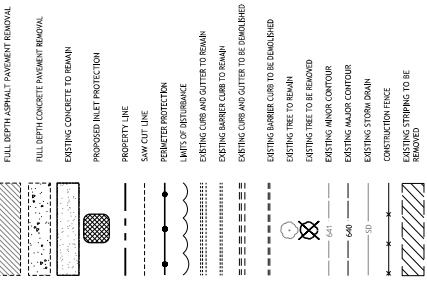
**Drawn:** HRFG  
**Reviewed:** JH  
**Sheet Date:** 02/20/24  
**Proj. Number:** 11214

**Sheet Title:**  
 EXISTING CONDITIONS  
 AND DEMOLITION PLAN

**Sheet Number:**  
**P2**

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# EXISTING CONDITIONS AND DEMOLITION PLAN



### DEMOLITION CALLOUTS

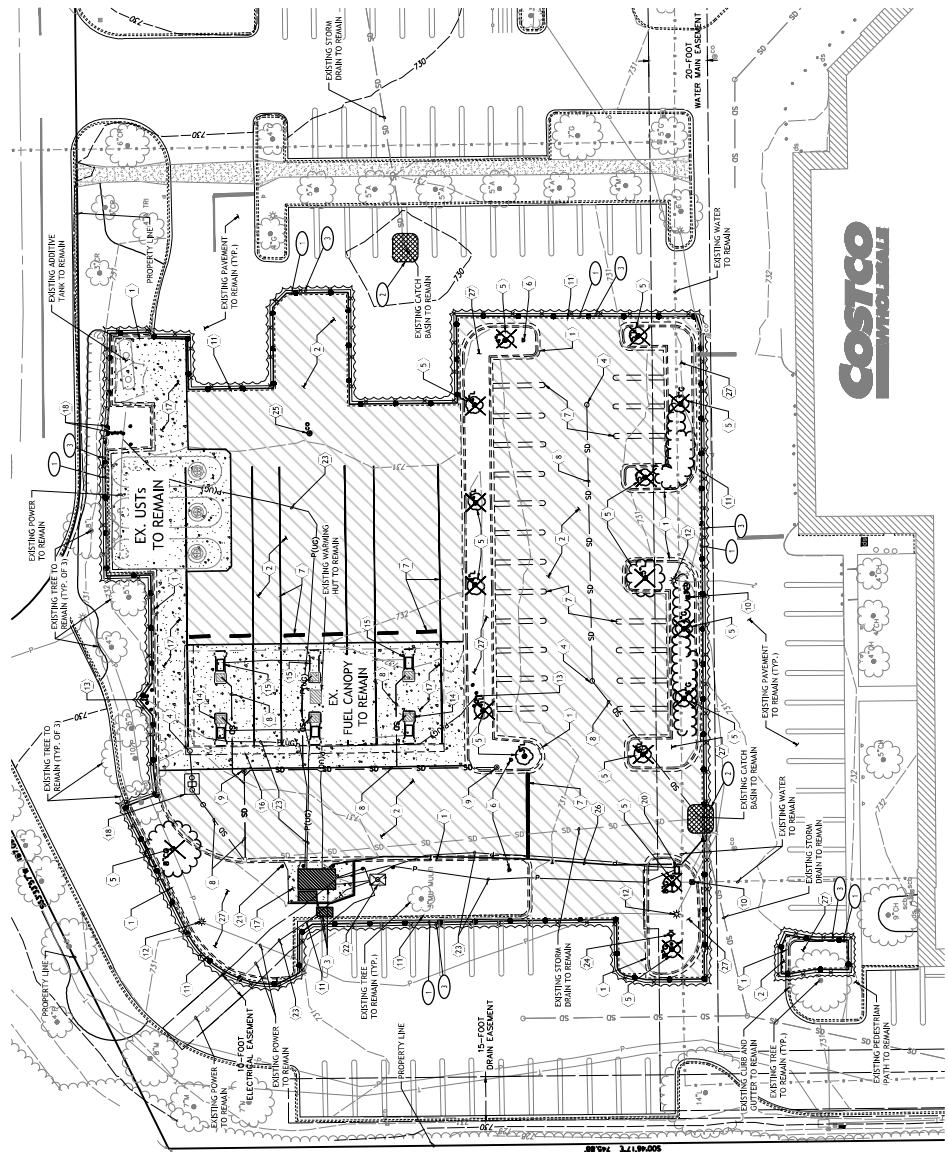
- EXISTING CURB AND GUTTER TO BE REMOVED AND DEPOSED OF OFF-SITE.
- EXISTING PAVEMENT TO BE REMOVED AND DEPOSED OF OFF-SITE.
- EXISTING CONTROLLER ENCLOSURE AND ITS APPURTENANCES TO BE DEMOLISHED. SEE SHEET PH FOR NEW LOCATION OF NEW CONTROLLER.
- EXISTING CATCH BASIN (INLET) TO BE REMOVED.
- EXISTING TREE TO BE REMOVED. SEE LANDSCAPE PLANS.
- EXISTING SIGN TO BE REMOVED. SEE SHEET #4 FOR NEW LOCATION.
- EXISTING SIGN MARKINGS TO BE REMOVED. CONTRACTOR TO SANDBLAST PAVEMENT TO REMOVE EXISTING PAINT STRIPING.
- EXISTING STORM DRAIN TO BE REMOVED.
- EXISTING STORM DRAIN CLEAN OUT TO BE REMOVED.
- EXISTING IRRIGATION BOX TO BE REMOVED.
- PROPOSED SAWCUT (TYP.) WHERE PROPOSED ASPHALT MEETS EXISTING ASPHALT. PROPOSED PAINT STRIPING FOR UTILITY LOCATE @ 811 AND THEN VERIFYING THE LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 811 AND THEN VERIFYING THE LOCATION PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES PRIOR TO CONSTRUCTION.
- EXISTING LOT LIGHT TO BE REMOVED. SEE PLANS FOR OTHERS FOR NEW LOCATION. RE-RATE EXISTING ELECTRICAL CONDUIT AS NECESSARY.
- EXISTING E.S.O. TO BE REMOVED AND DEPOSED OF OFF-SITE.
- EXISTING PUMP ISLAND ENDS AND DISPENSERS TO BE REMOVED. PROTECT OFF-SITE. DISPENSERS TO BE REMOVED AND REPLACED ON NEW DISPENSER ISLAND. PROTECT CONDUITS TO REMAIN IN PLACE.
- PORTION OF EXISTING PUMP ISLANDS TO BE REMOVED AND DEPOSED OF OFF-SITE. PROTECT CONDUITS TO REMAIN IN PLACE.
- 25-FOOT CONCRETE WALL TO BE REMOVED AND DEPOSED OF OFF-SITE.
- EXISTING CONCRETE TO BE REMOVED AND DEPOSED OFF-SITE.
- EXISTING OIL/WATER SEPARATOR TO BE REMOVED.
- EXISTING POWER BOX TO BE REMOVED.
- EXISTING BOLLARDS TO BE REMOVED.
- EXISTING TRANSFORMER TO BE REMOVED AND REPLACED. SEE SHEET PH FOR NEW LOCATION.
- EXISTING POWER TO BE REMOVED AND DEPOSED OFF-SITE.
- EXISTING HYDRANT TO BE REMOVED AND RELOCATED. CAP EXISTING LINE AT MAIN CONNECTION.
- EXISTING SEWER CLEAN OUT TO BE REMOVED.
- EXISTING COMMUNICATION LINE TO BE REMOVED AND DEPOSED OF OFF-SITE.
- EXISTING LANDSCAPING TO BE REMOVED AND DEPOSED OF OFF-SITE.

### UTILITY CONFLICT NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES AND STRUCTURES PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 811 AND THEN VERIFYING THE LOCATION PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES PRIOR TO CONSTRUCTION.

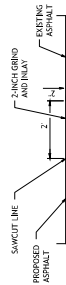
### TREE PROTECTION NOTE:

EXISTING TREES TO REMAIN WITHIN LINES OF INTERFERENCE ARE TO BE PROTECTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES PRIOR TO CONSTRUCTION.



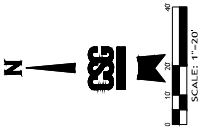
### EROSION/SEDIMENT CONTROL CALLOUTS:

- CONTRACTOR TO INSTALL COMPOST FILTER DOCS, NET FENCE OR OTHER APPROVED METHOD TO PREVENT ALL-CLAY SAND FROM LEAVING SITE, AND AS DIRECTED BY INSPECTOR OF AUTHORITY (TYPING JURISDICTION, SEE DETAIL ON SHEET 3).
- INSTALL PROTECTION SYSTEMS WITHIN ALL EROSION CONTROL AREAS TO PREVENT ALL-CLAY SAND FROM LEAVING SITE, AND AS DIRECTED BY INSPECTOR OF AUTHORITY (TYPING JURISDICTION, SEE DETAIL ON SHEET 3).
- CONTRACTOR TO INSTALL TEMPORARY CONSTRUCTION FENCE WITH GATE, AS NEEDED TO SECURE AREA OF WORK. CONTRACTOR SHALL COORDINATE PLACEMENT OF FENCE WITH WAREHOUSE MANAGER AND NOTIFY AS NECESSARY DURING CONSTRUCTION.



**LAP JOINT**  
 SCALE: NOT TO SCALE

- NOTES:**
- EXISTING CURB AND GUTTER TO REMAIN WITHIN LINES OF INTERFERENCE ARE TO BE PROTECTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES PRIOR TO CONSTRUCTION.
  - APPLY 1 FOOT RUBBER SEALANT COMPOUND ALONG JOINT PER ASTM D690.

















Know what's below.  
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The contractor is responsible for obtaining the location, dimension, and depth of all existing utilities. It is the contractor's responsibility to verify the location, dimension, and depth of all existing utilities. The contractor shall be responsible for obtaining the location, dimension, and depth of all existing utilities. The contractor shall be responsible for obtaining the location, dimension, and depth of all existing utilities.

**Project:** FUEL EXPANSION  
 5100 28TH STREET SE  
 GRAND RAPIDS, MI 49512

**Client:** **Coastal**  
 6500 WINDMILL  
 730 LAKE DRIVE  
 ISSAQUAH, WA 98027

Revision/Issue	Date	Comment
39		

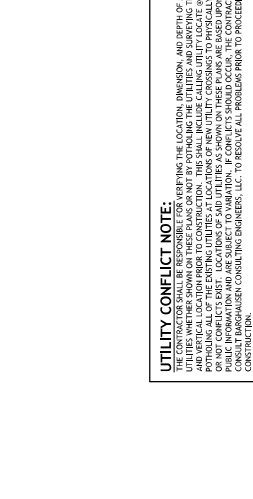
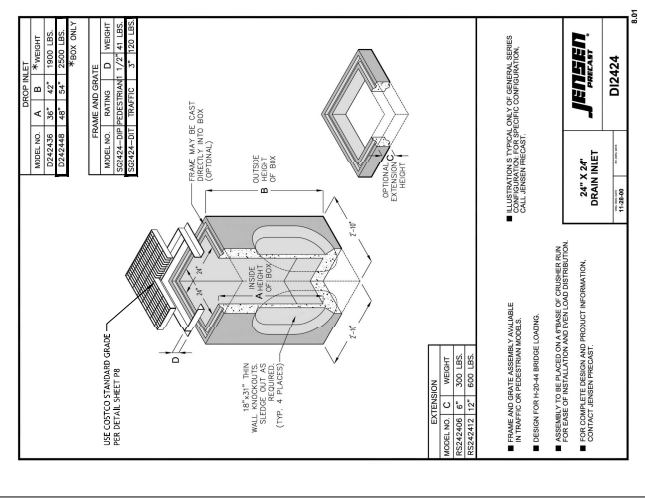
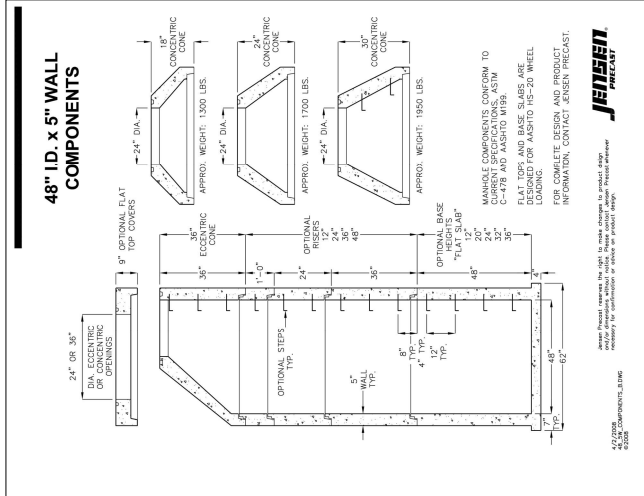
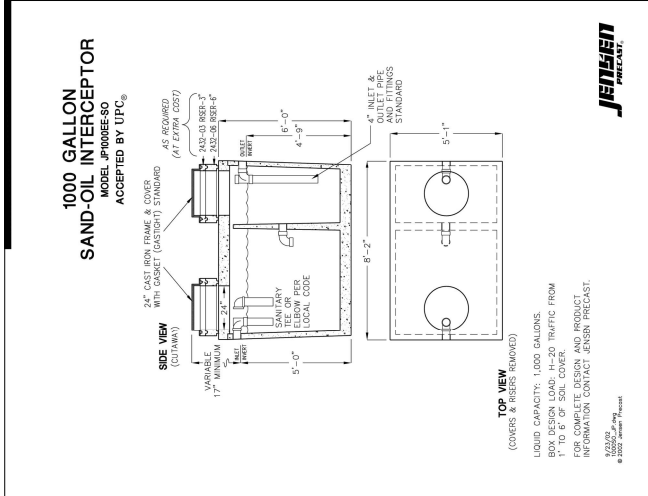
Drawn: HRFG  
 Reviewed: JH  
 Sheet Date: 02/20/26  
 Proj. Number: 11214

Sheet Title: **DETAILS**

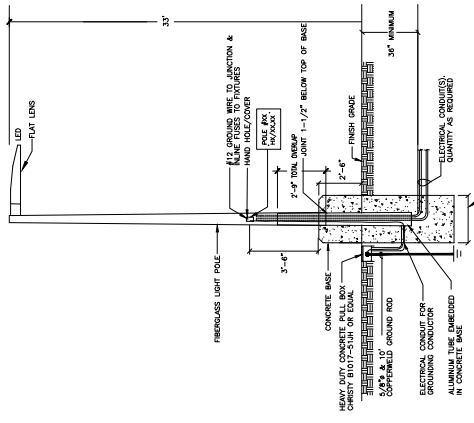
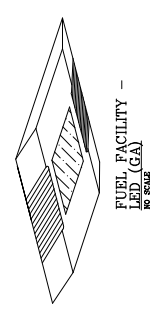
Sheet Number: **P9**

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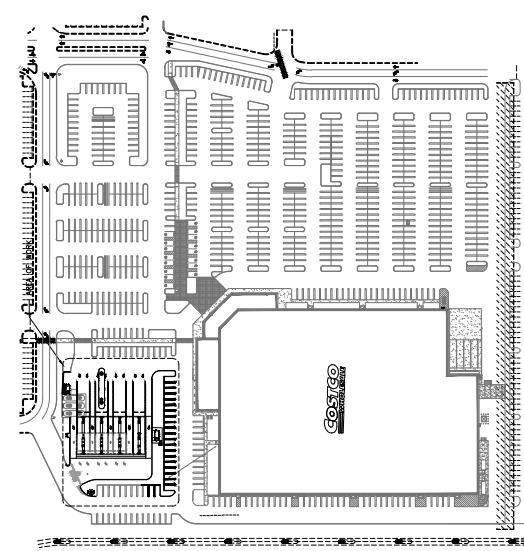
**DETAILS**



**UTILITY CONFLICT NOTE:**  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES.



NOTE: REBAR/SS CONCRETE SHALL BE 2'-0" DIA. THIS DETAIL IS FOR ELECTRICAL CONDUIT ROUTING ONLY. SEE STRUCTURAL DRAWINGS FOR DETAILS.  
 SCALE: NTS

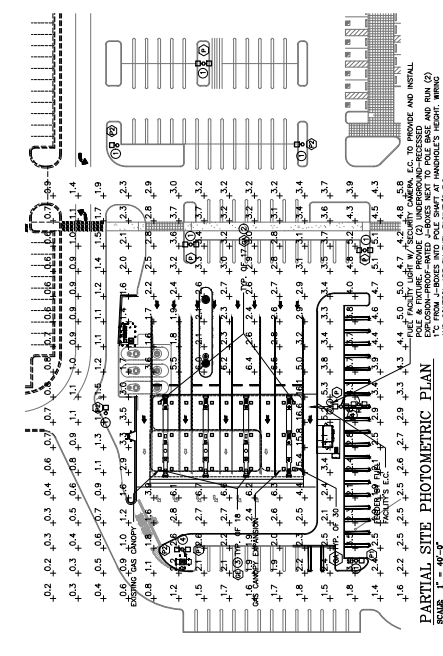


SYM	MANUFACTURER	MODEL	TYPE	HEIGHT	REMARKS	COLOR
1	LITONIA	D92-LED-P4-50K-T9W-MOULT-5000D	LED	270	EXISTING LAMPING FIXTURES. 30' PFS ON POLE.	5000K
2	LITONIA	D92-LED-P1-50K-T9W-MOULT-5000D	LED	140		
3	LITONIA	D92-LED-P1-50K-T9W-MOULT-5000D	LED	140		
4	OREE	EXISTING OREE OPT250 FIXTURE.	LED	CEILING	EXISTING GAS CANOPY LIGHT.	5700K
5	TECHNOART	CEU-S-C-F4-80-1-1-HH	LED	CEILING	17' MOUNTING HEIGHT. CLASS 1, DIV. 2 HARMONIOUS LIGHTING FIXTURE.	5000K

- SYMBOL LEGEND
- WALKWAY
  - POLE LIGHT
  - FLOOR LIGHT
  - FLOOD LIGHT
  - ANCHOR BOX
  - FIXTURE TYPE

PLAN NOTES:

- 1) EXISTING LIGHT POLE FIXTURE TO REMAIN.
- 2) E.C. TO PROVIDE NEW (17) FIXTURES AT EXPANDED FUEL.
- 3) EXISTING (14) FIXTURES AT EXISTING FUEL FACILITY CANOPY TO REMAIN.
- 4) REBAR/SS TO REMAIN EXISTING WALKWAY AND ANCHOR BOXES. TO BE REPLACED WITH NEW ANCHOR BOXES AT EXISTING LOCATION. EXISTING REBAR/SS TO REMAIN. FIELD VERIFY.



NOTE: THE FACILITY LIGHTING FIXTURES SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE NECESSARY ELECTRICAL SERVICE TO THE LIGHTING FIXTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE NECESSARY ELECTRICAL SERVICE TO THE LIGHTING FIXTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE NECESSARY ELECTRICAL SERVICE TO THE LIGHTING FIXTURES.

1615 WINDYME SOUTH  
RESTON, VA 20191  
433.741.8222  
www.corestates.com



THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTHS OF ALL UTILITIES AND MARK THEM PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE & STAMPS AND THEN VERIFY THE LOCATION AND DEPTHS OF ALL UTILITIES SHOWN ON THESE PLANS. THE CONTRACTOR SHALL NOT PROCEED WITH CONSTRUCTION UNLESS ALL UTILITIES ARE MARKED AND THE LOCATION AND DEPTHS ARE VERIFIED. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT WITH THE DESIGNER PRIOR TO PROCEEDING WITH CONSTRUCTION.

**PROJECT:**  
FUEL EXPANSION  
5100 28TH STREET SE  
GRAND RAPIDS, MI 49512

**Client:**  
COSTCO WHOLESALE  
730 LAKE DRIVE  
ISSAQUAH, WA 98027

**Revision/Issue:**

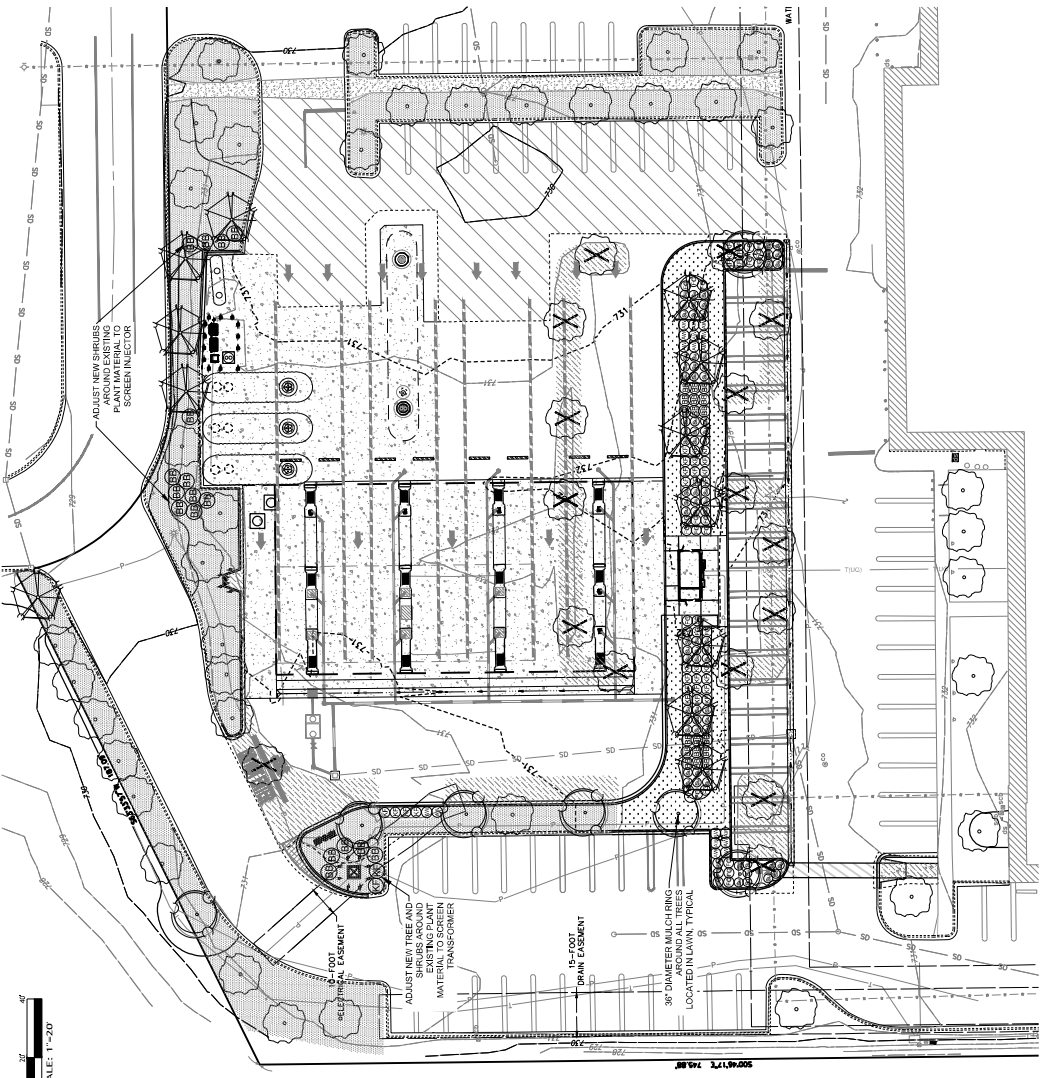
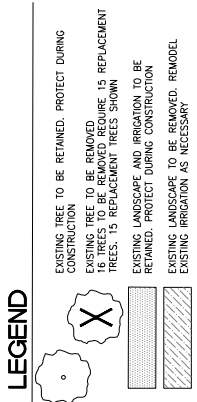
NO.	DATE	ISSUE	BY
1/23/21	12/21/20	ISSUED FOR PERMIT	JAW

**Drawn:** JAW  
**Reviewed:** JAW  
**Sheet Date:** 12.12.20  
**Proj. Number:** 12114

**Sheet Title:**  
LANDSCAPE PLAN

**Sheet Number:**  
L1

**LANDSCAPE PLAN**



**PLANT SCHEDULE**

SYMBOL	TREES	BRANCHES / COMMON NAMES	SIZE	SPACING	QUANTITY	REMARKS
(Symbol)	GLADIOLA IR. 'HERN'S WORNIE' / THORNLESS HORNLOGIST		1.5" CAL.	AS SHOWN	7	NOTES FOR ALL TREES: STAKE SEASON, NURSEY GROWN, BRANCHED AT 5'
(Symbol)	PRUNUS SP. 'NEWPORT' / FLOWERING PLUM		1.5" CAL.	AS SHOWN	12	
(Symbol)	SHRUBS:					
(Symbol)	PENISTEMUM ALOP. 'MAMMIV' / FOUNTAIN GRASS		1 GALLON	AS SHOWN	28	FULL & BUSHY
(Symbol)	SPRING JAPONICA 'ANTHONY WATERER' / SPRING		1 GALLON	AS SHOWN	17	FULL & BUSHY
(Symbol)	PHLOENOPSIS 'VINO-LOW' / SPRING		1 GALLON	AS SHOWN	75	FULL & BUSHY
(Symbol)	CALAMAGROSTIS ACHIL. 'JAYS FORESTERY' / FEATHER REED GRASS		1 GALLON	AS SHOWN	36	FULL & BUSHY
(Symbol)	EUPHORAS ALATA 'COMPACTA' / DWARF BURNING BUSH		1 GALLON	AS SHOWN	35	FULL & BUSHY
(Symbol)	SEDUMS/ROSETTES:					
(Symbol)	TURFGRASS LAWN, SEED OR SOO					

**UTILITY CONFLICT NOTE:**  
THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTHS OF ALL UTILITIES AND MARK THEM PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE & STAMPS AND THEN VERIFY THE LOCATION AND DEPTHS OF ALL UTILITIES SHOWN ON THESE PLANS. THE CONTRACTOR SHALL NOT PROCEED WITH CONSTRUCTION UNLESS ALL UTILITIES ARE MARKED AND THE LOCATION AND DEPTHS ARE VERIFIED. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT WITH THE DESIGNER PRIOR TO PROCEEDING WITH CONSTRUCTION.

## PUD Ordinance - Waterfall Shoppes #8 of 2004

### CASCADE CHARTER TOWNSHIP

Ordinance # 8 of 2004

(As amended by Ord. No 3 of 2005; 5/11/05)

(As Amended by Ord No 9 of 2006; 9/27/06)

(As Amended by Ord No of 2026; DATE)

AN ORDINANCE TO AMEND THE CASCADE CHARTER TOWNSHIP ZONING ORDINANCE AND ZONING MAP TO ESTABLISH THE WATERFALL SHOPPES PLANNED UNIT DEVELOPMENT PROJECT.

Cascade Charter Township Ordains:

Section I. An Amendment to The Cascade Charter Township Zoning Ordinance.

The application received from Mark Finkelstein, or assigns (hereinafter referred to as the "Developer"), for Planned Unit Development designation for the proposed Waterfall Shoppes project (herein after referred to as the "Project") was recommended by the Cascade Charter Township Planning Commission for approval on March 15, 2004. The Project is recommended for rezoning from an existing B-2 and I zoning to PUD, Planned Unit Development permitting this mixed use development. This action requires an amendment to the Cascade Charter Township Zoning Ordinance and Zoning Map to incorporate the Planning Commission's recommendation and the Cascade Charter Township Board of Trustees' action on April 14, 2004.

Section II. Legal Description.

The legal description of the Project is as follows:

41-19-18-100-005

E 1/2 NW 1/4 EX THAT PART WHICH WOULD BE INCLUDED IN A STRIP 260 FT WIDE THE ELY LINE OF WHICH IS DESC AS COM AT CEN OF SEC TH NELY IN A STRAIGHT LINE TO A PT 900 FT S OF N SEC LINE A PT 410 FT E OF N 1/4 COR TH N PAR WITH & 410 FT DIST E FROM N&S 1/4 LINE TO N LINE OF SEC & EX N 230 FT OF THAT PART OF W 200 FT OF E 1/2 NW 1/4 LYING S OF CL OF 28TH ST & EX THAT PART OF E 401.5 FT OF NW 1/4 LYING N OF A LINE WHICH IS 350 FT S OF & PAR WITH CL OF 28TH ST \* SEC 18 T6N R10W 72.13 A.

41-19-18-251-002

THAT PART W 1/2 NE 1/4 LYING ELY OF FOL DESC LINE - COM 410 FT E ALONG N SEC LINE FROM N 1/4 COR TH S PAR WITH N&S 1/4 LYINE 900 FT TH SWLY IN A STRAIGHT LINE TO CEN OF SEC & SLY OF SLY LINE OF STL US16 RELOCATED \* SEC 18 T6N R10W 46.72 A.

Section III. General Provisions.

The following provisions shall hereby apply to the Project, in addition to those Provisions outlined in Chapter 16 of the Cascade Charter Township Zoning Ordinance (Ordinance No. 11 of 1988, as amended). In the event there is a conflict between the provisions of this Ordinance and those of the Cascade Charter Township Zoning Ordinance, the provisions of this Ordinance shall control and govern.

Section IV. Purpose.

The Project occupies approximately 118 acres of land, divided in five separate phases of development, that presently is the site of the old Showcase movie theatre, the old drive-in theater, wetlands and vacant property. The Project is proposed to be developed into a mix of different uses involving general retail, restaurant, offices and hotels. Due to its size, magnitude, mixture of land uses and the timing of

development over a period of years, in which market conditions may change, special land use regulations are deemed necessary by Cascade Township to establish this Planned Unit Development (PUD) District.

The regulations contained herein are established to define the procedures necessary to insure high quality development on the Premises. Additionally, they are designed to achieve integration of the development with adjacent land uses and the natural environment; to permit flexibility in the regulation of land development; to encourage variety in design, lay-out and type of structures constructed within the development; to achieve economy and efficiency in the use of land; to encourage the provision of useful open space; and to provide improved employment opportunities particularly suited to the needs of the residents of Cascade Township and West Michigan.

This Ordinance is further intended to permit flexibility in the regulation of land development by allowing the Developer to modify the concept and design of the proposed development as the market may dictate in the future over the course of the development of the Premises. The provisions of this Ordinance are not intended as a substitute for the Cascade Township Zoning Ordinance and General Development Plan, nor do they in any way relieve the Developer from obtaining all approvals and permits required by the Township, except as provided herein.

#### Section V. Approval Limitations.

A. The provisions of this Ordinance are not intended as a substitute for the Cascade Charter Township Zoning Ordinance and the General Development Plan, nor do they in any way relieve the Developer from obtaining all approvals and permits required by the Township, except as otherwise expressly provided herein. In the event that a development issue or site plan element is not addressed by this Ordinance, the specifications and requirements of the Cascade Charter Township Zoning Ordinance shall be enforced.

B. Except as otherwise provided herein, the Developer and his assigns must meet all applicable provisions and regulations of Cascade Charter Township, as well as federal and state law, and must obtain all necessary approvals from state and county governmental agencies that are required for operation or use.

C. This PUD approval is expressly contingent upon all conditions of approval herein remaining fully effective and valid. If any condition imposed herein is determined to be illegal or contrary to law as a result of a successful legal challenge by the Developer or its assigns, or any other party, the Township reserves the right to review the entire Project under the PUD provisions of the Cascade Charter Township Zoning Ordinance, and further, to withdraw its approval of this PUD if it finds that, absent the effect of any condition imposed herein, the PUD no longer meets the standards for PUD approval contained in the Zoning Ordinance.

D. All conditions contained herein shall be binding upon the Developer, as well as its successors, tenants and assigns. The conditions may be modified or amended only pursuant to a formal amendment of the PUD approval and ordinance amendment. Provided, however, that minor or immaterial changes to the site plan shall not require formal amendment of the PUD approval and ordinance amendment if determined, by the Township Planning Director, to be minor site plan changes as defined by section 21.04 of the Zoning Ordinance as amended.

E. This approval document shall be recorded with the Kent County Register of Deeds by the Developer prior to construction occurring on site and shall run with and bind the lands involved. Copies of this recorded document shall be supplied by the Developer to the Cascade Charter Township Clerk.

F. Failure to comply with the site plan or any condition of approval herein shall be deemed a violation of the Cascade Charter Township Zoning Ordinance.

#### Section VI. Permitted Uses.

For land and buildings, the permitted uses for the Waterfall Shoppes PUD are as follows:

- A. Retail Uses; (including, without limitation, warehouse membership clubs and fuel filling facilities);
- B. Shopping Center;

- C. Hotels;
- D. Offices
- E. Restaurants;
- F. Movie theatre
- G. Other uses, either within the existing buildings or new buildings, may be permitted if the Planning Commission feels it will meet the design objectives of the Mixed Use category of the comprehensive plan. This may include the land being used for a residential land use component as well.

#### Section VII. Master Development Plan - Phasing.

The Project shall conform in as much as reasonably possible to the master development plan approved by the Township Board and signed by the Township on May 6, 2004. The intent of the Developer is to develop the project in five separate and distinct phases. Each phase will be required to submit site plans for each phase, building, or site improvement. This will allow the Township to ensure that all required infrastructure is constructed with the appropriate phase and that only those areas needed to be disturbed for each phase, are the areas planned to be disturbed. The Planning Commission shall review and approve all building or site improvement plans prior to the construction of each phase.

All phases of the Project shall comply with the Permitted Uses listed in Section VI and the Specific Development Regulations in Section VIII of this Ordinance. Site plan approval of each phase, building, or site improvement shall only be granted in accordance with Chapters 16 and 21 of the Zoning Ordinance, as may be amended.

Each phase shall be considered complete with the issuance of the required occupancy permit granted by the Township. Phases may be constructed concurrently with the approval of the planning commission.

#### Section VIII. Specific Development Regulations.

The Project shall be developed in accordance with each site plan approved and signed by the Township. The site plan shall indicate where each building will be located and provide appropriate measurements demonstrating compliance with this ordinance. Engineering plans and documents relating to utilities, topography, drainage, and the survey of the Project shall be reviewed and approved by the Township Engineer. Approval of these documents shall be based upon their meeting recognized, acceptable engineering standards and practices. No alterations, expansions or additions may take place to the Project without an amendment to this Ordinance, unless authorized otherwise herein.

It shall be unlawful for any person, firm or corporation to begin the construction of any building or other structure or to begin the alteration or moving of any building or structure within the Premises without receiving site plan review and approval from the Waterfall Shoppes Review Board and The Township Planning Commission.

Composition of the Review Board - All new construction, land use changes, alteration, or moving of buildings and structures shall be reviewed by a five (5) member Review Board. The Developer shall appoint three (3) members, with two (2) being officers of the Developer or their delegates and one (1) being a professional with a background in architecture, engineering, landscape architecture and/or urban planning. The two (2) remaining members shall be representatives of Cascade Township appointed by the Township Supervisor and approved by the Township Board. A simple majority of the membership of this Review Board (hereinafter referred to as the "Board") shall constitute a quorum. An affirmative vote of the majority of the Board members present shall constitute approval, approval with modification, or rejection of a site plan. Developers must request for 5 member Review Board to meet in writing or other

verifiable way. Upon request by Developer for a meeting, the meeting shall take place no later than five (5) business days from the date of request.

Responsibilities of the Review Board - The Board shall receive all site plans for all new construction, land use changes, alteration, or moving of buildings and structures within the Premises. In order to maintain a consistent aesthetic quality, the Review Board shall have sole authority to approve or reject building architectural designs within the Premises. The following is a partial list of items that may be carefully and thoughtfully scrutinized:

- A. Preliminary building plans and specifications;
- B. Exterior surface treatment, including roofs, with color and texture samples or descriptions;
- C. Scale;
- D. Geometry;
- E. Texture;
- F. Harmony with neighboring sites including the landscaping features of the site;
- G. Sun control devices; and
- H. Color.
- I. Landscaping as discussed in this section
- J. Signage as discussed in Section X

The Board's review and findings are subject to review before the Planning Commission. The Board can only grant preliminary approval of a site plan. The Planning Commission shall have the authority to grant final site plan approval. No site plan can be forwarded to the Planning Commission without the express, written approval of the Board.

Review and approval shall be based upon the following considerations:

1. Conformity and harmony of external design with the development and with neighboring structures.
2. Proper siting of buildings and lots as they relate to street frontage and neighboring uses.
3. Conformity of the plans and specifications with the development requirements as well as the purpose and intent of this PUD Ordinance.

The Review Board shall endeavor to review a submitted site plan within a reasonable time period after its submittal. The Board, however, retains the right to request additional information or modifications as it may deem necessary prior to approval or rejection of the plans and specifications. Once the Review Board has made its determination regarding a proposed site plan it shall transmit its findings and recommendations to the Planning Commission. The transmittal shall include the recommendation of the Board, its rationale and the minutes of all meetings in which the site plan was discussed before the Board.

Planning Commission Responsibilities - Following review and approval of a site plan by the Review Board, the Chairman of the Review Board or his authorized representative shall present it to the Planning Commission for final review and approval. The Planning Commission has the right to approve, approve with modifications, or deny site plan approval based upon its own findings of fact.

Limitation - Nothing herein shall require submission to or approval of the Review Board or Planning Commission for plans relating to normal maintenance or alterations to the interior of any structure. When such activities are contemplated, the Township Building Inspector shall be contacted as building permits may be required.

#### A. Design Guidelines, Requirements and Limitations.

This Ordinance also constitutes Township approval of the Phase I site plan attached hereto as Exhibit B. Respecting the other phases of development, with the exceptions listed below, all of the requirements of the Cascade Township Zoning Ordinance, as may be amended, must be complied with for site plan review for any new construction within the Project. Landscaping shall be provided within each Phase consistent with the approved landscape plans for each site as their individual site plans are considered for

approval.

" Phase 1 (Costco Warehouse Building & Gas Station ~~Fuel Facility~~)

a. The Phase one portion of the site shall be developed as shown on the approved site plans signed by the Township. These plans include the following:

- i. Site Plan dated March 22, 2004
  - [As amended with Fuel Facility Expansion Site Plan dated 02/20/26](#)
- ii. Landscaping Plan dated April 15, 2004
  - [As amended with Fuel Facility Expansion Landscape Plan dated 02/20/26](#)
- iii. Photometric Plan dated December 2, 2003
  - [As amended with Fuel Facility Expansion Photometric Plan dated 12/08/25](#)
- iv. Elevation Plan dated December 23, 2003
  - [As amended with Fuel Facility Expansion Elevation Plan dated 11/24/25](#)
- v. Floor Plan dated January 9, 2004
  - [As amended with Fuel Facility Expansion Floor Plan dated 11/24/25](#)
- vi. Engineering Plan dated March 26, 2004
  - [As amended with Fuel Facility Expansion Engineering Plan dated 02/20/26](#)

- b. Parking - The total amount of parking for Phase 1 shall be a maximum of 752 parking spaces.
- c. Lighting - The lights at the gas station shall be turned off each night no later than 11 p.m.
- d. Setback Requirements - No part of the building shall extend closer to any lot line than shown on the approved and signed site plan.
- e. Removal of the two existing non-conforming signs at the site.
- f. Completion of the irrigated landscape boulevard entrance.
- g. Completion of the dual left turn lanes on 28th Street.
- h. Access road to 33rd Street via the Consumers Power property shall be provided.
- i. Mast arms as shown on approved site plan.

" Phase 2 (Area south of the existing Bob Evans restaurant)

- a. Maximum Building Height - 35 feet.
- b. Setbacks - Front 100 feet  
Side - 25 feet  
Rear - 50 feet.

- c. Parking - The minimum number of parking spaces and the design of the parking lot shall be done in accordance with Chapter 19 of the Zoning Ordinance as amended.
- d. Landscaping - the site shall include a landscape buffer around the perimeter of the site. Landscaping shall be used to ensure that all intersections are free from obstructions and shall not cause traffic vision problems. The Waterfall Shoppes Review Board shall recommend the size of the buffer and the number and type of plantings in the buffer.
- e. Lighting - shall meet Section 19.19 of the Zoning Ordinance as amended.

" Phase 3 (Two Building sites along 28th Street)

- a. Maximum Building Height - 35 feet
- b. Setbacks - Front 100 feet\*  
Side - 25 feet  
Rear - 50 feet.

\*The Planning Commission may, at their discretion, approve a smaller front yard setback if they feel the smaller front yard setback will result in a more pedestrian friendly design, better traffic flow and/or parking lot design.

- c. Parking - The minimum number of parking spaces and the design of the parking lot shall be done in accordance with Chapter 19 of the Zoning Ordinance as amended. Once the minimum number of parking spaces are established these spaces may be shared provide the property owners provide the Township with a recorded copy of the shared parking agreement.
- d. Parking shall be limited to no more than 60% of the required parking spaces between the building and the road.
- e. Pedestrian access shall be provided from the sidewalk along 28th Street into the building and through the site to the south for use in other phases.
- f. No access directly to 28th Street shall be permitted for either site.
- g. Landscaping - the site shall include a landscape buffer around the perimeter of the site. Landscaping

shall be used to ensure that all intersections are free from obstructions and shall not cause traffic vision problems. The Waterfall Shoppes Review Board shall recommend the size of the buffer and the number and type of plantings in the buffer.

h. Lighting - shall meet Section 19.19 of the Zoning Ordinance as amended.

" Phase 4 (Area south of Phase 1)

a. Maximum Building Height - 35 feet

b. Setbacks - Front 100 feet\*

Side - 25 feet

Rear - 50 feet.

\*The Planning Commission may, at their discretion, modify the setbacks if they feel the modified setback will result in a more pedestrian friendly design, better traffic flow and/or parking lot design.

c. Parking - The minimum number of parking spaces and the design of the parking lot shall be done in accordance with Chapter 19 of the Zoning Ordinance as amended

d. Landscaping - the site shall include a landscape buffer around the perimeter of the site. Landscaping shall be used to ensure that all intersections are free from obstructions and shall not cause traffic vision problems. The Waterfall Shoppes Review Board shall recommend the size of the buffer and the number and type of plantings in the buffer.

e. Review by the ITP (Interurban Transit Partnership) shall be required to evaluate the need or desire to establish a bus stop in the development or along its 28th Street frontage before site plan approval is awarded.

f. Lighting - shall meet Section 19.19 of the Zoning Ordinance as amended.

g. Pedestrian access shall be provided through the site to connect to the pedestrian ways from the other phases.

" Phase 5 (Marked as future phases on the site plan)

a. Maximum Building Height - 40 feet, (amended by Ord. No 3 of 2005; 5/11/05)

b. Setbacks - Front 100 feet\*

Side - 25 feet

Rear - 50 feet.

\*The Planning Commission may, at their discretion, modify the setbacks if they feel the modified setback will result in a more pedestrian friendly design, better traffic flow and/or parking lot design.

c. Parking - The minimum number of parking spaces and the design of the parking lot shall be done in accordance with Chapter 19 of the Zoning Ordinance as amended

d. Landscaping - the site shall include a landscape buffer around the perimeter of the site. Landscaping shall be used to ensure that all intersections are free from obstructions and shall not cause traffic vision problems. The Waterfall Shoppes Review Board shall recommend the size of the buffer and the number and type of plantings in the buffer.

e. Lighting - shall meet Section 19.19 of the Zoning Ordinance as amended.

f. Pedestrian access - due to the location of these sites pedestrian access shall be evaluated by the The Waterfall Shoppes Review Board. The Board shall provide recommendations to the Planning Commission on the feasibility of providing pedestrian ways to phase 5.

Section X. Signs. The following signs shall be permitted for the entire development:

(Amended by Ord No 9 Of 2006;9/27/06)

1. All Pylon and Monument signs for the site shall be limited to those signs shown on the approved Site Signage Plan dated September 21, 2006. The monument sign at the service drive and 33rd street shall be treated as a directional sign for placement purposes. The business in Phase 3 of the project shall not be permitted to use these signs. In exchange they will have their own signage as described below.

2. Wall Mounted signs for the Phase 1 building is limited to the signs as shown on the Costco Wholesale Elevation Plan dated 12/23/2003 and Fuel Facility Elevation Plan dated 11/24/2025, as signed and approved by the Township. Notwithstanding any other provision in this Section, the Fuel Facility is permitted four (4) canopy signs as shown on the approved Elevation Plan.

3. Wall Mounted signs for Phases 2 and 3 shall be limited to the following:

a. One (1) wall sign or marquee per building, not to exceed one-hundred (100) square feet in total sign area, or;

b. Or, one (1) awning/canopy sign per building, not to exceed thirty-two (32) square feet in total sign area, or;

c. In the event the building has multiple commercial establishments, each commercial establishment's space will be permitted a sign area equal to one square foot for each lineal foot of building frontage (i.e., building frontage on the ground for the front of the building) that each respective commercial establishment occupies, not to exceed 100 sq.ft in total per commercial establishment and no sign shall have a length of more than two-thirds of the subject frontage.

d. Window signs and displays, provided permanent window sign(s) shall not cover more than twenty-five (25) percent of the total window surface and temporary window signs shall not cover more than fifteen (15) percent of the total window surface.

e. One (1) directory wall sign per commercial establishment, not to exceed twenty (20) square feet in total sign area.

3. Wall signs in Phase 4 and 5 - Due to the location of these phases the developer shall be permitted the same wall signage as Wall Signs in Phases 2 and 3. Furthermore, the developer may submit a signage package to the Waterfall Shoppes Review Board to offer alternatives to this section. The Waterfall Shoppes Review shall provided a recommendation to the Township Planning Commission on any deviations from the allowed wall signage. In considering any deviation, the Waterfall Shoppes Review Board shall consider the size of the individual sign, square footage of the total sign package, the location of the signs on the building, the impact the deviation may have any future or existing buildings in the project, the benefit to the community, and the purpose for permitting the deviation.

4. No pole signs or ground-mounted signs are permitted for Phase 2.

5. The monument signs in Phase 3 shall be limited to the following:

One (1) freestanding permanent sign per zone lot. Regardless of the number of businesses, commercial establishments, buildings or tenants per lot, only one (1) such sign shall be permitted per lot and such sign shall not exceed a total sign area of 24 square feet unless it is in compliance with the table below.

SETBACK (feet)	SIGN AREA (square feet)	HEIGHT (feet)
5	24	4
10	30	5
15	40	5.5
20	50	6
25+	60	7

Note: F OR SETBACKS DIFFERENT THAN THOSE LISTED ABOVE, SELECT THE SIGN AREA AND HEIGHT THAT CORRESPONDS TO THE NEXT LOWER SETBACK.

6. Also permitted throughout the entire site is a maximum of 6 directional signs up to a maximum of 6 sq.ft each. The location to be approved by the Planning Department prior to placement of each sign. At least one on these directional signs shall include information directing people to the access road for access to 33rd St. Furthermore, the developer may submit a signage package to the Waterfall Shoppes Review

Board to offer alternatives to this section. The Waterfall Shoppes Review Board shall provide a recommendation to the Township Planning Commission on any deviations from the allowed directional signage. In considering any deviation, the Waterfall Shoppes Review Board shall consider the location of the signs on the site, the impact the deviation may have any future or existing buildings in the project, the benefit to the community, and the purpose for permitting the deviation.

7. The two existing non-conforming Signs located on the property must be removed before the start of phase two.

#### Section XI. Temporary Buildings.

No structure of a temporary nature; trailer, tent or construction shack shall be constructed, placed or maintained within the Project except accessory to and during construction/ renovation of buildings or infrastructure improvements.

#### Section XII. Land Splits

The entire premises shall be under the control of one owner. Should the developer request smaller lots, permission to perform a Land Division must be granted by the Planning Department. The Planning Department will review the proposed land division under the criteria of the Land Division Act and the Cascade Charter Township Zoning Ordinance.

#### Section XIII. Utilities.

A. Public Water and Sanitary Sewer - All buildings within the Project shall be served by public sanitary sewer and water at the developer's expense. No building permits will be issued for any construction within the Project until final approval of the public utility system is approved by the City of Grand Rapids and Cascade Township. This does not preclude the applicant from starting on Phase 1. However, no Occupancy permit will be granted for Phase 1 until the utilities are approved.

B. Stormwater Drainage - All proposed stormwater drainage facilities shall be reviewed and approved by the Township Engineer and the Kent County Drain Commissioner's office prior to the development of the Project. The Developer shall provide the Township Planning Department with copies of all correspondence and permits received from the Kent County Drain Commissioner and Michigan Department of Environmental Quality regarding stormwater disposal and wetland issues.

C. The Developer shall provide all necessary easements within the Project for telephone, electricity, gas and cable television to the appropriate utility provider without cost. Said easements shall be recorded with the Kent County Register of Deeds and provided to each utility provider for their records.

#### Section XV. Soil Erosion Control Requirements.

Prior to each phase of construction, the Developer shall submit a soil erosion control plan showing all temporary and permanent soil erosion control measures to be taken before, during, and after construction on the Project. This plan shall be reviewed and approved by the Township Engineer prior to commencing any building on the site.

#### Section XVI. Performance Guarantee.

To insure compliance with this Ordinance and any conditions herein, Cascade Township may require reasonable performance guarantees, as authorized under the Township Rural Zoning Enabling Act to insure completion of improvements such as, but not limited to, landscaping, drainage, lighting, roads, and utilities. The Township Board, Engineer, or Planning Department may require such guarantees at any time they deem necessary to insure completion of the improvements.

#### Section XVII. Reimbursement of Review Fees.

The Developer shall re-imburse the Township for all fees associated with the review of the Project. These fees may include, but not be limited to, legal, engineering, publishing, and planning review fees.

#### Section XVIII. Consistency With Planned Unit Development (PUD) Standards.

The rezoning to Planned Unit Development will result in a recognizable benefit to the ultimate users of the Project and to the community. The conversion of a manufacturing building to a office complex is viewed as a more compatible use to adjacent residential and recreational land uses.

In relation to the underlying zoning (B2, General Business and I, Industrial) the Township finds the Project will not result in a material increase in the need for public services. Utility extensions and construction will be the responsibility of the Developer and will not place a material burden upon the subject property or the surrounding properties. The Project is not anticipated to cause undo impact to the stormwater drainage of the surrounding area. All stormwater and soil erosion control plans have been approved by the Township Engineer and the appropriate County and State agencies. All stormwater created by this development will be maintained on site.

The Project has been determined by the Township to be compatible with the General Development Plan of the Township and with the spirit and intent of the Planned Unit Development Chapter of the Zoning Ordinance.

The Township finds the Project will not result in an unreasonable negative economic impact upon surrounding properties.

The Township finds the Project to have more wetlands, green areas, and usable open space than would typically be required by the Township Zoning Ordinance.

Finally, the Township recognizes the Project will be under single ownership or control. The Township recognizes that the Developer or its assigns will retain ownership and control of the project until some of the buildings may be sold to other parties.

Section XIX. Effective Date.

This Ordinance shall become effective upon publication of the ordinance, or a summary thereof, in The Grand Rapids Press, a newspaper of general circulation within Cascade Charter Township. All prior Planned Unit Development ordinances that were previously approved for this property shall become null and void.

The foregoing Ordinance was offered by Board Member Timmons, supported by Board Member Goodyke. The roll call vote being as follows:

YEAS: Carpenter, Goodyke, Julien, Kleinheksel, Parrish, Timmons

NAYS: None

ABSENT: Jones

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Marlene Kleinheksel  
Cascade Charter Township Clerk

**MINUTES**  
**CASCADE CHARTER TOWNSHIP PLANNING COMMISSION**  
**MONDAY, March 16, 2026**  
**6:00 pm**  
**2870 JACKSMITH AVE SE**

- ARTICLE 1.** Chair Rowland called the meeting to order at 6:00 pm.  
Members Present: Korstange, Kraemer, Rowland, Cribbs, Madiol, Kaiser, Lauer  
Members Absent: None  
Others Present: Downtown Development Authority (DDA) Manager Ryan Sennett, Building Official Brian Wilson, Legal Counsel Laura Genovich, Planning Administrative Assistant Nick Govan and others listed on the sign-in sheet.
- ARTICLE 2. Pledge of Allegiance to the Flag**
- ARTICLE 3. Approve the current Agenda**  
**Motion by Treasurer Korstange to approve the current agenda.**  
**Supported by Commissioner Madiol.**  
**Motion carried unanimously.**
- ARTICLE 4. Disclose any Conflict of Interest**  
There were no conflicts of interest disclosed.
- ARTICLE 5. Approve the Minutes of the March 2, 2026 meeting.**  
**Motion by Treasurer Korstange to approve the minutes of the March 2, 2026 meeting.**  
**Supported by Commissioner Cribbs.**  
**Motion carried unanimously.**
- ARTICLE 6. Acknowledge visitors and those wishing to speak.**  
There was no one wishing to speak.
- ARTICLE 7. Case #26-3912 – Public Hearing**  
**Applicant:** Costco Wholesale, Josh Beach  
**Property Address:** 5100 28th Street SE  
**Parcel Number:** 41-19-18-100-013  
**Requested Action:** Request for an amendment to the Waterfall Shoppes PUD, Ord. #8 of 2004, to amend a previously approved Site Plan to expand the existing gas station, reconfigure the associated parking and access area, and amend the text to increase the number of allowed signs.  
  
DDA Manager Ryan Sennett presented the application for a PUD amendment for Costco Wholesale at 5100 28th Street SE. He explained that the applicant sought to expand the existing fuel facility and reconfigure the surrounding site. The fuel station is situated in the northwest portion of the Costco site, adjacent to the main warehouse building.

Sennett noted the purpose of the expansion was to improve Costco members' fuel purchasing experience by increasing processing capacity and reducing queues. The plan included adding six fueling dispensers and a 40,000-gallon premium underground storage tank to accommodate the increased demand. The new tank would be daisy-chained with the existing tanks, which would remain in use.

Regarding access reconfiguration, Sennett explained the current main exit is at the southwest corner and the applicant proposed moving it to the northwest corner of the fuel facility. The township engineer had reviewed the plans and raised no concerns over the egress point. He noted the relocation diverts fuel facility traffic away from the primary traffic lane and pedestrian crossings. Following staff feedback, the applicant had also added an additional crosswalk connecting the fuel facility area to the sidewalk to the south. One-way circulation within the fuel facility would be maintained, with a bypass lane between each dispenser and 28 feet of spacing between dispensers.

On parking compliance, Sennett stated the reconfiguration results in a net gain of one parking space, bringing the total to 745 spaces. The zoning ordinance requires a minimum of 584 and a maximum of 752, placing the site in compliance. The fire department reviewed the plans and raised no concerns regarding emergency vehicle access.

Sennett addressed the canopy materials, noting the canopy would continue to use materials similar and compatible with the primary building. Regarding the landscaping plan, he noted 16 trees would be removed for construction and the amended plan proposed replanting all 16 trees at the fuel facility portion of the site. The plans provide a 20-foot perimeter buffer with a three-foot high berm, meeting the requirements of the underlying zoning.

Sennett addressed the signage request, explaining the applicant was also requesting a text amendment to allow four signs on the fuel canopy, one on each elevation, where the current PUD text restricts signage to two. He noted the four signs had existed on site for at least 10 years, with streetscape images from 2016 confirming their presence, though no record of when the four signs were installed could be found. A building permit had been approved in 2025 to replace the existing four signs. In order to reinstall signage on all four elevations going forward, a PUD text amendment was required. Staff did not object to the proposed amendment but noted the Planning Commission should deliberate on whether the existing signage configuration was appropriate for the site.

Sennett concluded that staff had reviewed the request against the standards of Section 16.03 of the Zoning Ordinance and found it consistent. Key items for deliberation included the movement of the egress point, landscape screening and buffering, and the canopy signage. The staff recommendation was to recommend approval of the PUD amendment.

Commissioner Cribbs raised concern about vehicle queuing with the

reconfigured layout, referencing his experience at a Costco fuel facility in Louisville, Kentucky where cars would queue in long lines. He asked where cars would queue once additional pumps were added, expressing concern that vehicles could back out into the main parking lot or onto the internal waterfall shoppes roads, particularly on busy days.

Sennett responded that queueing would likely take place toward the main traffic lane in front of the Costco warehouse building. He added that the exit relocation to the northwest diverts traffic away from the primary pedestrian crossing area, which would be a disadvantage if the layout were reversed.

Commissioner Madiol noted that the additional pumps would allow more vehicles to be served simultaneously, reducing overall queue length.

Vice Chair Kraemer acknowledged Commissioner Cribbs' public safety concern as legitimate but noted the commission had limited ability to analyze it beyond anecdotal observation. He referenced the staff report's statement that no concerns over the egress were raised by the township engineer, and indicated he would not be inclined to require a full redesign without supporting data.

The applicant's representative, Josh Beach of Core States Group (1821 572nd Avenue, Kent, Washington), introduced his team, which included Julie Anderson (Senior Planner, Core States Group), Kayleen Burnett (Costco), and Barbara Mosier (Traffic Engineer, Kittleson and Associates). In response to questions about relocating the egress on the northwest instead of flipping the queuing lanes from the east side to the west side of the fueling station, Beach explained the intent was to expand existing infrastructure rather than tear it out and rebuilding it. He noted that three of the existing pump islands would also be shifted slightly to widen the spacing.

Chair Rowland asked about signage, noting that the allowed signage had one face of the canopy facing the adjacent cemetery and another faced the warehouse itself making those less effective. Beach indicated Costco preferred four signs as a Costco nationwide standard, but that it was not a firm position.

Rowland asked how long the construction project would take. Beach stated that no definitive schedule was set but noted the intent was to keep the facility operational during the day and conduct construction overnight to minimize disruption.

Barbara Mosier of Kittleson and Associates addressed the Commission. She explained that Kittleson had been gathering Costco-specific trip generation and gas queuing data for approximately 25 years, resulting in a far more robust dataset than comparable uses in standard traffic manuals. She stated the existing condition allows approximately five cars of queuing space per pump island. With the expansion from 12 to 24 fueling positions, data consistently showed that queues become shorter even though total

volumes may increase slightly, as more capacity reduces wait times. She confirmed that during the Saturday peak hour, the 24-pump configuration would provide sufficient queuing space for the maximum anticipated queue.

Treasurer Korstange asked whether the traffic data supported this layout as Costco's best solution. Beach confirmed that all options had been considered and this approach, expanding on the existing footprint, was determined to be the most practical.

**Motion by Chair Rowland to open public hearing.**

**Supported by Treasurer Korstange.**

**Motion carried unanimously.**

Josh Jordan (5479 Whispering Timbers Drive) noted he regularly uses the south entrance off 33rd St to Costco due to congestion at the 28<sup>th</sup> Street entrance and exit. Jordan did not raise substantive concerns regarding the fuel facility expansion.

**Motion by Chair Rowland to close public hearing.**

**Supported by Commissioner Madiol.**

**Motion carried unanimously.**

During deliberation, Commissioner Cribbs reiterated his concern that even with additional pumps, queuing on busy days could extend into the main parking lot and create conflicts with pedestrians. He noted the escape lanes were tight and that parking spaces near the fuel facility were limited. Treasurer Korstange noted the current site already functions without queuing extending onto the street, and that doubling the pump capacity should only improve conditions. Other commissioners indicated they would defer to the traffic data provided and did not find sufficient grounds to require a full redesign.

The Commission then turned to the signage question. Chair Rowland expressed a preference for returning to two signs, citing a desire not to set a broader precedent for fuel canopy signage. Sennett clarified that the underlying B-1 zoning and sign ordinance did not specifically address canopy signage for fuel facilities and that it would likely be treated as wall signage, which is typically one per building, with the PUD currently permitting two. Treasurer Korstange noted the precedent may already be established given the four signs had been in place for at least 10 years, and that reducing them would require removing what was already there. Commissioner Madiol and Vice Chair Kraemer indicated no strong objection to the four-sign configuration, noting it appeared consistent with other fuel facilities in the township. After discussion, the Commission generally concurred that the existing four-sign configuration was acceptable.

**Motion by Vice Chair Kraemer to RECOMMEND APPROVAL of Case #26-3912, for a PUD amendment to the approved site plan to allow for site improvements and Waterfall Shoppes PUD, Ord. #8 of 2004, to approve a previously approved Site Plan to allow for site**

**improvements and existing signage of no more than four signs at the fuel facility at 5100 28th Street SE, for the following reasons:**

- 1. The amendment to the PUD Ordinance satisfies the PUD standards of review and approval outlined in Section 16.03 of the Cascade Township Zoning Ordinance.**

**Supported by Treasurer Korstange.  
Motion carried unanimously.**

**ARTICLE 8.**

**Case #25-3905**

**Applicant:** Harvest Health, Mitchell Nol

**Property Address:** 6807 Cascade Road SE

**Parcel Number:** 41-19-09-451-062

**Requested Action:** Request for Site Plan approval for an exterior remodel of an existing building.

Sennett presented the next application for a site plan review for Harvest Health at 6807 Cascade Road SE. He explained the applicant was proposing an exterior renovation of the existing building along with some interior improvements. The property is located on the north side of Cascade Road within the Thornapple Centre PUD. The overall site plan footprint would remain largely the same, with a remodel of the vestibule included. A dumpster enclosure was proposed using wood slat fencing to maintain consistency with the main building, and existing mechanical equipment to the west of the building would be screened.

Sennett described the proposed improvements, including new flooring, fixtures, and asphalt shingles on the roof. The applicant was also adding a new parapet wall on two sides of the building to break up the long, uninterrupted building face and provide architectural variety. Proposed exterior materials included brick veneer, faux wood siding, and fiber cement lap siding. The applicant planned to add five operable windows on the front and five on the rear, allowing views into the store interior where none currently existed due to the building's existing facade construction.

Sennett noted that the proposed plans required departures from Section 8.08 of the Zoning Ordinance regarding the percentage of windows and specific material types. Six standards within Section 8.08 were not met. The Village Design Review Committee (VDRC) had reviewed the elevations and proposed materials and recommended the Planning Commission grant departures from all six standards not met, which included Sections 1, 3, 4, 7, 11, and 12. Sennett noted that the Planning Commission, per the Zoning Ordinance, has authority to grant such departures. Section 8.09 requires the Commission to consider the impact of modifications on future and existing development, the benefit to the community, and the public purpose to be served by permitting the modifications.

The staff recommendation was for approval of the site plan and requested departures as recommended by the VDRC, with two additional conditions requiring the applicant to meet all standard requirements for site lighting and future signage permits.

Chair Rowland asked about the light gray section of the building's exterior. Korstange responded that it was done to break up the visuals of the building.

Treasurer Korstange, who had participated in the VDRC review, provided additional context for the Commission. She noted the applicant had invested significant effort to bring the design closer to the village standards. The existing building was constructed almost entirely as a facade, with windows that appeared real but were not functional openings. As a result, the applicant could not achieve the full window transparency requirements of Section 8.08. The Applicant Mitchel Nol (6807 Cascade Road) mentioned they had gone through considerable expense and effort of cutting in five real operable windows on both the front and rear elevations to allow visible light and activity from Cascade Road. Korstange also noted the parapet addition would replace large unsightly louvers currently on each peak, improving the overall appearance. She described the VDRC's approach as evaluating how much improvement the applicant could reasonably achieve given the limitations of the existing structure, rather than requiring full compliance that would effectively mandate demolition and rebuilding.

Nol noted the building had been in operation since 1957, and that while the building's long, narrow configuration was not ideal for grocery retail, the planned renovation represented a meaningful investment to bring the building in line with the Township's standards. Nol referenced a comparable remodel at the company's Hudsonville store, which had resulted in approximately a 15% increase in sales sustained throughout the year. He and his wife had purchased the company with the intent of making substantial interior and exterior updates to reflect the company's updated branding. He noted the company was also reducing its total signage from 10 signs to two, which was consistent with the Township's vision, though the PUD currently permitted only one sign. Sennett confirmed that a PUD amendment would be required for two signs and that the applicant would need to return through the PUD amendment process separately.

Vice Chair Kraemer raised a broader concern about the design standards. He acknowledged the visible improvement the project represented but questioned whether granting departures from six of the Section 8.08 standards effectively rendered those standards meaningless. He noted the standards existed to guide the area's long-term design vision and expressed concern that if every redesign resulted in exceptions for cost reasons, the vision would never be realized. He highlighted walkability and visible street-facing entrances as particularly important given the building's location on Cascade Road, which is central to the village district.

Treasurer Korstange responded that the VDRC's process was not simply accommodating cost concerns but was evaluating the practical constraints of the existing building stock. She noted the applicant was moving from meeting virtually none of the standards to meeting approximately 70 to 80 percent of them. She emphasized that requiring full compliance would necessitate a complete tear-down and rebuild, which was not feasible for

the type of renovation that was being done.

Chair Rowland noted he would have liked to see a pedestrian sidewalk connection to Cascade Road. Mitchell Nol acknowledged the idea had been explored but explained the elevation change of two to three feet and the presence of utility infrastructure made a sidewalk connection between the building and the adjacent bank extremely difficult. Treasurer Korstange confirmed this had been a point of discussion during the VDRC review, and that while she had advocated for the sidewalk connection, the committee had reached a consensus that it was not feasible at this time. The applicant indicated openness to revisiting the issue in the future.

Commissioner Cribbs asked for clarification on which version of the zoning ordinance applied to this application. Sennett confirmed the review was based on the current Zoning Ordinance standards within Section 8.08, not the newly adopted Zoning Ordinance that is currently on hold due to a petition submitted for a referendum. Chair Rowland and Treasurer Korstange clarified this distinguished the Harvest Health application from others, such as the International Beverage application, which had been processed under proposed future standards and was now in a different status.

**Motion by Treasurer Korstange to APPROVE case #25-3905, for Site Plan approval for an exterior remodel of the existing building at 6807 Cascade Road SE, with the following conditions:**

- 1. Departure from the requirements of the following subsections of Section 8.08 is granted: Sections 1,3, 4, 7, 11, and 12.**
- 2. The applicant shall meet the sign requirements of the Thornapple Centre PUD Ordinance.**
- 3. Lighting levels shall meet the requirements of Chapter 19 of the Zoning Ordinance.**

**Supported by Commissioner Madiol.**

**Motion carried unanimously.**

**ARTICLE 9. Case #26-3917 – Public Hearing**

**Applicant:** Cascade Charter Township

**Requested Action:** Request to consider amendments to the Township Zoning Ordinance that would allow the Township Board to implement a short-term moratorium for existing and new or emerging land uses.

Legal Counsel Laura Genovich of Foster Swift addressed the Commission, on amendments to the zoning ordinance related to moratoriums. She clarified that a subcommittee had been formed to study potential data center regulations but had not yet met, and that the focus of the evening's discussion was solely the proposed text amendment to establish a moratorium mechanism in the Zoning Ordinance, not the development of data center-specific regulations.

Genovich provided background on the purpose of moratoriums in zoning law. She explained that municipalities have increasingly encountered new or emerging land uses, including wind energy, solar energy, battery storage, and now data centers, that require time to study and regulate in the zoning ordinance. A moratorium

allows a temporary pause on approvals while that study and amendment process takes place. She noted that case law has evolved significantly on the procedural requirements for valid moratoriums, generally indicating that a moratorium should be implemented by ordinance rather than by resolution or motion alone. In some circumstances, however, a resolution may be used if the zoning ordinance specifically authorizes it.

Genovich explained there were two different actions related to moratoriums before or related to the Commission. First, the Township Board had already exercised its police powers to adopt an ordinance placing a moratorium on data center approvals pending regulatory development in the Zoning Ordinance. Second, the text amendment before the Planning Commission that evening proposed a structural change to the Zoning Ordinance itself, which would authorize the Township Board to impose moratoriums by resolution on a forward-going basis for any existing, new, or emerging land uses that needed to be regulated. She emphasized that this mechanism was broader than data centers and was intended to make the township more agile when new land uses arose.

Chair Rowland asked how the mechanism worked procedurally, including whether the board voted to set the duration. Genovich confirmed the board would adopt a resolution and set the time period, which could not initially exceed 12 months. She noted that an additional extension of up to six months could also be granted with public notice.

Commissioner Madiol sought clarification on whether the agenda item included both the moratorium mechanism and data center-specific regulations. Genovich confirmed only the moratorium mechanism was before the Commission that evening. Treasurer Korstange added context, noting the Township Board had already acted under its police powers with a six-month moratorium on data centers with a possible six-month extension.

Chair Rowland raised a question about whether the moratorium mechanism would apply retroactively to existing pending applications. Genovich clarified that the mechanism was intended for emerging land uses in need of zoning regulation and would not affect applications already approved. She also noted the mechanism was not a tool for excluding land uses entirely, but rather for ensuring the zoning ordinance provided adequate regulatory standards before applications were processed.

**Motion by Chair Rowland to open public hearing.  
Supported by Treasurer Korstange.  
Motion carried unanimously.**

Josh Jordan (5479 Whispering Timbers Drive) noted he regularly uses the south entrance to Costco. He commended Commissioner Cribbs on the correct pronunciation of Louisville. Jordan did not raise substantive concerns regarding the fuel facility expansion.

**Motion was made by Chair Rowland to close public hearing.  
Supported by Treasurer Korstange.  
Motion carried unanimously.**

**Motion by Chair Rowland for Case #26-3917, to RECOMMEND APPROVAL of the ordinance to amend the Zoning Ordinance to allow for imposing a temporary moratorium for any application permits, rezoning, licensing or approval for existing, new or emerging land use in the township of Cascade, the initial moratorium shall not exceed 12 months, with one additional extension of up to six months. Supported by Treasurer Korstange. Motion carried unanimously.**

**ARTICLE 10. Acknowledge visitors and those wishing to speak.**

There was no one wishing to speak.

**ARTICLE 11. Other Business**

There was no other business.

**ARTICLE 12. Adjourn**

**The meeting adjourned at 8:00 pm.**

Respectfully submitted,

Commissioner David Madiol, Planning Commission Secretary



# CASCADE CHARTER TOWNSHIP

5920 Tahoe Drive SE Grand Rapids, Michigan 49546-7140

## REQUEST FOR BOARD ACTION

**MEETING DATE: April 22, 2026**

**ITEM: Consider Approval of Zoning Amendment Referendum Language**

**PRESENTER:** Jade Smith, Township Manager and Mike Homier, Township Attorney

### **INDIVIDUAL PRESENT:**

**EXECUTIVE SUMMARY:** On February 11, 2026, the Township Board adopted comprehensive amendments to the Cascade Charter Township Zoning Ordinance through Resolution No. 005-2026, with official notice published on February 17, 2026.

On February 18, 2026, the Township Clerk received a Notice of Intent to File Petition from a qualified elector, Daniel N. Grzywacz, in accordance with Section 402 of the Michigan Zoning Enabling Act (MCL 125.3402). The petition sought to place the adopted zoning amendments before Township voters for approval via referendum.

Completed petition forms were submitted by the March 19, 2026 deadline. The Clerk's Office has verified both the petition documents and signatures as compliant with statutory requirements.

The next step in the process is the preparation and approval of ballot language for submission to voters at the August 4, 2026 election. Draft ballot language has been reviewed by Township legal counsel and is being presented for consideration prior to submission to Kent County.

**STRATEGIC PLANS/GOALS:** N/A

**BUDGET IMPLICATIONS:** N/A

**IMPLEMENTATION PLAN:**

**DIRECTOR'S RECOMMENDATION:** N/A

**MANAGER'S RECOMMENDATION:** N/A

**ACTION REQUESTED:** Approve the proposed ballot language for the August 4, 2026 election referendum on the adopted zoning ordinance amendments (Resolution No. 021-2026 ) and

authorize its submission to Kent County for placement on the ballot.

**ATTACHMENTS:**

1. Ballot Language Resolution 021-2026

DRAFT: 4/17/2026

APPROVED:

**CASCADE CHARTER TOWNSHIP  
KENT COUNTY, MICHIGAN**

**RESOLUTION NO. 021-2026  
A RESOLUTION TO APPROVE ZONING ORDINANCE REFERENDUM  
BALLOT LANGUAGE**

At a meeting of the Township Board for the Charter Township of Cascade, Kent County, Michigan, held on the 22<sup>nd</sup> day of April, 2026.

PRESENT: \_\_\_\_\_

ABSENT: \_\_\_\_\_

The following preamble and resolution were offered by \_\_\_\_\_ and seconded by \_\_\_\_\_.

WHEREAS, the Michigan Zoning Enabling Act, 2006 P.A. 110, MCL 125.3101 *et seq.* (“MZEA”), authorizes Cascade Charter Township (the “Township”) to adopt reasonable regulations concerning the use of land in the Township; and

WHEREAS, on February 11, 2026, the Township Board adopted Ordinance No. 6 of 2025, “Cascade Township Zoning Ordinance” (“Ordinance”); and

WHEREAS, the Township published the Ordinance or a summary thereof in a newspaper of general circulation in the Township as required by law; and

WHEREAS, the Township thereafter received a timely notice of intent to file a petition seeking a referendum on the Ordinance; and

WHEREAS, petitioners thereafter filed a petition, signed by a number of registered electors residing in Cascade Township of not less than 15% of the total vote cast for all candidates for governor at the last preceding general election at which a governor was elected, with the Township Clerk requesting the submission of the Ordinance to the electors for their approval; and

DRAFT: 4/17/2026

APPROVED:

WHEREAS, the Township Clerk has determined that the petition was adequate and verified the signatures; and

WHEREAS, the Township must provide the manner of submitting the Ordinance to the electors of Cascade Township for their approval or rejection.

NOW, THEREFORE, the Township Board of the Charter Township of Cascade resolves as follows:

1. The Township Board shall submit the following proposition to the electors of Cascade Township at the election on August 4, 2026:

**CASCADE CHARTER TOWNSHIP**  
**ZONING ORDINANCE REFERENDUM**

Shall Ordinance No. 6 of 2025, "Cascade Township Zoning Ordinance," adopted by the Cascade Township Board on February 11, 2026, which updates and replaces the Township zoning ordinance originally adopted in 1989, be approved?

Yes

No

2. The Township Clerk shall promptly certify and submit this resolution along with the ballot language to the Kent County Clerk so that the proposal may be included on the ballot in the August 4, 2026 election.

3. Any and all resolutions that are in conflict with this Resolution are hereby repealed, but only to the extent necessary to give this Resolution full force and effect.

Upon a roll call vote, the following voted:

YEAS:

NAYS:

The Supervisor declared Resolution 021-2026 adopted.

DRAFT: 4/17/2026

APPROVED:

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Susan B. Slater, Clerk  
Cascade Charter Township

**CERTIFICATION**

I HEREBY CERTIFY that the foregoing is a true and complete copy of a resolution adopted by the Township Board of Cascade Charter Township, County of Kent, Michigan, at a regular meeting held on April 22, 2026, and that said meeting was conducted and public notice of said meeting was given pursuant to and in full compliance with the Open Meetings Act, being Act 267, Public Acts of Michigan, 1976, and that the minutes of said meeting were kept and will be or have been made available as required by said Act.

---

Susan B. Slater, Clerk  
Cascade Charter Township



# CASCADE CHARTER TOWNSHIP

5920 Tahoe Drive SE Grand Rapids, Michigan 49546-7140

## REQUEST FOR BOARD ACTION

**MEETING DATE: April 22, 2026**

### **ITEM: Expansion and Modernization of Public Safety Siren System**

**PRESENTER:** Adam Magers, Fire Chief

**INDIVIDUAL PRESENT:** N/A

**EXECUTIVE SUMMARY:** The Fire Department's 2025-2028 Strategic Plan identified significant coverage gaps in the current emergency warning siren system. The 2026-2031 Capital Improvement Plan, and the corresponding FY26 budget, include a project to address these gaps. Working with West Shore Services, the sole source vendor for this system, an enhanced coverage map (attached) was developed. This plan would see the reuse and relocation of the two existing sirens (that may currently be heard by approx. 60 percent of residents), and the addition of 6 new sirens. Once complete, the sirens will reach approx. 95 percent of Township residents.

The current system is controlled by an aging computer located in Township Hall, which is activated by a signal from Kent County Central Dispatch. Once the County completes their own upgrade using West Shore Services, this transfer point will be eliminated. The streamlined system will increase reliability and decrease costs, as the Township will no longer have to maintain computer hardware, software, and power sources. The total cost for the relocation of 2 current and 6 new "Federal Signal" sirens and associated programming is \$194,900. This is less than the \$250,000 budgeted for the project in the Police Fund.

**STRATEGIC PLANS/GOALS:** As identified in the 2025-2028 Fire Dept Strategic Plan, this siren upgrade was identified as a strategic goal for 2026 implementation. If approved, the Township will have adequate, and updated coverage in an emergency mass notification event.

**IMPLEMENTATION PLAN:** If approved, Fire Dept team led by Chief Magers and Lt Forzley will execute the attached plan from WestShore Services.

**BUDGET IMPLICATIONS:** This project is included in the FY26 Police Fund (#207) budget . No amendment is needed.

**DIRECTOR'S RECOMMENDATION:**

**MANAGER'S RECOMMENDATION:**

**ACTION REQUESTED:** Approve the \$194,900 quote from West Shore Services for the enhancement and modernization of the public safety siren system.

**ATTACHMENTS:** Coverage map

Westshore Services quote

03/12/2026

Cascade Fire Department  
Attn: Chief Adam Magers  
2990 Buttrick Ave SE  
Ada, MI 49301

Dear Chief Magers,

The purpose of this letter is to inform you West Shore Services, Inc. is the only Authorized Reseller of Federal Signal Outdoor Warning products for Municipal, Public Safety and Campus Alert in the State of Michigan.

Federal Signal Alert and Notification Systems, a division of Federal Signal Corporation, is the sole manufacturer and distributor of the Alert and Notification equipment proposed in the quotations that have been submitted by our Manufacturer Representative, West Shore Services, Inc.

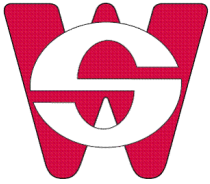
If I can answer additional questions or provide you with any information about the FWS product line, please feel free to contact me directly. In addition, you can find information about our products on our website at:

<http://www.federalwarningsystems.com>.

Regards,



Keith Conklin  
Northeast Regional Sales Manager - Systems  
Federal Signal Corporation  
2645 Federal Signal Drive  
University Park, Illinois 60484



# West Shore Services, Inc.

6620 Lake Michigan Dr.  
 PO Box 188  
 Allendale, MI 49401

Phone: 616-895-4347  
 Fax: 616-895-7158

# QUOTE

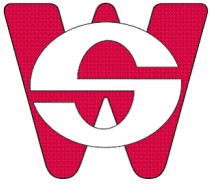
Date	Quote #
3/3/2026	6512

Name / Address
CASCADE TOWNSHIP 2865 THORNHILL SE GRAND RAPIDS, MI 49546

Terms	Project Name
Net 30	New 2001 Equinox

Item	Description	Qty	Rate	Total
	2026 PRICING			
	NEW SIREN INSTALLATION			
EQUINOX	SIREN, DC, ROTATING 500Hz NOMINAL. THE EQUINOX SIREN IS A SINGLE TONE SIREN CAPABLE OF PRODUCING A 126dB SOUND LEVEL AT 100 FT	6		0.00
DCFCTBDH	CNTRL, DIGITAL, 150-174 MHZ	6		0.00
2001TRBP	TRANSFORMER RECTIFIER PLUS	6		0.00
OMNI-4	ANTENNA, 152-156MHZ VHF	6		0.00
AMB-P	ANTENNA MOUNTING BRACKET, POLE	6		0.00
TK-I-2001ADC-Z2	2001AC-DC Std Install, 4 batt, site opt, 50' CL2 Pole, Z2	6		0.00
TOTAL	TOTAL OF ABOVE	6	29,900.00	179,400.00
TK-S-CPSYSOP	System Optimization of 1 Activation-Control Pt	6	750.00	4,500.00
TK-IO-CUSREMOV	EXISTING SIREN RELOCATION (SITE #2 AND SITE #3) RELOCATION OF EXISTING SIREN	2	5,500.00	11,000.00
	OPTIONAL (SITE #2 AND SITE #3)			
DCFCTBDH	CNTRL, DIGITAL, 150-174 MHZ	0	9,853.00	0.00
2001TRB	TRANS. RECTIFIER, SIREN	0	3,775.00	0.00
MISC SUPPLIES	NEW CONDUIT	0	450.00	0.00
TK-IO-CUSTINS	INSTALLATION OF NEW CABINET, CONDUIT AND TR AT SAME TIME AS RELOCATION	0	2,850.00	0.00

<b>Subtotal</b>		
<b>Sales Tax (6.0%)</b>		
<b>Total</b>		



# West Shore Services, Inc.

6620 Lake Michigan Dr.  
 PO Box 188  
 Allendale, MI 49401

Phone: 616-895-4347  
 Fax: 616-895-7158

# QUOTE

Date	Quote #
3/3/2026	6512

Name / Address
CASCADE TOWNSHIP 2865 THORNHILL SE GRAND RAPIDS, MI 49546

Terms	Project Name
Net 30	New 2001 Equinox

Item	Description	Qty	Rate	Total
Terms	<p>Please note: Attached Sales Agreement Terms and Conditions apply. Sales tax and Shipping not included unless otherwise shown. Electrical service by others unless otherwise quoted. Required permits and/or licenses are the responsibility of others. WSS is not responsible for rock drilling or differing site conditions; if discovered extra charges will apply.</p> <p>Package Price – Line item price not available separately and/or for lesser quantities. In case of scope or quantity changes, West Shore reserves the right to modify quote.</p>			0.00

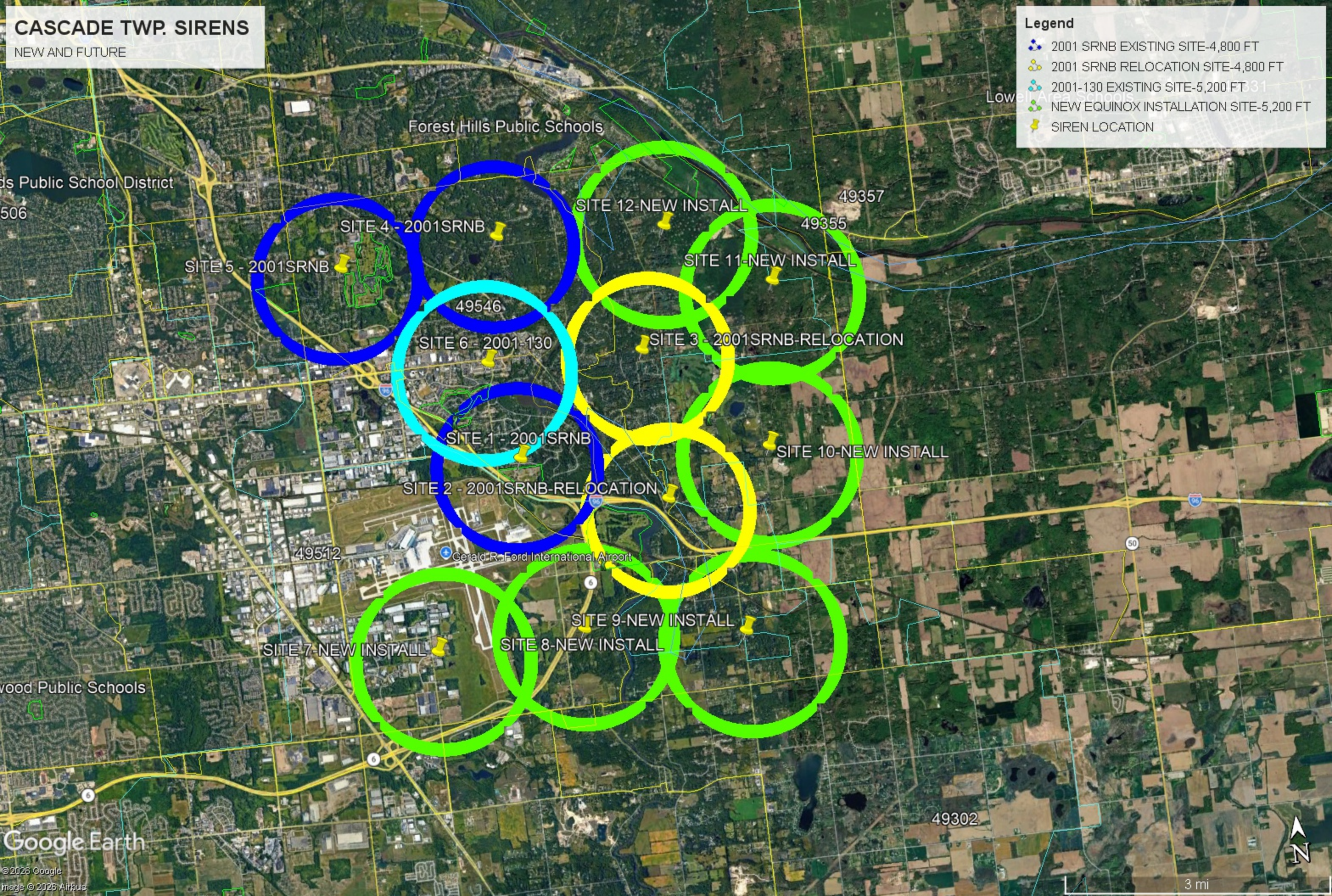
<b>Subtotal</b>			\$194,900.00
<b>Sales Tax (6.0%)</b>			\$0.00
<b>Total</b>			\$194,900.00

# CASCADE TWP. SIRENS

NEW AND FUTURE

**Legend**

- 2001 SRNB EXISTING SITE-4,800 FT
- 2001 SRNB RELOCATION SITE-4,800 FT
- 2001-130 EXISTING SITE-5,200 FT-31
- NEW EQUINOX INSTALLATION SITE-5,200 FT
- SIREN LOCATION



SITE 5 - 2001 SRNB

SITE 4 - 2001 SRNB

SITE 12-NEW INSTALL

SITE 11-NEW INSTALL

SITE 6 - 2001-130

SITE 3 - 2001 SRNB-RELOCATION

SITE 1 - 2001 SRNB

SITE 10-NEW INSTALL

SITE 2 - 2001 SRNB-RELOCATION

SITE 9-NEW INSTALL

SITE 7-NEW INSTALL

SITE 8-NEW INSTALL



► Model 2001-130 and Equinox

## High Power, Directional Rotating Siren

The Federal Signal 2001-130 and Equinox sirens are high-powered, rotating, unidirectional outdoor warning siren. The high-decibel output provides maximum coverage with minimum installation cost. Radio/cellular/satellite or wireless IP activation can further minimize installation costs by eliminating the need for leased dedicated control lines.

The siren's projector produces a 60-degree projection of sound that rotates at 3 RPM and can produce three distinct warning signals: steady, wail, and fast wail. The siren will supply a minimum of 15 minutes of full power output from its batteries after AC power loss. The siren controls are available with battery operation, solar, AC operation, and AC operation with battery back-up, one-way and two-way radio control, wired or wireless Ethernet, satellite/cellular, or landline. The 2001 Series is offered in low frequency (500 Hz) or mid-range frequency (790 Hz).

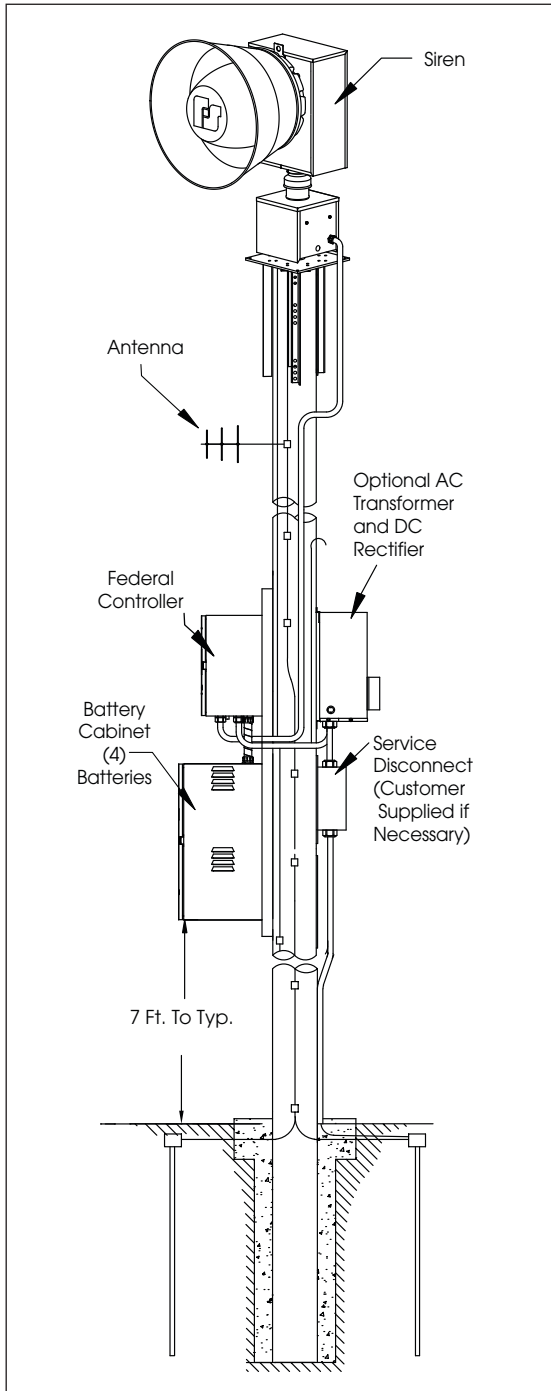
Ideal applications for this warning siren include hazardous weather conditions, fires, floods, chemical spills, and other types of community or facility emergencies.

### FEATURES

- High-powered rotating siren for maximum coverage
- Available in low and mid-range frequency
- Three distinct warning signals
- AC or solar powered with battery backup
- Weather-resistant coating

# High Power, Directional Rotating Siren (2001-130 and Equinox)

## SPECIFICATIONS



### Power:<sup>1</sup>

Sirens can be powered from 120 Vac, 240 Vac with battery backup or battery operation. Solar power can also be provided

Signal Information:	2001-130	Equinox
Signal /Sweep Rate	Frequency Range	500 Hz
Steady /Continuous	790 Hz	
Wail /10 s	470-790 Hz	180-500 Hz
Fast Wail /3.5 s	600-790 Hz	300-500 Hz
Coverage: <sup>2</sup>	2001-130	Equinox
70 dB	Up to 6,500 ft	Up to 6,100 ft
60 dB	Up to 13,200 ft	Up to 12,200 ft

Wind Loading:	2001-130	Equinox
EPA at 40 ft	9.5 ft <sup>2</sup>	9.5 ft <sup>2</sup>
Wind Load (130 mph, 40 ft above ground)	613 lbf	613 lbf

### Pole Mounts:

Wood, steel, composite, or concrete poles can be provided. Contact Federal Signal for details.

### Communications:

Federal Signal can supply one-way and two-way communications. Radio, IP, Landline, Satellite, and Cellular can be combined to provide a robust alerting solution.

Operating Temperature:<sup>3</sup> -22° to 140°F (-30° to 60°C)

Dimensions H x W x D: 62 x 37 x 41 in (157 x 94 x 104 cm)

2001-130 Net Weight:	420 lb (191 kg)
2001-130 Shipping Weight:	460 lb (209 kg)
Equinox Net Weight	390 lb (177 kg)
Equinox Shipping Weight	460 lb (209 kg)

## HOW TO ORDER

Contact our Federal Signal Sales Engineers to design a system that meets your specific requirements.

### AC Operation

Siren Head	
2001-130	Rotating electromechanical siren 130 dBc +/- 1dBc at 100 ft (30.5 m), 48 Vdc, pole mount included
Equinox	Rotating electromechanical siren, low frequency, 125 dBc +/- 1dBc at 100 ft (30.5 m), 48 Vdc, pole mount included
Siren Controller	
FC/H/U	One-way FC Controller, 120/240 Vac operation, H = High Band, 150-172 MHz, U = UHF Band, 450-470 MHz
FCTBD/H/U	Two-way FC Controller, 120/240 Vac operation, H = High Band, 136-174 MHz, U = UHF Band, 400-470 MHz

### Powering Option

2001-AC	Siren Control AC operated, sirens are powered by 208/220/240 Vac (specify voltage). NEMA 4X aluminum Control Cabinet, (2) 48 Vdc contactors, and transformer/rectifier 117 lb (53 kg)
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<sup>1</sup> Contact Federal Signal for powering options.

<sup>2</sup> Actual coverage is dependent on many factors. Contact Federal Signal for sound analysis of your specific location.

<sup>3</sup> The siren can operate throughout this temperature range provided that battery temperature is maintained at 18°C or higher.

<sup>4</sup> Batteries not included.

<sup>5</sup> See the product page for additional information.

## High Power, Directional Rotating Siren (2001-130 and Equinox)

## HOW TO ORDER

**DC Operation**

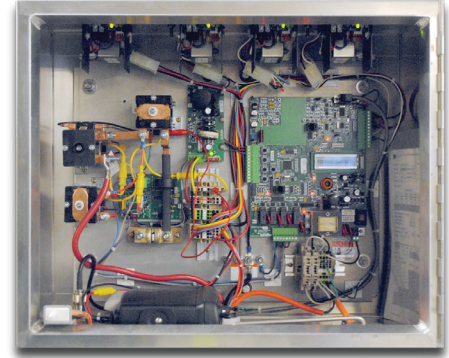
<b>Siren Head</b>	
2001-130	Rotating electromechanical siren 130 dBc +/- 1dBc at 100 ft (30.5 m), 48 Vdc, pole mount included
Equinox	Rotating electromechanical siren, low frequency, 125 dBc +/- 1dBc at 100 ft (30.5 m), 48 Vdc, pole mount included
<b>Siren Controller</b>	
DCFCB	Federal Controller NEMA 4X aluminum Control Cabinet, (4) chargers, (2) 48 Vdc contactors, (4) preset siren functions, and NEMA 3R aluminum Battery Cabinet. 120 Vac is required to charge batteries. Batteries are not included. Radio is not included. 224 lb (102 kg)
DCFCB/H/U	One-way FC Controller, 120 Vac is required to charge batteries. Batteries are not included. H = High Band, 150-172 MHz, U = UHF Band, 450-470 MHz
DCFCTBD/H/U	Two-way FC Controller, 120 Vac is required to charge batteries. Batteries are not included. H = High Band, 136-174 MHz, U = UHF Band, 400-470 MHz
DCFCTBD-IP	Two-way FC Controller, IP-enabled, 120 Vac is required to charge batteries. Batteries are not included.
<b>Siren Activation</b>	
SS2000+/R	Console for siren activation (R for rack mount)
SFCD*	Commander® Software for PC-based siren activation, monitoring, and control. *For 10, 25, 255, or 512 Site License.

**AC Operation with DC Backup**

<b>Siren Head</b>	
2001-130	Rotating electromechanical siren 130 dBc +/- 1dBc at 100 ft (30.5 m), 48 Vdc, pole mount included
Equinox	Rotating electromechanical siren, low frequency, 125 dBc +/- 1dBc at 100 ft (30.5 m), 48 Vdc, pole mount included
<b>Siren Controller</b>	
DCFCB	Federal Controller NEMA 4X aluminum Control Cabinet, (4) chargers, (2) 48 Vdc contactors, (4) preset siren functions, and NEMA 3R aluminum Battery Cabinet. 120 Vac is required to charge batteries. Batteries are not included. Radio is not included. 224 lb (102 kg)
DCFCB/H/U	One-way FC Controller, 120 Vac is required to charge batteries. Batteries are not included. H = High Band, 150-172 MHz, U = UHF Band, 450-470 MHz
DCFCTBD/H/U	Two-way FC Controller, 120 Vac is required to charge batteries. Batteries are not included. H = High Band, 136-174 MHz, U = UHF Band, 400-470 MHz
DCFCTBD-IP	Two-way FC Controller, IP-enabled, 120 Vac is required to charge batteries. Batteries are not included.
<b>Powering Option</b>	
2001TRB	Siren Control AC operated, 208/220/240Vac (specify voltage). NEMA 4X aluminum Control Cabinet, (1) 48 Vdc contactor, and transformer/rectifier 117 lb (53 kg)
<b>Siren Activation</b>	
SS2000+/R	Console for siren activation (R for rack mount)
SFCD*	Commander Software for PC-based siren activation, monitoring, and control. *For 10, 25, 255, or 512 Site License.

Solutions are powered by 208/220/240 Vac supplied to the 2001TRB. Backup power is supplied by 48 Vdc deep-cycle batteries. Battery charge is maintained by 120 Vac output from the 2001TRB.

*Commander is a registered trademark of Federal Signal Corporation.*



► Model DCFCTBD

## Two-Way Digital Controller for Electro-Mechanical Sirens

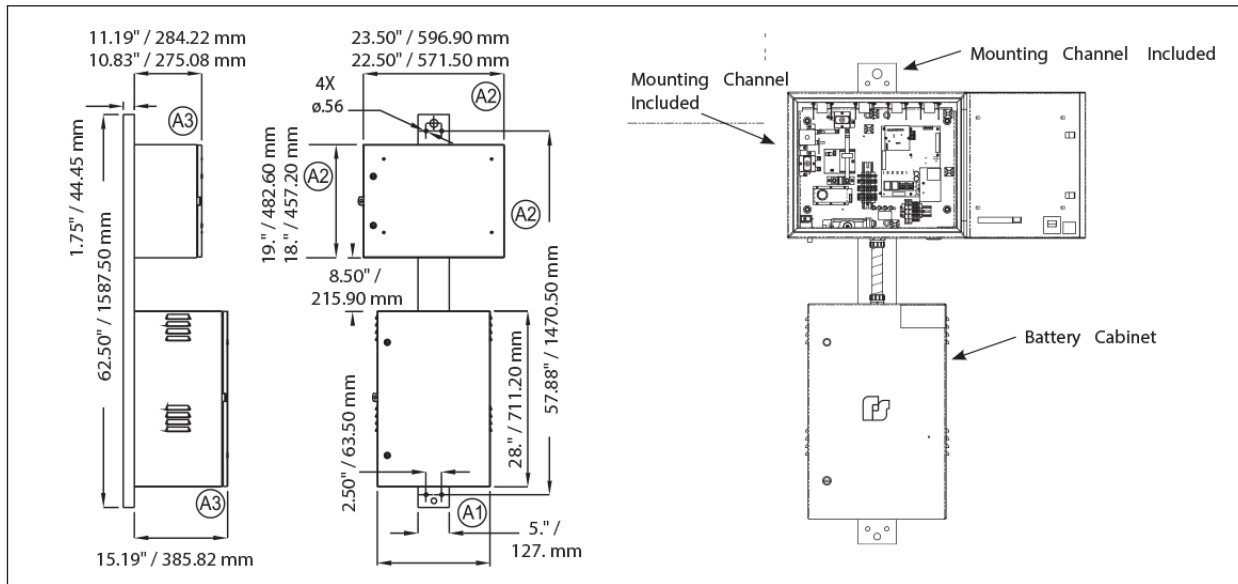
Federal Signal DCFCTBD siren controllers are two-way digital, battery-operated/backup and status monitoring systems for use with the Federal Signal 2001-130, Equinox, 508-128, and Eclipse8 sirens. The DCFCTBD siren controller typically interfaces with off-the-shelf two-way radio transceivers and communicates to a base controller. DCFCTBD siren controllers can be used with radios utilizing single-tone, two-tone sequential, DTMF, POCSAG, AFSK, EAS, and digital formats such as P25 and Tetra. The DCFCTBD controllers can be equipped with optional communications such as landline, IP, fiber, satellite, and cellular. This makes DCFCTBD siren controllers compatible with virtually any existing siren control system or communication method. There are four local inputs, four local buttons for activation, and a reset option.

DCFCTBD models come equipped with four independent relay outputs that can be programmed to activate with local inputs, local buttons, or via the communications channels. Activation codes, relay timing, and optional warning sounds are programmed into the unit through a standard RS232 serial port or over-the-air from the central control point. The DCFCTBD siren controller offers six user-programmable functions in addition to the five pre-set functions (arm, disarm, report, growl test, and master reset). These controllers include sensors to supply information on the following areas of operation: AC power status, communications status, low battery status, intrusion, siren activation, current intrusion, siren rotation, and local activation.

### F E A T U R E S

- Two-way siren controller for 48 Vdc Sirens
- Two-way radio control and status monitoring
- Simultaneous two-tone sequential, DTMF, EAS, POCSAG, and digital AFSK decoding for security
- Able to utilize multiple communication paths for redundancy
- Controls mechanical sirens, including models 2001-130, Equinox, 508-128, and Eclipse8
- Solar options available
- Buttons for local activation
- Landline, Ethernet (IP), or radio control
- UL Listed for general signaling
- DNV Certified

# Two-Way Digital Controller for Electromechanical Sirens (DCFCTBD)



## SPECIFICATIONS

- Operating Temperature: -22° to 149°F (-30° to +65°C)
- AC supply voltage: 120 Vac at 4.0 A  
240 Vac at 2.0 A
- Battery Backup: 48 Vdc
- Current Draw: +/- 10%, 50/60 Hz, max standby current
- DCFCTBD Power Supply: 6 A at 13.3 Vdc
- Battery Backup: 48 Vdc
- Current Draw: 0.2 A in standby
- Programmable Frequency: Federal Signal can program your radio to your specific requirements
- EAS: Supports standard EAS codes and wildcards
- POCSAG: Supports binary AFSK 512 Baud numeric messages
- 4 relay outputs: SPST
- Contact Rating: (4 relays standard)  
5 A at 28 Vdc – 8 A at 240 Vac
- Shipping Weight: DCFCTB Total Weight (including batteries): 364 lb (165 kg)  
Shipping Weight (excluding batteries): 300 lb (136 kg)  
2001TRB/2001TRBP Net Weight: 150 lb (68 kg)  
2001TRB/2001TRBP Shipping Weight: 190 lb (86.2 kg)

## ACCESSORIES

Description	Part Number
Federal programming software (Non-digital applications)	<b>FSPWARE</b>
Commander® Software System, *10, 25, 255, or 512 Site License	<b>SFCD*</b>
208-240 Vac operation	<b>2001TRB/2001TRBP</b>
Activation system	<b>SS2000+</b>
Solar powered option	<b>Contact Federal Signal</b>
Antenna	<b>Contact Federal Signal</b>

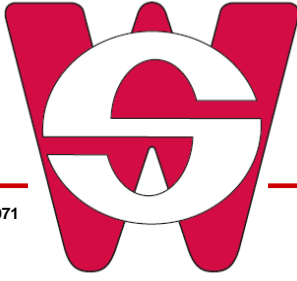
## HOW TO ORDER

Contact our Federal Signal Sales Engineers to design a system that meets your specific requirements.

Description	Part Number
Two-way Controller DC Powered, no radio	<b>DCFCTBD</b>
Two-way Controller, Radio Controlled, High Band, 136-174 MHz DC Powered, UHF Band, 400-470 MHz (H=high band, U=UHF)	<b>DCFCTBDH/U</b>
One-way Controller, Radio Controlled, High Band, 136-174 MHz DC Powered, UHF Band, 400-470 MHz (H=high band, U=UHF)	<b>DCFCTBH/U</b>
Two-way Controller, IP-enabled, DC Powered	<b>DCFCTBD-IP</b>
Two-Way Federal Controller, UHF Band, 400-470 MHz, DC Powered with Radio Faceplate	<b>DCFCTBDU-FP</b>
Two-Way Federal Controller, High Band, 136-174 MHz, DC Powered with Radio Faceplate	<b>DCFCTBDH-FP</b>

Note:  
Antenna and cable are not included with radio activation control and must be ordered separately.  
Batteries required. Call for assistance with specific system requirements.

Commander is a registered trademark of Federal Signal Corporation.



Est. 1971

# West Shore Services, Inc.

6620 Lake Michigan Drive, P.O. Box 188, Allendale, MI 49401

Phone: 616-895-4347 Fax: 616-895-7158

## SALES AGREEMENT

**Agreement.** This agreement (the "Agreement") between West Shore Services, Inc. ("WSS") and Buyer for the sale of the products and services described in WSS's quotation and any subsequent purchase order shall consist of the terms herein. This Agreement constitutes the entire agreement between WSS and Buyer regarding such sale and supersedes all prior oral or written representations and agreements. This Agreement may only be modified by a written amendment signed by authorized representatives of WSS and Buyer and attached hereto except that stenographic and clerical errors are subject to correction by WSS or upon WSS's written consent. WSS objects to and shall not be bound by any additional or different terms, whether printed or otherwise, in Buyer's purchase order or in any other communication from Buyer to WSS unless specifically agreed to by WSS in writing. Prior courses of dealing between the parties or trade usage, to the extent they add to, detract from, supplant, or explain this Agreement, shall not be binding on WSS. This Agreement shall be for the benefit of WSS and Buyer only and not for the benefit of any other person.

**Termination.** This Agreement may be terminated only upon WSS's written consent. IF WSS shall declare or consent to a termination of the Agreement, in whole or in part, Buyer, in the absence of a contrary written agreement signed by WSS, shall pay termination charges based upon expenses and costs incurred in the assembly of its products on in the performance of the services to the date such termination is accepted by WSS including, but not limited to, expenses of disposing of materials on hand or on order from suppliers and the losses resulting from such disposition, plus a reasonable profit. In addition, any products substantially completed or services performed on or prior to any termination of this Agreement shall be accepted and paid for in full by Buyer. In the event of a material breach of this Agreement by Buyer, the insolvency of Buyer, or the initiation of any solvency or bankruptcy proceedings by or against Buyer, WSS shall have the right to immediately terminate this Agreement, and Buyer shall be liable for termination charges as set forth herein.

**Price/Shipping/Payment.** Depending on product purchased, prices are F.O.B. UNIVERSITY PARK, IL and/or ALLENDALE, MI. Buyer shall be responsible for all shipping charges. If this Agreement is for more than one unit of product, the products may be shipped in a single lot or in several lots at the discretion of WSS, and Buyer shall pay for each such shipment separately. WSS may require full or partial payment or payment guarantee in advance of shipment whenever, in its opinion, the financial condition of Buyer so warrants. WSS will invoice for product upon shipment to Buyer and for services monthly as completed. Amounts invoiced by WSS are due 30 days from date of invoice, except that payment terms for turn-key sales of products and services are 10% of total contract mobilization fee due with Buyer's order. Invoice deductions will not be honored unless covered by a credit memorandum. Minimum billing per order is \$75.00.

**Risk of Loss.** The risk of loss of the products or any part thereof shall pass to the Buyer upon delivery thereof by WSS to the carrier. Buyer shall have sole responsibility for processing and collection of any claim of loss against the carrier.

**Hold Harmless.** Buyer, shall hold WSS harmless from and shall indemnify WSS against any claim, liability, loss or damage, including the attendant costs of litigation, arising out of or directly related to any contract entered into with a customer of the Buyer or potential customer, provided expressly that the claim, liability, loss or damage is caused by or directly related to: (i) the use of the Products; (ii) the Services provided by the Buyer; (iii) any act or omission of the Buyer related to any claim of infringement of any intellectual property rights of third parties; and (iv) for any violation by the Buyer of any laws or applicable regulations governing the use or sale of the Products or Services of the Buyer, which is brought against WSS relating to the activities of WSS contemplated by this Agreement. This provision shall apply ONLY if Buyer is notified of such matter described herein by the WSS within five (5) business days of WSS's notice of such matter, regardless of form of notice or knowledge. Buyer reserves all rights to directly defend itself in any such proceedings, and shall have the absolute right to direct the defense of WSS with respect thereto.

WSS shall hold the Buyer harmless and shall save, defend and indemnify the Buyer against any and all claims, demands, liabilities, suits and other proceedings, including any resulting costs of defense and damages, which arise out of or occur as a result from the conduct of WSS, including, but not limited to, misrepresentations regarding the Products or Services provided by WSS, breach of contract, breach of his duties hereunder and engaging in misleading or deceptive sales practices. WSS shall have the absolute right to direct and control its defense of any such matter arising as a result of the same.

**Taxes.** Price quotes by WSS do not include taxes. Buyer shall pay WSS, in addition to the price of the products or services, any applicable tax (however designated) imposed upon the sale, production, delivery or use of the products or services to the extent required or not forbidden by law to be collected by WSS from Buyer, whether or not so collected at the time of the sale, unless valid exemption certificates acceptable to the taxing authorities are furnished to WSS before the date of the invoice.

**Delivery.** Although WSS shall in good faith endeavor to meet estimated delivery dates, delivery dates are not guaranteed but are estimated on the basis of immediate receipt by WSS of all information required from Buyer and the absence of delays, direct or indirect, as set forth in paragraph 29 herein.

**Returns.** Buyer may return shipped product to WSS only upon WSS's prior written consent (such consent to be in the sole discretion of WSS) and upon terms specified by WSS, including prevailing restocking and handling charges. Buyer assumes all risk of loss for such returned product until actual receipt thereof by WSS. Agents of WSS are not authorized to accept returned product or to grant allowances or adjustments with respect to Buyer's account.

**Inspection.** Buyer shall inspect the product immediately upon receipt. All claims for any alleged defect in WSS's product or deficiency in the performance of its services under this Agreement, capable of discovery upon reasonable inspection, must be fully set forth in writing and received by WSS within 30 days of Buyer's receipt of the product or WSS's performance of the services. Failure to make any such claim within said 30 day period shall constitute a waiver of such claim and an irrevocable acceptance of the product and services by Buyer.

**Limited Warranty.** WSS warrants each new product to be free from defects in material and workmanship, under normal use and service, for a period of two years from the delivery to Buyer (one-year for informers and all software products, five years of 2001 & ECLIPSE Series siren head). During this warranty WSS will provide warranty service for any unit which is delivered, shipping prepaid by the Buyer, to a designated warranty service center for examination and such examination reveals a defect in material and/or workmanship. WSS will then, at its option, repair or replace the product or any defective part(s), or remit the purchase price of the product to Buyer. This warranty does not cover travel expenses, the cost of specialized equipment for gaining access to the product, or labor charges for removal and re-installation of the product for warranty service at any location other WSS's designated warranty service center. This warranty shall not apply to components or accessories that have a separate warranty by the original manufacturer, such as, but not limited to, radios and batteries, and does not extend to any unit which has been subjected to abuse, misuse, improper installation or which has been inadequately maintained, not to units with problems due to service or modification by other than a WSS warranty service center. WSS will provide on-site warranty service during the first 60 days after the completion of the installation when WSS has provided a turn-key installation including optimization and/or commissioning services. **THERE ARE NO OTHER WARRANTIES, EXPRESSED OR IMPLIED, INCLUDING BUT NOT LIMITED TO, ANY IMPLIED WARRANTIES OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE.**

**Remedies and Limitations of Liability.** Buyer's sole remedy for breach of warranty shall be as set forth above. **IN NO EVENT SHALL WSS BE LIABLE FOR ANY LOSS OF USE OF ANY PRODUCT, LOST PROFITS OR ANY INDIRECT, CONSEQUENTIAL OR PUNITIVE DAMAGES, NOR SHALL WSS'S LIABILITY FOR ANY OTHER DAMAGES WHATSOEVER ARISING OUT OF OR CONNECTED WITH THIS AGREEMENT OF THE MANUFACTURE, SALE, DELIVERY OR USE OF THE PRODUCTS OR SERVICES EXCEED THE PURCHASE PRICE OF THE PRODUCTS OR SERVICES.**

**Patents.** WSS shall hold Buyer harmless, to the extent herein provided, against any valid claim by any third person or infringement of any United States Patent by product manufactured by WSS, but if Buyer furnished product of system design specifications to WSS, Buyer shall hold WSS harmless against any infringement claim consisting of the use of product manufactured by WSS in accordance with Buyer's products or system design or in combination with product manufactured by Buyer or others. In the event that any product manufactured by WSS is held to infringe any patent and its use is enjoined by any competent court of law, WSS, if unable within a reasonable time to secure for Buyer the right to continue using such product, either by suspension of the injunction, by securing for Buyer a license, or otherwise, shall, at its own expense, either replace such product with non-infringing product, either by suspension of the injunction, by securing for Buyer, a license or otherwise, shall, at its own expense, either replace such product with non-infringing product or modify such product so that it becomes non-infringing, or accept the return of the enjoined product and refund the purchase price paid by Buyer less allowance for any period of actual use thereof. WSS makes no warranty that its product will be delivered free of a valid claim by a third person of infringement of the like and Buyer's remedies for such a claim will be limited to those provided in this paragraph.

**Assignment and Delegation.** Buyer shall not assign any right or interest in this Agreement, nor delegate the performance of any obligation, without WSS's prior written consent. Any attempted assignment or delegation shall be void and ineffective for all purposes unless made in conformity with this paragraph.

**Severability.** If any term, clause or provision contained in this Agreement is declared or held invalid by a court of competent jurisdiction, such declaration or holding shall not affect the validity of any other term, clause or provision herein contained.

**Installation.** Installation shall be by Buyer unless otherwise specifically agreed to in writing by WSS.

**Governing Law and Limitations.** This Agreement shall be governed by the laws of the State of Michigan. Venue for any proceeding initiated as the result of any dispute between the parties that arises under this Agreement shall be either the state of federal courts in Kent or Ottawa County, Michigan. Whenever a term defined by the Uniform Commercial Code as adopted in Michigan is used in this Agreement, the definition contained in said Uniform Commercial Code is to control. Any action for breach of this Agreement or any covenant or warranty contained herein must be commenced within one year after the cause of action had accrued.

**Receiving Product and Staging Location.** Buyer is responsible to receive, store and protect all products intended for installation purposes, including, but not exclusively, siren equipment, poles, batteries, and installation materials. Materials received in cardboard containers must be protected from all forms of precipitation. Additionally, Buyer is to provide a staging area of an appropriate size for installation to work from and to store equipment overnight.

**Installation Methods & Materials.** Installation is based on methods and specifications designed and intended by WSS to meet or exceed all national, state, and local safety and installation codes and regulations. Design changes required by Buyer may result in additional charges.

**Radio Frequency Interference.** WSS is not responsible for RF transmission and reception affected by system interference beyond its control.

**Installation Site Approval.** Buyer must provide signed documentation to WSS such as the "WARNING SITE SURVEY" or a document with the equivalent information, that WSS is authorized to commence installation at the site designated by Buyer before WSS will commence installation. Once installation has started at an approved site, Buyer is responsible for all additional costs incurred by WSS for redeployment of resources if the work is stopped by Buyer or its agents, property owners, or as the result of any governmental authority or court order, or if it is determined that installation is not possible at the intended location, or the site is changed for any reason by the Buyer.

**AC Power Hookup.** Buyer is responsible to coordinate and pay for all costs to bring proper AC power to the electrical service disconnect installed adjacent to the controller cabinet, unless these services are quoted by WSS. All indoor installations assume AC power is available with 10 feet of the installation location.

**Permits & Easements.** Unless specifically quoted, buyer is responsible for obtaining all required easements and/or permits, along with any fees required for installation.

**Soil Conditions Clause.** In the event of poor site conditions including but not limited to rock, cave-ins, high water levels, or inability of soil to provide stable installation to meet manufacturers specifications, WSS will direct installation crews to attempt pole installation for a maximum of two (2) hours. Buyer approval will be sought when pole installation exceeds two (2) hours and WSS cannot obtain approval in a timely manner to proceed with extra work.

**Contaminated Sites.** WSS is not responsible for cleanup and restoration of any installation sites or installer equipment where contaminated soil is encountered. WSS will not knowingly approve installation at any site containing contaminants. Buyer must inform WSS when known or suspected soil contaminants exist at any intended installation site.

**Site Cleanup.** Basic installation site cleanup include installation debris removal, general site cleanup, and general leveling of affected soil within 30' of the pole. Additional Site Restoration quotes are available.

**Waste Disposal.** Buyer is responsible for providing disposal of all packing materials including shipping skids and containers.

**Work Hours.** All installation quotes are based on the ability to work outdoors during daylight hours and indoors from 7 AM to 7 PM Monday through Saturday. Work restrictions or limitations imposed by Buyer or its agents may result in additional charges being assessed to Buyer for services.

**Project Reporting.** Installation & Service Progress Reports will be provided on a regular basis, normally every week during active installation, unless pre-arranged otherwise by mutual agreement.

**Safety Requirements & Compliance.** WSS requires that all employees and subcontractors follow applicable laws and regulations pertaining to all work performed, equipment utilized and personal protective gear common to electrical and construction site work performed in the installation of WSS equipment. Additional safety compliance requirements by Buyer, such as, but not limited to, additional training or testing, may result in additional charges assessed to Buyer for the time and expenses required to comply with the additional requirements.

**Project Delays.** WSS shall not be liable in any regard for delivery or installation delays or any failure to perform its obligations under this Agreement resulting directly or indirectly from change order processing, acts or failure to act by Buyer, unresponsive inspectors, utility companies and any other causes beyond the direct control of WSS, including acts of God, weather, local disasters of any type, civil or military authority, fires, war, riot, delays in transportation, lack of or inability to obtain raw materials, components, labor, fuel or supplies, or other circumstances beyond WSS's reasonable control, whether similar or dissimilar to the foregoing.



# CASCADE CHARTER TOWNSHIP

5920 Tahoe Drive SE Grand Rapids, Michigan 49546-7140

## REQUEST FOR BOARD ACTION

**MEETING DATE: April 22, 2026**

**ITEM: Approve Contract Award for Replacement of Nonfunctioning Centennial Park Streetlights**

### PRESENTER:

### INDIVIDUAL PRESENT:

Aric Thorne, Township Engineer

### EXECUTIVE SUMMARY:

Presently 45 of the 115 streetlights in the Centennial Park Overlay District are nonfunctioning. The luminaire component, or light head, does not power on. The streetlights in their proper functioning state illuminate daily during the period of dusk to dawn. The nonfunctioning streetlights are located on Foremost Drive (26), Charlevoix Drive (12), Tahoe Drive (2), and Lucerne Drive (5). These were installed 2011-12 and have fulfilled their expected lifespan, approximately 60,000 run hours or 14-15 years.

The project was advertised for bids starting February 3 and due March 4. Bidders were responsible for identifying replacement luminaires (e.g., brand, model) in addition to cost per unit. The selected contractor is contractually obligated to ensure that the replacement luminaire matches existing functioning luminaires in aesthetic and function as close as reasonably possible. The following bids (5) were received:

<b>Contractor</b>	<b>Primary Bid</b>	<b>Alternate Bid</b>
Grand Valley Electrical Services	\$108,148.81	
Vander Hyde Mechanical	\$120,135	\$154,911
Strain Electric	\$135,750	
J. Ranck Electric, Inc.	\$136,850	
Hillard Electric	\$158,274.88	\$74,850

Each bidder identified the Architectural Area Lighting (AAL) Universe (UC\_2) series luminaire in medium (UCM2) and large (UCL2) varieties. This is the successor model to the originally installed luminaire, simply UCM/L. Two bidders provided alternate bids, detailed below:

1. Vander Hyde Mechanical included a caveat, clarified in email correspondence, that their primary bid includes a \$34,776 deduction for retaining luminaire arms in-place. Their bid without the deduction is shown here for completeness as an alternate bid. Removal and replacement of arms is not required and is a erroneous interpretation of the bid documents.
2. Hillard Electric proposed the use of retrofit upgrade kits (UCM2-LK and UCL2-LK) for a contract total of \$74,850. These would replace only the internal components of the existing luminaires. The same 5-year manufacturer warranty would be provided as it would with an entirely new luminaire assembly. Both have an expected lifespan of 60,000 run hours.

I recommend proceeding with contract award to Hillard Electric for its alternate bid of \$74,850. The retrofit upgrade kits are specifically designed for the AAL Universe luminaire housing, offer simpler installation than entirely new luminaire assemblies, and eliminate the concern of matching existing aesthetics (e.g., housing color fade or minor design discrepancies between original and current series luminaires).

**STRATEGIC PLANS/GOALS:**

N/A

**BUDGET IMPLICATIONS:**

The budgets for FY2024 and FY2025 included a capital outlay line item of \$230,000 to address failing luminaires in Centennial Park. The project was never undertaken, and the line item was not entered into the budget for 2026. A budget amendment is necessary to account for the expense now.

**ACTION REQUESTED:**

Approve contract award to Hillard Electric for its alternate bid of \$74,850. Also, amend the FY26 budget as follows:

<u>Fund</u>	<u>Line Item</u>	<u>Description</u>	<u>Adopted Budget</u>	<u>Increase</u>	<u>Amended Budget</u>
DDA	248-901-970-000	Capital Outlay	0	\$80,000	\$80,000

**IMPLEMENTATION PLAN:**

Cascade Township to award the contract to Hillard Electric who will be responsible for installing the retrofit upgrade kits by October 2, 2026.

**MODEL RESOLUTION:**

N/A

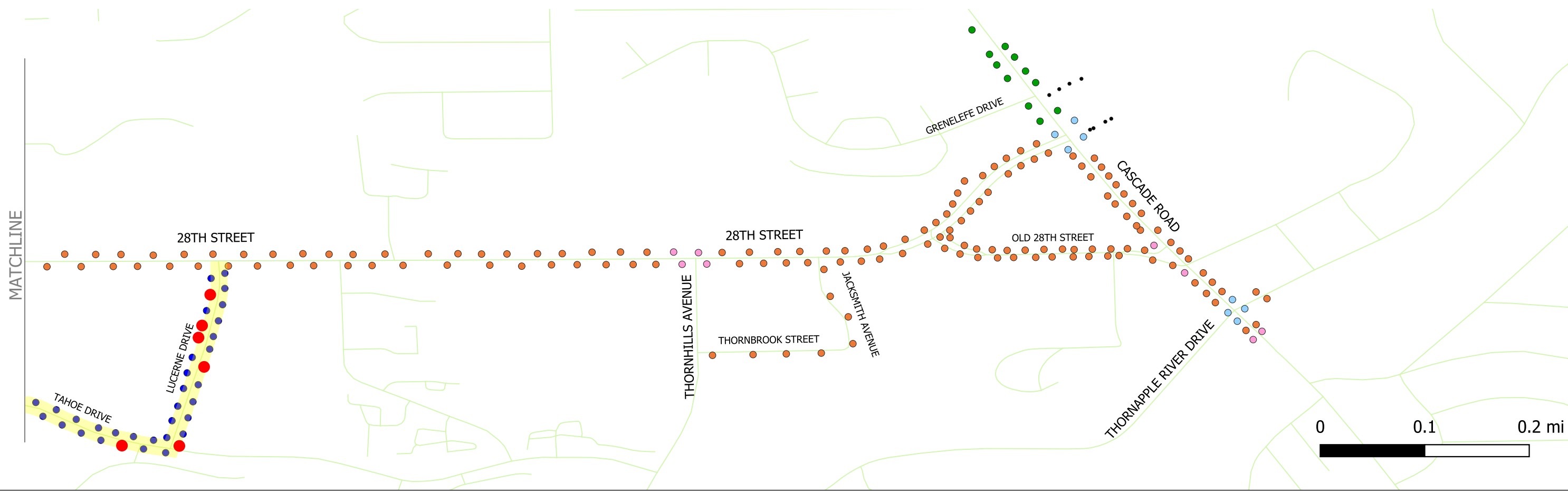
**ATTACHMENTS:**

1. Bid Tab
2. Centennial Park Outage Map
3. AAL UCM2-LK and UCML2-LK Specification Sheets

**2026 Centennial Park Streetlights Bid Tab**

10:00 AM March 4, 2026

				J. Ranck Electric, Inc.				Hillard Electric				Strain Electric			
				Primary Bid		Alternate Bid		Primary Bid		Alternate Bid		Primary Bid		Alternate Bid	
No.	Pay Item	Unit	Quantity	Unit Price	Subtotal	Unit Price	Subtotal	Unit Price	Subtotal	Unit Price	Subtotal	Unit Price	Subtotal	Unit Price	Subtotal
1	_Luminaire, Medium, Replace	Ea	43	\$ 2,900.00	\$ 124,700.00	NONE PROVIDED		\$ 3,472.38	\$ 149,312.34			\$ 2,750.00	\$ 118,250.00	NONE PROVIDED	
2	_Luminaire, Large, Replace	Ea	2	\$ 2,575.00	\$ 5,150.00			\$ 4,481.27	\$ 8,962.54			\$ 3,750.00	\$ 7,500.00		
3	_Mobilization	LS	1	\$ 7,000.00	\$ 7,000.00			\$ -	\$ -			\$ 10,000.00	\$ 10,000.00		
				\$	<b>136,850.00</b>			\$	<b>158,274.88</b>			\$	<b>74,850.00</b>		
								\$ 158,275.00	Submitted primary bid total (left). Adjusted for submitted unit price \$3,472.383 rounded to \$3,472.38.						
				Grand Valley Electrical Services				Vander Hyde Mechanical							
				Primary Bid		Alternate Bid		Primary Bid		Alternate Bid					
No.	Pay Item	Unit	Quantity	Unit Price	Subtotal	Unit Price	Subtotal	Unit Price	Subtotal	Unit Price	Subtotal				
1	_Luminaire, Medium, Replace	Ea	43	\$ 2,051.93	\$ 88,232.99	NONE PROVIDED		\$ 2,497.00	\$ 107,371.00						
2	_Luminaire, Large, Replace	Ea	2	\$ 3,001.99	\$ 6,003.98			\$ 3,132.00	\$ 6,264.00						
3	_Mobilization	LS	1	\$ 13,911.84	\$ 13,911.84			\$ 6,500.00	\$ 6,500.00						
				\$	<b>108,148.81</b>			\$	<b>120,135.00</b>			\$	<b>154,911.00</b>		
								\$ 34,776.00	Deduction (left) proposed as part of primary bid for retaining luminaire arms in-place						



# UNIVERSE®

## FEATURES

- Reliable, uniform, glare free illumination
- Types II, III, IV, V and custom distributions
- 3000K, 4000K, 5000K CCT
- 0-10V dimming ready
- Integral surge suppression
- Upgrade Kits <sup>5</sup>



Universe Large LED Deck



3000K and warmer CCTs only

## SPECIFICATIONS

### CONSTRUCTION

- All internal and external hardware are stainless steel
- Luminaire finish consists of a five stage pretreatment regimen with a polymer primer sealer, oven dry off, and top coated with a thermoset super TGIC polyester powder coat finish
- Optical bezel finish matches the luminaire housing

### LED/OPTICS

- Molded silicone gasket ensures a weather-proof seal around each individual LED
- Features revolutionary individual LED optical control based on high performance TIR optical designs

### LED/OPTICS CONTINUED

- House Side Shield is available on Standard and Clear Lens options except any Type 5 distribution. House Side Shield is not available for any distribution using a Diffused Lens

### INSTALLATION

- Fixtures must be grounded in accordance with national, state and/or local electrical codes. Failure to do so may result in serious personal injury

### ELECTRICAL

- Luminaires have integral surge protection, UL recognized and have a surge current rating of 10,000 Amps using the industry standard 8/20uSec wave and surge rating of 372J

### ELECTRICAL CONTINUED

- Drivers are UL recognized with an inrush current maximum of <20.0 Amps maximum at 230VAC
- 100%-1% dimming range. Fixture will be wired for low voltage 0-10V dimming control
- Driver and surge suppressor are mounted to a prewired tray with quick disconnects that may be removed from the gear compartment

### CERTIFICATIONS

- ETL listed under UL 1598 and CSA C22.2 No. 250.0-08 for wet locations

### WARRANTY

- 5 year warranty

## HOUSING

UCL2-LK		LED Quantity		Lumen Output		CCT/CRI		Distribution		Finish	
UCL2-LK <sup>5</sup>	Universe Large Upgrade Kit	72L	76 LED	310	260mA, Microcore Equivalent	5K7	5000K, 70 CRI	1	Type I	BLS	Black Gloss Smooth
				335	450mA, 10000 Lumens	4K7	4000K, 70 CRI	2	Type II	BLT	Black Matte Textured
				480	700mA, Microcore Equivalent	3K7	3000K, 70 CRI	3	Type III	DBS	Dark Bronze Gloss Smooth
				500	500mA, 14000 Lumens	AMB	Amber-595nm Peak <sup>1</sup>	4W	Type IV Wide	DBT	Dark Bronze Matte Textured
				700	615mA, 19000 Lumens			5Q	Type V Square	GTT	Graphite Matte Textured
						5W	Type V Wide	LGS	Light Grey Gloss Smooth		
									LGT	Light Grey Matte Textured	
									PSS	Platinum Silver Gloss Smooth	
									VGT	Verde Green Matte Textured	
									WHS	White Gloss Smooth	
									WHT	White Matte Textured	
									Color Option		
									CC <sup>2</sup>	Custom Color	

Notes:

- 1 Turtle friendly
- 2 Diffused Lens is available only with T3 and T5W distribution
- 3 House side Shield is available only with T1, T2, T3 and T4W distributions
- 4 Consult factory for custom color, marine and corrosive finish options
- 5 Upgrade kits are compatible with fixtures manufactured after 2014. Consult Factory for fixtures manufactured prior to 2014.

**DELIVERED LUMENS**

The table below shows the delivered lumens for the various lumen outputs and beam distributions. Use this chart in connection with the lumen factor (LF) capability to deliver any output required.

LED #	Drive Current	Lumen Package	Lens	Distribution	3000K 70CRI				4000K 70CRI				5000K 70CRI						
					Lumen	Bug Rating			Efficacy (Lm/W)	Lumen	Bug Rating			Efficacy (Lm/W)	Lumen	Bug Rating			Efficacy (Lm/W)
72	310	450mA Microcore Equivalent	None	1	8970	1	0	1	128.4	9378	1	0	1	134.2	9755	1	0	1	139.6
				2	8440	1	0	2	120.8	8823	1	0	2	126.3	9178	2	0	2	131.4
				3	8178	1	0	2	117.1	8549	1	0	2	122.4	8893	1	0	2	127.3
				4W	8177	1	0	3	117.0	8548	1	0	3	122.4	8892	1	0	3	127.3
				1-HS	5194	0	0	0	74.3	5430	0	0	0	77.7	5648	0	0	0	80.8
				2-HS	4203	0	0	1	60.2	4394	0	0	1	62.9	4570	0	0	1	65.4
				3-HS	4033	0	0	1	57.7	4216	0	0	1	60.3	4385	0	0	1	62.8
			Clear	4W-HS	4039	0	0	1	57.8	4223	0	0	1	60.5	4393	0	0	1	62.9
				5Q	8550	3	0	1	122.4	8939	3	0	1	128.0	9298	3	0	1	133.1
				5W	8012	3	0	2	114.7	8376	3	0	2	119.9	8713	3	0	2	124.7
				1-CL	7729	1	0	1	110.6	8080	1	0	1	115.7	8405	1	0	1	120.3
				2-CL	7272	1	0	1	104.1	7602	1	0	2	108.8	7908	1	0	2	113.2
				3-CL	7046	1	0	2	100.9	7366	1	0	2	105.4	7662	1	0	2	109.7
				4W-CL	7045	1	0	3	100.8	7365	1	0	3	105.4	7661	1	0	3	109.7
	Diffused	1-CL-HS	4475	0	0	0	64.1	4678	0	0	0	67.0	4866	0	0	0	69.7		
		2-CL-HS	3621	0	0	1	51.8	3786	0	0	1	54.2	3938	0	0	1	56.4		
		3-CL-HS	3474	0	0	1	49.7	3632	0	0	1	52.0	3778	0	0	1	54.1		
		4W-CL-HS	3480	0	0	1	49.8	3639	0	0	1	52.1	3785	0	0	1	54.2		
		5Q-CL	7367	2	0	1	105.5	7702	3	0	1	110.2	8011	3	0	1	114.7		
	335	10000	None	3-DL	5322	1	0	1	76.2	5564	1	0	1	79.6	5788	1	0	1	82.8
				5W-DL	5214	2	0	1	74.6	5451	2	0	1	78.0	5670	2	0	1	81.2
				1	9606	1	0	1	126.8	10042	1	0	1	132.6	10446	1	0	1	137.3
				2	9037	1	0	2	119.3	9448	2	0	2	124.7	9828	2	0	2	129.0
				3	8757	1	0	2	115.9	9155	1	0	2	120.8	9523	1	0	2	125.3
				4W	8756	1	0	3	115.6	9154	1	0	3	120.8	9522	1	0	3	125.4
				1-HS	5562	0	0	0	73.4	5814	0	0	0	76.8	6048	0	0	0	80.0
			Clear	2-HS	4500	0	0	1	59.4	4705	0	0	1	62.1	4894	0	0	1	64.9
				3-HS	4318	0	0	1	57.0	4515	0	0	1	59.6	4696	0	0	1	62.3
4W-HS				4326	0	0	1	57.1	4522	0	0	1	59.7	4704	0	0	1	62.3	
5Q				9156	3	0	1	120.9	9572	3	0	1	126.4	9957	3	0	1	131.5	
5W				8580	3	0	2	113.3	8969	3	0	2	118.4	9330	3	0	2	123.1	
1-CL				8276	1	0	1	109.5	8652	1	0	1	114.5	9000	1	0	1	119.1	
2-CL				7787	1	0	2	103.1	8141	1	0	2	107.7	8468	1	0	2	112.1	
Diffused	3-CL	7545	1	0	2	99.9	7888	1	0	2	104.4	8205	1	0	2	108.6			
	4W-CL	7544	1	0	3	99.8	7887	1	0	3	104.4	8204	1	0	3	108.6			
	1-CL-HS	4792	0	0	0	63.4	5010	0	0	0	66.3	5211	0	0	0	69.0			
	2-CL-HS	3877	0	0	1	51.3	4054	0	0	1	53.6	4217	0	0	1	55.8			
	3-CL-HS	3721	0	0	1	49.2	3890	0	0	1	51.5	4046	0	0	1	53.5			
Diffused	4W-CL-HS	3727	0	0	1	49.3	3896	0	0	1	51.6	4053	0	0	1	53.6			
	5Q-CL	7889	3	0	1	104.4	8247	3	0	1	109.2	8579	3	0	1	113.5			
	5W-CL	7392	3	0	1	97.8	7728	3	0	1	102.3	8039	3	0	2	106.4			
	3-DL	5992	1	0	1	79.2	6264	1	0	1	82.8	6516	1	0	1	86.4			
	5W-DL	5297	2	0	1	70.0	5537	2	0	1	73.1	5760	2	0	1	73.6			

**DELIVERED LUMENS (CONTINUED)**

The table below shows the delivered lumens for the various lumen outputs and beam distributions. Use this chart in connection with the lumen factor (LF) capability to deliver any output required.

LED #	Drive Current	Lumen Package	Lens	Distribution	3000K 70CRI				4000K 70CRI				5000K 70CRI							
					Lumen	Bug Rating			Efficacy (Lm/W)	Lumen	Bug Rating			Efficacy (Lm/W)	Lumen	Bug Rating			Efficacy (Lm/W)	
72	480	700mA Microcore Equivalent	None	1	13144	1	0	1	118.8	13742	1	0	1	124.2	14294	2	0	1	129.2	
				2	12367	2	0	2	111.7	12929	2	0	2	116.8	13448	2	0	2	121.5	
				3	11983	2	0	2	108.3	12527	2	0	3	113.2	13031	2	0	3	117.7	
				4W	11982	2	0	3	108.3	12526	2	0	3	113.2	13030	2	0	3	117.7	
				1-HS	7610	0	0	0	68.8	7956	0	0	0	71.9	8276	0	0	0	74.8	
				2-HS	6158	0	0	1	55.6	6438	0	0	1	58.2	6697	0	0	1	60.5	
				3-HS	5909	0	0	1	53.4	6178	0	0	2	55.8	6426	0	0	2	58.1	
				4W-HS	5919	1	0	2	53.5	6188	1	0	2	55.9	6437	1	0	2	58.2	
			5Q	12529	3	0	1	113.2	13098	3	0	1	118.4	13625	3	0	1	123.1		
			5W	11740	4	0	2	106.1	12274	4	0	2	110.9	12767	4	0	2	115.4		
			Clear	1-CL	11325	1	0	1	102.3	11840	1	0	1	107.0	12316	1	0	1	111.3	
				2-CL	10655	2	0	2	96.3	11139	2	0	2	100.7	11587	2	0	2	104.7	
				3-CL	10324	2	0	2	93.3	10794	2	0	2	97.5	11227	2	0	2	101.5	
				4W-CL	10323	1	0	3	93.3	10792	1	0	3	97.5	11226	1	0	3	101.4	
	1-CL-HS	6557		0	0	0	59.2	6855	0	0	0	61.9	7131	0	0	0	64.4			
	2-CL-HS	5306		0	0	1	47.9	5547	0	0	1	50.1	5770	0	0	1	52.1			
	3-CL-HS	5091		0	0	1	46.0	5323	0	0	1	48.1	5537	0	0	1	50.0			
	4W-CL-HS	5100		0	0	1	46.1	5332	1	0	1	48.2	5546	1	0	2	50.1			
	Diffused	5Q-CL	10795	3	0	1	97.5	11286	3	0	1	102.0	11739	3	0	1	106.1			
		5W-CL	10115	3	0	2	91.4	10575	3	0	2	95.6	11000	4	0	2	99.4			
	500	14000		None	3-DL	7798	2	0	1	70.4	8153	2	0	2	73.6	8481	2	0	2	76.6
					5W-DL	7640	2	0	1	69.0	7988	3	0	1	72.2	8309	3	0	1	75.1
					1	13600	1	0	1	117.7	14218	2	0	1	123.0	14790	2	0	1	128.0
					2	12796	2	0	2	110.7	13377	2	0	2	115.7	13915	2	0	2	120.4
					3	12398	2	0	3	107.3	12962	2	0	3	112.2	13483	2	0	3	116.7
					4W	12397	2	0	3	107.3	12961	2	0	3	112.1	13482	2	0	3	116.7
					1-HS	7874	0	0	0	68.1	8232	0	0	0	71.2	8563	0	0	0	74.1
					2-HS	6372	0	0	1	55.1	6661	0	0	1	57.6	6929	0	0	1	60.0
Clear				3-HS	6114	0	0	1	52.9	6392	0	0	2	55.3	6649	0	0	2	57.5	
				4W-HS	6124	1	0	2	53.0	6403	1	0	2	55.4	6660	1	0	2	57.6	
				5Q	12964	3	0	1	112.2	13553	3	0	1	117.3	14097	3	0	2	122.0	
				5W	12147	4	0	2	105.1	12699	4	0	2	109.9	13210	4	0	2	114.3	
				1-CL	11718	1	0	1	101.4	12250	1	0	1	106.0	12743	1	0	1	110.3	
				2-CL	11025	2	0	2	95.4	11526	2	0	2	99.7	11989	2	0	2	103.7	
Diffused	3-CL	10682	2	0	2	92.4	11168	2	0	2	96.6	11617	2	0	2	100.5				
	4W-CL	10681	1	0	3	92.4	11167	1	0	3	96.6	11616	2	0	3	100.5				
	1-CL-HS	6784	0	0	0	58.7	7093	0	0	0	61.4	7378	0	0	0	63.8				
	2-CL-HS	5490	0	0	1	47.5	5739	0	0	1	49.7	5970	0	0	1	51.7				
	3-CL-HS	5268	0	0	1	45.6	5507	0	0	1	47.7	5729	0	0	1	49.6				
	4W-CL-HS	5277	1	0	1	45.7	5517	1	0	2	47.7	5738	1	0	2	49.7				
	5Q-CL	11169	3	0	1	96.6	11677	3	0	1	101.0	12146	3	0	1	105.1				
	5W-CL	10466	3	0	2	90.6	10942	4	0	2	94.7	11381	4	0	2	98.5				
3-DL	8069	2	0	2	69.8	8436	2	0	2	73.0	8775	2	0	2	75.9					
5W-DL	7905	3	0	1	68.4	8265	3	0	1	71.5	8597	3	0	1	74.4					

**DELIVERED LUMENS (CONTINUED)**

The table below shows the delivered lumens for the various lumen outputs and beam distributions. Use this chart in connection with the lumen factor (LF) capability to deliver any output required.

LED #	Drive Current	Lumen Package	Lens	Distribution	3000K 70CRI				4000K 70CRI				5000K 70CRI						
					Lumen	Bug Rating			Efficacy (Lm/W)	Lumen	Bug Rating			Efficacy (Lm/W)	Lumen	Bug Rating			Efficacy (Lm/W)
72	700	19000	None	1	17947	2	0	1	111.9	18762	2	0	1	117.0	19516	2	0	1	121.7
				2	16885	2	0	2	105.3	17652	2	0	2	110.1	18362	3	0	3	114.5
				3	16361	2	0	3	102.0	17104	2	0	3	106.6	17792	2	0	3	110.9
				4W	16359	2	0	4	102.0	17103	2	0	4	106.6	17790	2	0	4	110.9
				1-HS	10391	0	0	0	64.8	10863	1	0	0	67.7	11300	1	0	1	70.4
				2-HS	8408	1	0	1	52.4	8790	1	0	1	54.8	9144	1	0	1	57.0
				3-HS	8068	1	0	2	50.3	8435	1	0	2	52.6	8774	1	0	2	54.7
				4W-HS	8082	1	0	2	50.4	8449	1	0	2	52.7	8789	1	0	2	54.8
				5Q	17106	4	0	2	106.6	17884	4	0	2	111.5	18603	4	0	2	116.0
			5W	16029	4	0	2	99.9	16758	4	0	2	104.5	17431	4	0	2	108.7	
			Clear	1-CL	15463	2	0	1	96.4	16166	2	0	1	100.8	16815	2	0	1	104.8
				2-CL	14548	2	0	2	90.7	15209	2	0	2	94.8	15821	2	0	2	98.6
				3-CL	14096	2	0	3	87.9	14737	2	0	3	91.9	15330	2	0	3	95.6
				4W-CL	14095	2	0	3	87.9	14736	2	0	3	91.9	15328	2	0	3	95.6
				1-CL-HS	8953	0	0	0	55.8	9359	0	0	0	58.4	9736	0	0	0	60.7
				2-CL-HS	7244	1	0	1	45.2	7574	1	0	1	47.2	7878	1	0	1	49.1
				3-CL-HS	6951	0	0	2	43.3	7267	1	0	2	45.3	7559	1	0	2	47.1
				4W-CL-HS	6963	1	0	2	43.4	7280	1	0	2	45.4	7572	1	0	2	47.2
			Diffused	5Q-CL	14739	3	0	2	91.9	15409	4	0	2	96.1	16028	4	0	2	99.9
				5W-CL	13811	4	0	2	86.1	14438	4	0	2	90.0	15019	4	0	2	93.6
				3-DL	10648	2	0	2	66.4	11132	2	0	2	69.4	11579	2	0	2	72.2
				5W-DL	10432	3	0	2	65.0	10906	3	0	2	68.0	11344	3	0	2	70.7

**PHOTOMETRY**

**UCL2-ANG-72L-700-4K7-1**

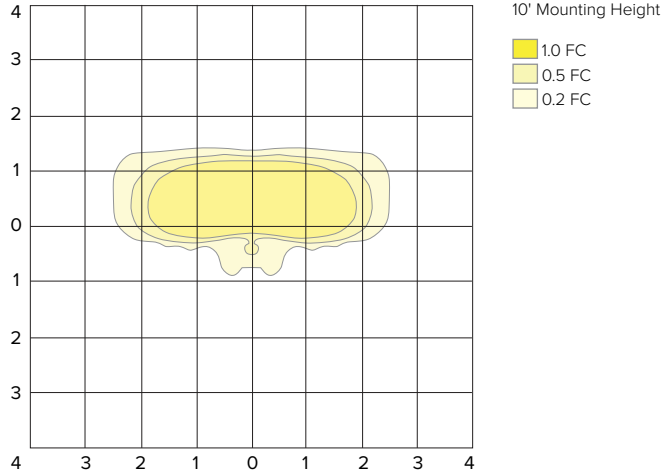
**LUMINAIRE DATA**

Description	<b>4000 Kelvin, 70CRI</b>
Delivered Lumens	<b>18,762</b>
Watts	<b>160.4</b>
Efficacy	<b>117.0</b>
IES Type	<b>I</b>
BUG Rating	<b>B2-U0-G1</b>
Mounting Height	<b>30 ft</b>
Grid Scale	<b>30 ft</b>

**ZONAL LUMEN SUMMARY**

Zone	Lumens	% Luminaire
Downward Street Side	16473	88%
Downward House Side	2289	12%
Downward Total	18762	100%
Upward Street Side	0	0%
Upward House Side	0	0%
Upward Total	0	0%
Total Flux	18762	100%

**ISOFOOT CANDLE PLOT**



**UCL2-ANG-72L-700-4K7-2**

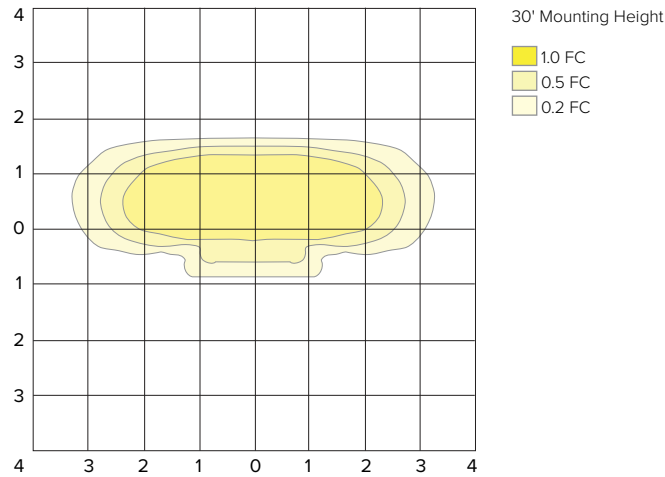
**LUMINAIRE DATA**

Description	<b>4000 Kelvin, 70CRI</b>
Delivered Lumens	<b>17,652</b>
Watts	<b>160.4</b>
Efficacy	<b>110.0</b>
IES Type	<b>II</b>
BUG Rating	<b>B2-U0-G2</b>
Mounting Height	<b>30 ft</b>
Grid Scale	<b>30 ft</b>

**ZONAL LUMEN SUMMARY**

Zone	Lumens	% Luminaire
Downward Street Side	14521	82%
Downward House Side	3131	18%
Downward Total	17652	100%
Upward Street Side	0	0%
Upward House Side	0	0%
Upward Total	0	0%
Total Flux	17652	100%

**ISOFOOT CANDLE PLOT**



**UCL2-ANG-72L-700-4K7-3**

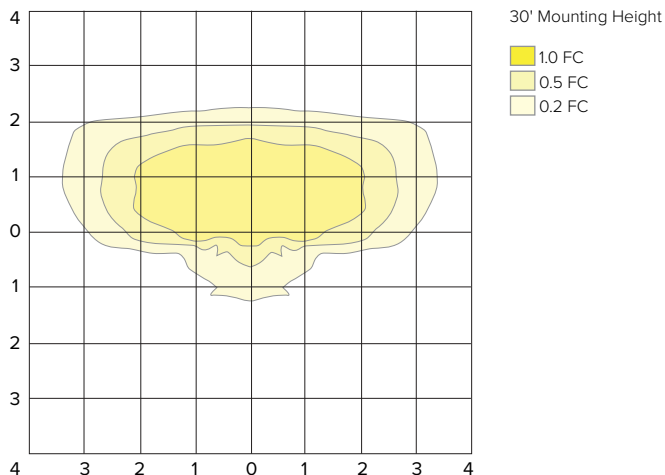
**LUMINAIRE DATA**

Description	<b>4000 Kelvin, 70CRI</b>
Delivered Lumens	<b>17,105</b>
Watts	<b>160.4</b>
Efficacy	<b>106.6</b>
IES Type	<b>III</b>
BUG Rating	<b>B2-U0-G3</b>
Mounting Height	<b>30 ft</b>
Grid Scale	<b>30 ft</b>

**ZONAL LUMEN SUMMARY**

Zone	Lumens	% Luminaire
Downward Street Side	14403	84%
Downward House Side	2702	16%
Downward Total	17105	100%
Upward Street Side	0	0%
Upward House Side	0	0%
Upward Total	0	0%
Total Flux	17105	100%

**ISOFOOT CANDLE PLOT**



## PHOTOMETRY

### UCL2-ANG-72L-700-4K7-4W

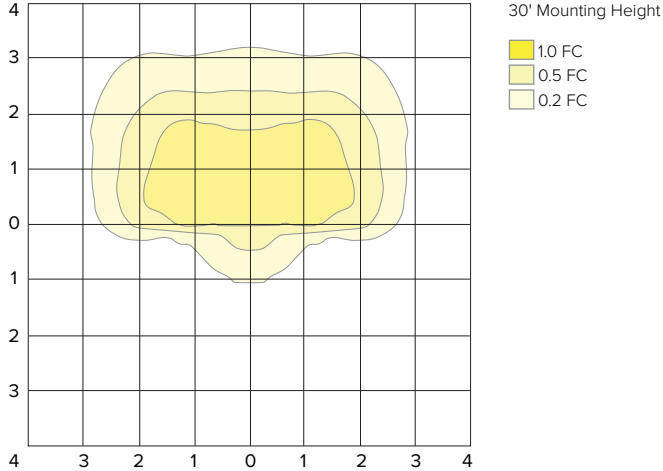
#### LUMINAIRE DATA

Description	4000 Kelvin, 70CRI
Delivered Lumens	17103
Watts	160.4
Efficacy	106.6
IES Type	IV Wide
BUG Rating	B2-U0-G4
Mounting Height	30 ft
Grid Scale	30 ft

#### ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
Downward Street Side	14997	88%
Downward House Side	2106	12%
Downward Total	17103	100%
Upward Street Side	0	0%
Upward House Side	0	0%
Upward Total	0	0%
Total Flux	17103	100%

#### ISOFOOT CANDLE PLOT



### UCL2-ANG-72L-700-4K7-5Q

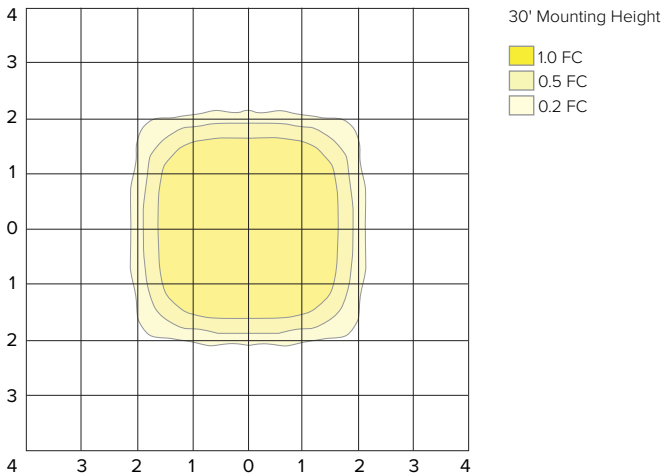
#### LUMINAIRE DATA

Description	4000 Kelvin, 70CRI
Delivered Lumens	17884
Watts	160.4
Efficacy	111.5
IES Type	VS
BUG Rating	B4-U0-G2
Mounting Height	30 ft
Grid Scale	30 ft

#### ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
Downward Street Side	8942	50%
Downward House Side	8942	50%
Downward Total	17884	100%
Upward Street Side	0	0%
Upward House Side	0	0%
Upward Total	0	0%
Total Flux	17884	100%

#### ISOFOOT CANDLE PLOT



### UCL2-ANG-72L-700-4K7-5W

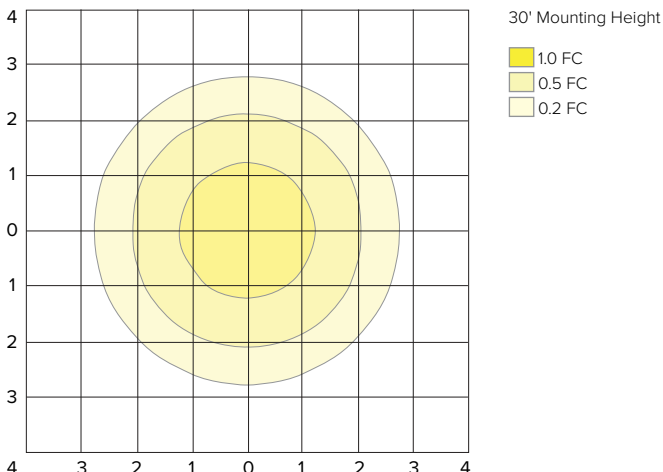
#### LUMINAIRE DATA

Description	4000 Kelvin, 70CRI
Delivered Lumens	16758
Watts	160.4
Efficacy	104.5
IES Type	VS
BUG Rating	B4-U0-G2
Mounting Height	30 ft
Grid Scale	30 ft

#### ZONAL LUMEN SUMMARY

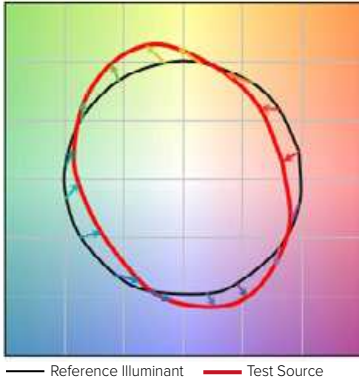
Zone	Lumens	% Luminaire
Downward Street Side	8379	50%
Downward House Side	8379	50%
Downward Total	16758	100%
Upward Street Side	0	0%
Upward House Side	0	0%
Upward Total	0	0%
Total Flux	16758	100%

#### ISOFOOT CANDLE PLOT



**TM-30 DATA**

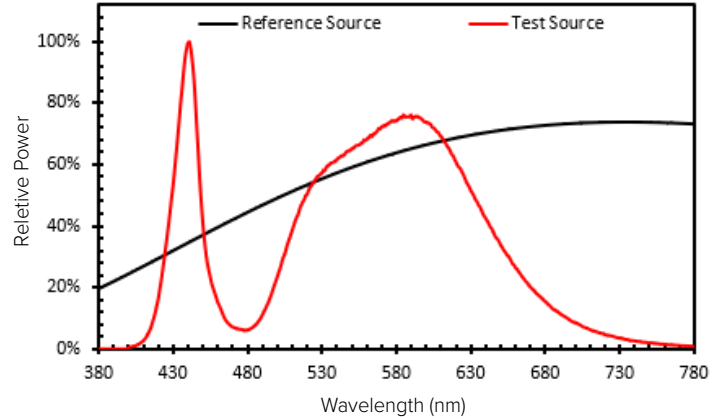
**COLOR VECTOR GRAPHIC**



**TEST SOURCE**

MBM TEST RESULTS	
CCT (K)	3947
CIE Ra	72
Duv	0.0004
x	0.3831
y	0.3793
Rf	68
Rg	99

**SPECTRAL POWER DISTRIBUTION COMPARISON**



**ELECTRICAL DATA**

Light Engine	Electrical										Dimming						
	System Current	System Watts	Line Voltage		Amps AC						Min. Power Factor	Max THD (%)	Dimming Range	Source current out of 0-10V		Absolute voltage range on 0-10V (+)	
			VAC	HZ	120	208	240	277	347	480				Min	Max	Min	Max
72	310 mA	69.9	120-480	50/60	0.58	0.34	0.29	0.25	0.20	0.15	>0.9	20	10% to 100%	0mA	1mA	0V	10V
	335 mA	75.7			0.63	0.36	0.32	0.27	0.22	0.16							
	480 mA	110.7			0.92	0.53	0.46	0.40	0.32	0.23							
	500 mA	115.6			0.96	0.56	0.48	0.42	0.33	0.24							
	700 mA	160.4			1.34	0.77	0.67	0.58	0.46	0.33							

TM-21 LIFETIME CALCULATION - PROJECTED LUMEN MAINTENANCE (25°C / 77°F)						
HOURS	0	25,000	36,000	50,000	100,000	REPORTED L70
Projected Lumen Maintenance	100%	98.0%	96.9%	95.5%	90.7%	> 60,000

AMBER MULTIPLIER	
CCT	MULTIPLIER
5000K	1
AM	0.1727

2700K MULTIPLIER	
CCT	MULTIPLIER
5000K	1
2700K	0.897

LENS OPTION MULTIPLIER	
CLEAR LENS	DIFFUSED LENS
0.8615	0.7098

**ADDITIONAL INFORMATION**

**PHOTOCELL / EGRESS ADAPTERS**

- Adapter(s) shall slip over a 4"/100mm DIA. pole with the luminaire or arm slipping over the adapter to add a total of 4.5"/114mm to the overall height. Adapter(s) shall be prewired, independently rotatable 359°, and have a cast access cover with an integral lens and lanyard.
- Photocell adapter shall include an internal twist lock receptacle. Photocell by others.
- Egress adapter shall require an auxiliary 120 volt supply for operation of an integral MR16 lamp in the event of emergency. The lamp may be aimed and locked into position with an adjustment range of 15°-45°. Adapter shall have a socket that accepts miniature bi-pin MR16 lamps up to 50 watts, lamp by others.

**FEATURES**

- Reliable, uniform, glare free illumination
- Types II, III, IV, V and custom distributions
- 3000K, 4000K, 5000K CCT
- 0-10V dimming ready
- Integral surge suppression
- Upgrade Kits <sup>5</sup>



3000K and warmer CCTs only

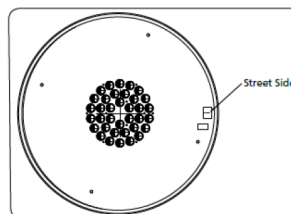
**CONTROL TECHNOLOGY**



**UNIVERSE<sup>®</sup>**



Universe Medium LED Deck



Align Deck assembly as shown, make sure street side label is pointing towards the correct direction.

**SPECIFICATIONS**

**CONSTRUCTION**

- All internal and external hardware are stainless steel
- Luminaire finish consists of a five stage pretreatment regimen with a polymer primer sealer, oven dry off, and top coated with a thermoset super TGIC polyester powder coat finish.
- Optical bezel finish matches the luminaire housing

**LED/OPTICS**

- Optical cartridge system consisting of a die cast heat sink, LED engine, TIR optics, gasket and bezel plate
- Optics are held in place without the use of adhesives
- Molded silicone gasket ensures a weather-proof seal around each individual LED
- Features individual LED optical control based on high performance TIR optical designs
- House Side Shield is available on Standard and Clear Lens options, except any Type 5 distribution. Consult Factory if the House Side Shield option is desired, in configurations that are not standard.

**INSTALLATION**

- Fixtures must be grounded in accordance with national, state and/or local electrical codes. Failure to do so may result in serious personal injury.

**ELECTRICAL**

- Luminaires have integral surge protection, UL recognized and have a surge current rating of 10,000 Amps using the industry standard 8/20uSec wave and surge rating of 372J
- Drivers are UL recognized with an inrush current maximum of <20.0 Amps maximum at 230VAC
- 100%-1% dimming range. Fixture will be wired for low voltage 0-10V dimming control
- Driver and surge suppressor are mounted to a prewired tray with quick disconnects that may be removed from the gear compartment

**CERTIFICATIONS**

- ETL listed under UL 1598 and CSA C22.2 No. 250.0-08 for wet locations

**WARRANTY**

- 5 year warranty

KEY DATA	
LUMEN RANGE	1,821-9,336
WATTAGE RANGE	32-72
EFFICACY RANGE (LPW)	55-139
INPUT CURRENT RANGE (mA)	260/420/615 mA
OPERATING TEMPERATURE	-40°C to 55°C
CCT (*Consult factory for availability)	580-590nm Monochromatic Amber, 2700*, 3000K, 4000K, 5000K
CRI (*Consult factory for availability of 80 & 90 CRI)	70, 80* & 90*
SURGE PROTECTION	10KV/5KA
FINISH	Minimum 2.0 mil Thickness

# UCM2-LK

LED UPGRADE KIT

## HOUSING

Example: UCM2-LK-UPLT-ANG-36L-615-3K7-3-HS-BLS-SCP-20F-SF-UNV

UCM2-LK		LED Quantity	Lumen Output	CCT/CRI	Distribution
<b>UCM2-LK</b> <sup>6</sup>	Universe Medium Upgrade Kit	<b>36L</b> 36 LED	<b>260</b> 260mA,32W,1800-4300 Lumens <b>325</b> 325mA,40W,2200-5300 Lumens	<b>AMB</b> <sup>1</sup> 580nm-590nm Monochromatic Amber	<b>1</b> Type I <b>2</b> Type II
<b>UCM2-LK-UPLT</b> <sup>6</sup>	Universe Medium Upgrade Kit - Downlight with uplight for fixtures with luminous elements. Adds 4 watts to the fixture. additional 4 watts		<b>420</b> 420mA,50W,2800-6700 Lumens <b>460</b> 460mA,55W,3000-7200 Lumens <b>615</b> 615mA,72W,3900-9300 Lumens	<b>3K7</b> 3000K, 70 CRI <b>4K7</b> 4000K, 70 CRI <b>5K7</b> 5000K, 70 CRI	<b>3</b> Type III <b>4W</b> Type IV Wide <b>5Q</b> <sup>3</sup> Type V Square <b>5W</b> <sup>3</sup> Type V Wide
<b>Existing Hood Style</b>			<b>Equivalent</b> 36L-325mA=32LED-450mA 36L-460mA=32LED-700mA	5-step MacAdam Ellipse Binning is standard. Consult Factory for 3-step MacAdam Ellipse Binning. Consult Factory regarding availability of the following options.	
<b>ANG</b>	Angled Hood			<b>27K8</b> <sup>2</sup> 2700K, 80 CRI <b>27K9</b> <sup>2</sup> 2700K, 90 CRI <b>3K8</b> <sup>2</sup> 3000K, 80 CRI <b>3K9</b> <sup>2</sup> 3000K, 90 CRI <b>4K8</b> <sup>2</sup> 4000K, 80 CRI <b>4K9</b> <sup>2</sup> 4000K, 90 CRI <b>5K8</b> <sup>2</sup> 5000K, 80 CRI <b>5K9</b> <sup>2</sup> 5000K, 90 CRI	
<b>BEL</b>	Bell Hood				
<b>FLR</b>	Flared Hood				
<b>SKB</b>	Skirted Bell Hood				
<b>STR</b>	Straight Hood				

Existing Lens Style	Optional Shield	Finish	Optional Controls	Optional Fuse	Voltage
<b>CL</b> Clear Lens	<b>HS</b> <sup>3</sup> House Side Shield	<b>BLS</b> Black Gloss Smooth	<b>WIR</b> wiSCAPE Connectivity	<b>SF</b> Single Fuse, 120 or 277 Volt	<b>UNV</b> 120-277V
<b>DL</b> <sup>4</sup> Diffused Lens Choose One (if applicable)	Backlight Control is only available with T1, T2, T3, T4W.	<b>BLT</b> Black Matte Textured	<b>WIRSC</b> wiSCAPE Connectivity with Sensor	<b>DF</b> Double Fuse, 208 or 240 Volt	<b>347V</b> 347 Volt <b>480V</b> 480 Volt
		<b>DBS</b> Dark Bronze Gloss Smooth	<b>SCP-8F</b> Sensor Control to 8' Mounting Height		
		<b>DBT</b> Dark Bronze Matte Textured	<b>SCP-20F</b> Sensor Control 9' to 20' Mounting Height		
		<b>GTT</b> Graphite Matte Textured			
		<b>LGS</b> Light Grey Gloss Smooth			
		<b>LGT</b> Light Grey Matte Textured			
		<b>PSS</b> Platinum Silver Gloss Smooth			
		<b>VGT</b> Verde Green Matte Textured			
		<b>WHS</b> White Gloss Smooth			
		<b>WHT</b> White Matte Textured			
		<b>Color Option</b>			
		<b>CC</b> <sup>2</sup> Custom Color			

Notes:

- 1 Wildlife Friendly
- 2 Additional Charges and lead time apply.
- 3 Backlight Control is only available with T1, T2, T3 and T4W distributions.
- 4 Diffused Lens is only available with T3 and T5W distributions as a standard offering. Consult factory for availability with other distributions and information on how it will affect the performance of the luminaire.
- 5 Consult factory for custom color, marine and corrosive resistant finish options
- 6 **UCM2-LK LED Kits are compatible with UCM fixture housings manufactured from 2001 to present.**

**CONTROLS**

**wiSCAPE™:**

Supports remote management, monitoring and metering of outdoor wireless lighting applications such as smart campuses, smart cities, parking lots, parking lots and roadways.



wiSCAPE Reference									
wiSCAPE Option	Sensor	Networkable	Scheduling	Occupancy	Daylight Harvesting	0-10V Dimming	On/off Control	Bluetooth App Programming	Commissioning
<b>Networked – Wireless</b>									
<a href="#">WIR</a>	WIR-RMI-IO	Yes	Yes	No	Yes	Yes	Yes	wiSCAPE Gateway	On-site
<a href="#">WIRSC</a>	WIR-RMI-IO with Motion Sensor	Yes	Yes	Yes	Yes	Yes	Yes	wiSCAPE Gateway	On-site

**DELIVERED LUMENS**

The table below shows the delivered lumens for the various lumen outputs and beam distributions. Use this chart in connection with the lumen factor (LF) capability to deliver any output required.

LED #	Drive Current	Lumen Package	Lens	Distribution	3000K 70CRI				4000K 70CRI				5000K 70CRI						
					Lumen	Bug Rating			Efficacy (Lm/W)	Lumen	Bug Rating			Efficacy (Lm/W)	Lumen	Bug Rating			Efficacy (Lm/W)
36	260	4000	None	1	4100	1	0	1	130.1	4176	1	0	1	132.5	4354	1	0	1	138.5
				2	3788	1	0	1	120.2	3859	1	0	1	122.4	4023	1	0	1	127.9
				3	3708	1	0	1	114.6	3777	1	0	1	117.7	3938	1	0	1	125.4
				4W	3749	1	0	2	119.0	3819	1	0	2	121.2	3982	1	0	2	127.1
				1-HS	2316	0	0	0	73.5	2359	0	0	0	74.9	2460	0	0	0	78.4
				2-HS	2023	0	0	1	64.2	2061	0	0	1	65.4	2149	0	0	1	68.6
				3-HS	1981	0	0	1	62.9	2018	0	0	1	64.0	2104	0	0	1	67.0
				4W-HS	2044	0	0	1	64.9	2082	0	0	1	66.1	2171	0	0	1	69.2
				5Q	3936	2	0	1	124.9	4009	2	0	1	127.2	4180	2	0	1	133.4
				5W	3822	3	0	1	121.3	3893	3	0	1	123.5	4059	3	0	1	129.6
			Clear	1-CL	3769	0	0	1	119.6	3839	0	0	1	121.8	4002	1	0	1	127.0
				2-CL	3482	1	0	1	110.5	3547	1	0	1	112.5	3698	1	0	1	117.3
				3-CL	3409	1	0	1	108.1	3472	1	0	1	110.2	3620	1	0	1	115.5
				4W-CL	3447	1	0	2	109.3	3511	1	0	2	111.4	3660	1	0	2	116.1
				1-CL-HS	2129	0	0	0	67.6	2169	0	0	0	68.8	2261	0	0	0	71.7
				2-CL-HS	1860	0	0	1	59.0	1895	0	0	1	60.1	1975	0	0	1	62.7
				3-CL-HS	1821	0	0	1	57.8	1855	0	0	1	58.9	1934	0	0	1	61.4
				4W-CL-HS	1879	0	0	1	59.6	1914	0	0	0	60.7	1996	0	0	1	63.3
				5Q-CL	3618	2	0	1	114.8	3685	2	0	1	116.9	3842	2	0	1	121.9
				5W-CL	3513	2	0	1	111.5	3579	2	0	1	113.5	3731	2	0	1	118.4
Diffused	3-DL	2943	1	0	1	93.4	2998	1	0	1	95.1	3126	1	0	1	99.3			
	5W-DL	3020	1	0	1	95.8	3076	1	0	1	97.6	3207	1	0	1	101.9			

**DELIVERED LUMENS CONTINUED**

The table below shows the delivered lumens for the various lumen outputs and beam distributions. Use this chart in connection with the lumen factor (LF) capability to deliver any output required.

LED #	Drive Current	Lumen Package	Lens	Distribution	3000K 70CRI				4000K 70CRI				5000K 70CRI						
					Lumen	Bug Rating			Efficacy (Lm/W)	Lumen	Bug Rating			Efficacy (Lm/W)	Lumen	Bug Rating			Efficacy (Lm/W)
36	325	2200-5300	None	1	4999	1	0	1	125.0	5092	1	0	1	127.3	5309	1	0	1	132.7
				2	4619	1	0	1	115.5	4705	1	0	1	117.6	4906	1	0	1	122.6
				3	4522	1	0	2	113.0	4606	1	0	2	115.1	4802	1	0	2	120.1
				4W	4572	1	0	2	114.3	4657	1	0	2	116.4	4856	1	0	2	121.4
				1-HS	2825	0	0	0	70.6	2877	0	0	0	71.9	3000	0	0	0	75.0
				2-HS	2467	0	0	1	61.7	2513	0	0	1	62.8	2620	0	0	1	65.5
				3-HS	2416	0	0	1	60.4	2461	0	0	1	61.5	2566	0	0	1	64.1
				4W-HS	2493	0	0	1	62.3	2539	0	0	1	63.5	2647	0	0	1	66.2
				5Q	4799	2	0	1	120.0	4889	2	0	1	122.2	5097	2	0	1	127.4
			5W	4660	3	0	1	116.5	4747	3	0	1	118.7	4950	3	0	1	123.7	
			Clear	1-CL	4595	1	0	1	114.9	4681	1	0	1	117.0	4881	1	0	1	122.0
				2-CL	4246	1	0	1	106.2	4325	1	0	1	108.1	4510	1	0	1	112.7
				3-CL	4156	1	0	1	103.9	4234	1	0	1	105.8	4414	1	0	1	110.4
				4W-CL	4203	1	0	2	105.1	4281	1	0	2	107.0	4464	1	0	2	111.6
				1-CL-HS	2596	0	0	0	64.9	2645	0	0	0	66.1	2757	0	0	0	68.9
				2-CL-HS	2268	0	0	1	56.7	2310	0	0	1	57.8	2409	0	0	1	60.2
				3-CL-HS	2221	0	0	1	55.5	2262	0	0	1	56.6	2358	0	0	1	59.0
				4W-CL-HS	2291	0	0	1	57.3	2334	0	0	1	58.4	2434	0	0	1	60.8
	5Q-CL	4412		2	0	1	110.3	4494	2	0	1	112.3	4685	2	0	1	117.1		
	5W-CL	4284	3	0	1	107.1	4364	3	0	1	109.1	4550	3	0	1	113.7			
	Diffused	3-DL	3581	1	0	1	89.5	3647	1	0	1	91.2	3803	1	0	1	95.1		
		5W-DL	3691	1	0	1	92.3	3760	1	0	1	94.0	3920	2	0	1	98.0		
	420	2800-6700	None	1	6298	1	0	1	126.4	6416	1	0	1	128.8	6689	1	0	1	134.3
				2	5820	1	0	1	116.8	5928	1	0	1	119.0	6181	1	0	1	124.1
				3	5697	1	0	2	114.3	5803	1	0	2	116.5	6050	1	0	2	121.4
				4W	5760	1	0	3	115.6	5867	1	0	3	117.8	6118	1	0	3	122.8
				1-HS	3559	0	0	0	71.4	3625	0	0	0	72.8	3779	0	0	0	75.9
				2-HS	3109	0	0	1	62.4	3167	0	0	1	63.6	3302	0	0	1	66.3
				3-HS	3044	0	0	1	61.1	3100	0	0	1	62.2	3232	0	0	1	64.9
				4W-HS	3141	0	0	1	63.0	3199	0	0	1	64.2	3335	0	0	1	66.9
				5Q	6047	2	0	1	121.4	6159	2	0	1	123.6	6422	3	0	1	128.9
			5W	5872	3	0	1	117.9	5981	3	0	1	120.1	6236	3	0	1	125.2	
			Clear	1-CL	5790	1	0	1	116.2	5898	1	0	1	118.4	6149	1	0	1	123.4
				2-CL	5350	1	0	1	107.4	5449	1	0	1	109.4	5681	1	0	1	114.0
				3-CL	5237	1	0	2	105.1	5334	1	0	2	107.1	5561	1	0	2	111.6
				4W-CL	5295	1	0	3	106.3	5394	1	0	3	108.3	5624	1	0	3	112.9
1-CL-HS				3271	0	0	0	65.7	3332	0	0	0	66.9	3474	0	0	0	69.7	
2-CL-HS				2858	0	0	1	57.4	2911	0	0	1	58.4	3035	0	0	1	60.9	
3-CL-HS				2798	0	0	1	56.2	2850	0	0	1	57.2	2971	0	0	1	59.6	
4W-CL-HS				2887	0	0	1	57.9	2941	0	0	1	59.0	3066	0	0	1	61.5	
5Q-CL	5558	2		0	1	111.6	5662	2	0	1	113.6	5903	2	0	1	118.5			
5W-CL	5398	3	0	1	108.3	5498	3	0	1	110.4	5732	3	0	1	115.1				
Diffused	3-DL	4511	1	0	1	90.6	4595	1	0	1	92.3	4791	1	0	1	96.2			
	5W-DL	4562	2	0	1	91.6	4647	2	0	1	93.3	4845	2	0	1	97.3			

**DELIVERED LUMENS CONTINUED**

The table below shows the delivered lumens for the various lumen outputs and beam distributions. Use this chart in connection with the lumen factor (LF) capability to deliver any output required.

LED #	Drive Current	Lumen Package	Lens	Distribution	3000K 70CRI				4000K 70CRI				5000K 70CRI						
					Lumen	Bug Rating			Efficacy (Lm/W)	Lumen	Bug Rating			Efficacy (Lm/W)	Lumen	Bug Rating			Efficacy (Lm/W)
36	460	3000-7200	None	1	6811	1	0	1	124.1	6937	1	0	1	126.4	7233	1	0	1	131.8
				2	6293	1	0	2	114.6	6410	1	0	2	116.8	6683	1	0	2	121.7
				3	6160	1	0	2	112.2	6275	1	0	2	114.3	6542	1	0	2	119.2
				4W	6229	1	0	3	113.5	6345	1	0	3	115.6	6615	1	0	3	120.5
				1-HS	3848	0	0	0	70.1	3920	0	0	0	71.4	4087	0	0	0	74.4
				2-HS	3362	0	0	1	61.2	3424	0	0	1	62.4	3570	0	0	1	65.0
				3-HS	3291	0	0	1	59.9	3352	0	0	1	61.1	3495	0	0	1	63.7
				4W-HS	3396	0	0	1	61.9	3459	0	0	1	63.0	3607	0	0	1	65.7
				5Q	6538	3	0	1	119.1	6660	3	0	1	121.3	6944	3	0	1	126.5
			Clear	5W	6349	3	0	1	115.6	6467	3	0	1	117.8	6743	3	0	1	122.8
				1-CL	6261	1	0	1	114.0	6377	1	0	1	116.2	6649	1	0	1	121.1
				2-CL	5785	1	0	1	105.4	5892	1	0	1	107.3	6144	1	0	1	111.9
				3-CL	5662	1	0	2	103.1	5768	1	0	2	105.1	6014	1	0	2	109.5
				4W-CL	5726	1	0	3	104.3	5832	1	0	3	106.2	6081	1	0	3	110.8
				1-CL-HS	3537	0	0	0	64.4	3603	0	0	0	65.6	3757	0	0	0	68.4
				2-CL-HS	3090	0	0	1	56.3	3148	0	0	1	57.3	3282	0	0	1	59.8
				3-CL-HS	3025	0	0	1	55.1	3082	0	0	1	56.1	3213	0	0	1	58.5
				4W-CL-HS	3122	0	0	1	56.9	3180	0	0	1	57.9	3315	0	0	1	60.4
	Diffused	5Q-CL	6010	2	0	1	109.5	6122	2	0	1	111.5	6383	3	0	1	116.3		
		5W-CL	5836	3	0	1	106.3	5945	3	0	1	108.3	6199	3	0	1	112.9		
		3-DL	4878	1	0	1	88.9	4969	1	0	1	90.5	5181	1	0	1	94.4		
		5W-DL	5028	2	0	1	91.6	5122	2	0	1	93.3	5340	2	0	1	97.3		
		615	3900-9300	None	1	8791	1	0	1	122.8	8954	1	0	1	125.1	9336	1	0	1
	2				8122	1	0	2	113.5	8274	1	0	2	115.6	8626	1	0	2	120.5
	3				7951	1	0	2	111.1	8099	1	0	2	113.1	8444	1	0	2	117.9
	4W				8040	1	0	3	112.3	8189	1	0	3	114.4	8538	1	0	3	119.3
	1-HS				4967	0	0	0	69.4	5059	0	0	0	70.7	5275	0	0	0	73.7
	2-HS				4339	0	0	1	60.6	4420	0	0	1	61.7	4608	0	0	1	64.4
	3-HS				4248	0	0	1	59.3	4327	0	0	1	60.4	4511	0	0	1	63.0
	4W-HS				4383	0	0	2	61.2	4465	0	0	2	62.4	4655	0	0	2	65.0
	5Q				8439	3	0	1	117.9	8596	3	0	1	120.1	8963	3	0	1	125.2
	Clear			5W	8195	3	0	2	114.5	8348	3	0	2	116.6	8703	3	0	2	121.6
				1-CL	8081	1	0	1	112.9	8231	1	0	1	115.0	8582	1	0	1	119.9
				2-CL	7467	1	0	2	104.3	7605	1	0	2	106.2	7930	1	0	2	110.8
				3-CL	7309	1	0	2	102.1	7445	1	0	2	104.0	7762	1	0	2	108.4
				4W-CL	7390	1	0	3	103.2	7528	1	0	3	105.2	7849	1	0	3	109.6
1-CL-HS				4566	0	0	0	63.8	4651	0	0	0	65.0	4849	0	0	0	67.7	
2-CL-HS				3988	0	0	1	55.7	4063	0	0	1	56.7	4236	0	0	1	59.2	
3-CL-HS				3905	0	0	1	54.5	3978	0	0	1	55.6	4147	0	0	1	57.9	
4W-CL-HS				4029	0	0	2	56.3	4104	0	0	2	57.3	4279	0	0	2	59.8	
Diffused	5Q-CL	7758	3	0	1	108.4	7902	3	0	1	110.4	8239	3	0	1	115.1			
	5W-CL	7533	3	0	2	105.2	7674	3	0	2	107.2	8001	3	0	2	111.8			
	3-DL	6297	2	0	1	87.9	6414	2	0	2	89.6	6687	2	0	2	93.4			
5W-DL	6490	2	0	1	90.6	6611	2	0	1	92.3	6893	2	0	1	96.3				

**PHOTOMETRY**

**UCM2-ANG-36L-615-4K7-1**

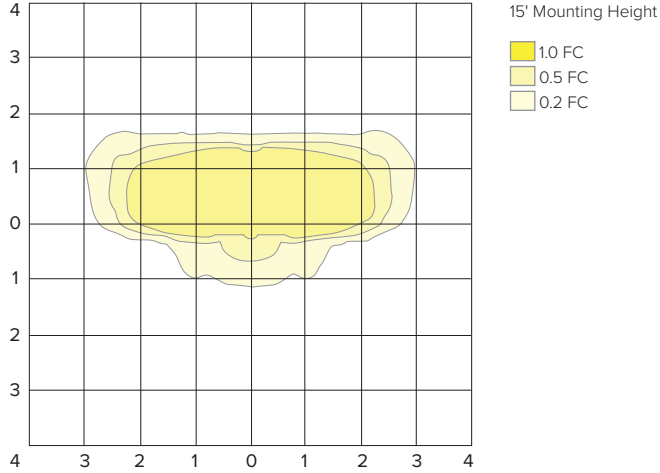
**LUMINAIRE DATA**

Description	<b>4000 Kelvin, 70CRI</b>
Delivered Lumens	<b>8954</b>
Watts	<b>71.59</b>
Efficacy	<b>125.1</b>
IES Type	<b>I</b>
BUG Rating	<b>B1-U0-G1</b>
Mounting Height	<b>15 ft</b>
Grid Scale	<b>15 ft</b>

**ZONAL LUMEN SUMMARY**

Zone	Lumens	% Luminaire
Downward Street Side	8046	90%
Downward House Side	908	10%
Downward Total	8954	100%
Upward Street Side	0	0%
Upward House Side	0	0%
Upward Total	0	0%
Total Flux	8954	100%

**ISOFOOT CANDLE PLOT**



**UCM2-ANG-36L-615-4K7-2**

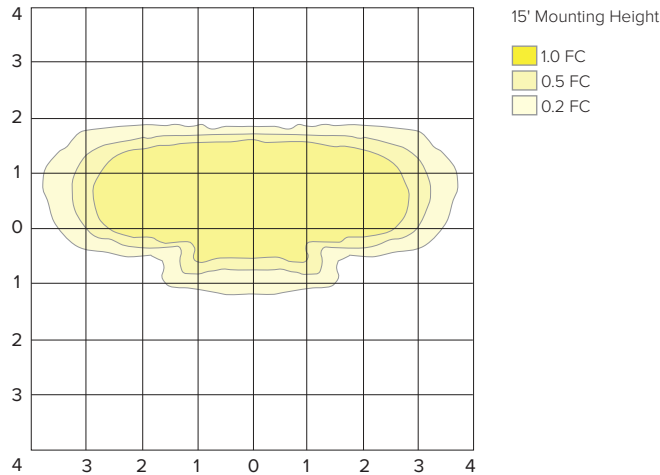
**LUMINAIRE DATA**

Description	<b>4000 Kelvin, 70CRI</b>
Delivered Lumens	<b>8274</b>
Watts	<b>71.59</b>
Efficacy	<b>115.6</b>
IES Type	<b>II</b>
BUG Rating	<b>B1-U0-G2</b>
Mounting Height	<b>15 ft</b>
Grid Scale	<b>15 ft</b>

**ZONAL LUMEN SUMMARY**

Zone	Lumens	% Luminaire
Downward Street Side	6942	84%
Downward House Side	1332	16%
Downward Total	8274	100%
Upward Street Side	0	0%
Upward House Side	0	0%
Upward Total	0	0%
Total Flux	8274	100%

**ISOFOOT CANDLE PLOT**



**UCM2-ANG-36L-615-4K7-3**

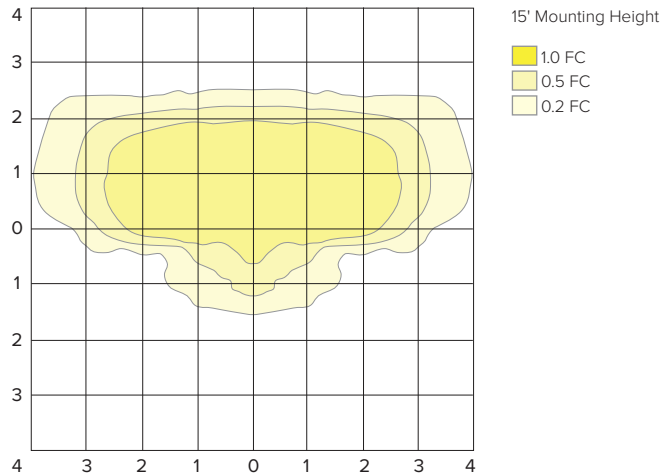
**LUMINAIRE DATA**

Description	<b>4000 Kelvin, 70CRI</b>
Delivered Lumens	<b>8099</b>
Watts	<b>71.59</b>
Efficacy	<b>113.1</b>
IES Type	<b>III</b>
BUG Rating	<b>B1-U0-G2</b>
Mounting Height	<b>15 ft</b>
Grid Scale	<b>15 ft</b>

**ZONAL LUMEN SUMMARY**

Zone	Lumens	% Luminaire
Downward Street Side	6800	84%
Downward House Side	1299	16%
Downward Total	8099	100%
Upward Street Side	0	0%
Upward House Side	0	0%
Upward Total	0	0%
Total Flux	8099	100%

**ISOFOOT CANDLE PLOT**



**PHOTOMETRY**

**UCM2-ANG-36L-615-4K7-4W**

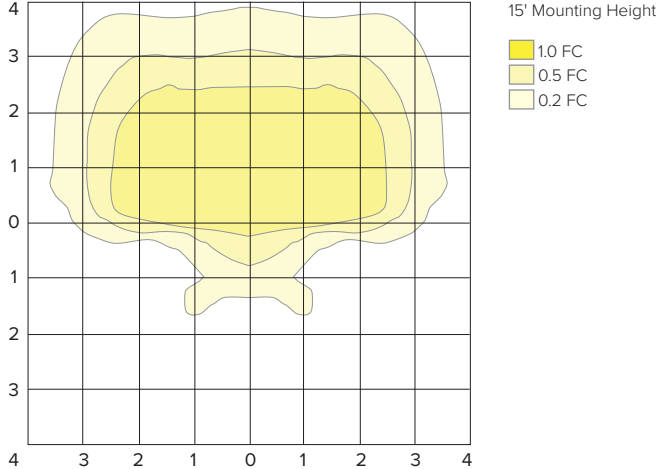
**LUMINAIRE DATA**

Description	4000 Kelvin, 70CRI
Delivered Lumens	8189
Watts	71.6
Efficacy	114.4
IES Type	IV Wide
BUG Rating	B1-U0-G3
Mounting Height	15 ft
Grid Scale	15 ft

**ZONAL LUMEN SUMMARY**

Zone	Lumens	% Luminaire
Downward Street Side	7339	90%
Downward House Side	850	10%
Downward Total	8189	100%
Upward Street Side	0	0%
Upward House Side	0	0%
Upward Total	0	0%
Total Flux	8189	100%

**ISOFOOT CANDLE PLOT**



**UCM2-ANG-36L-615-4K7-5Q**

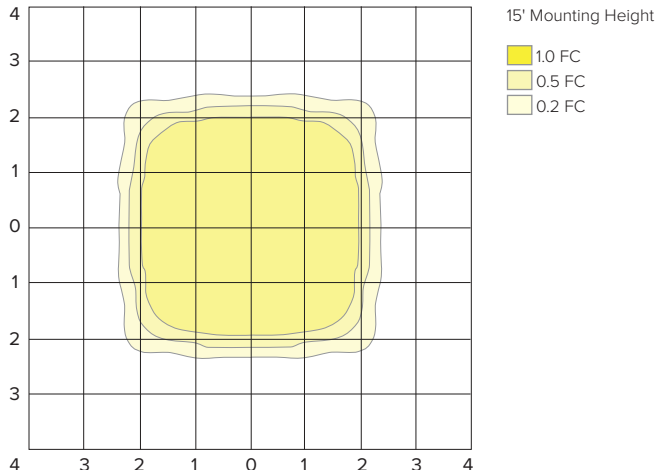
**LUMINAIRE DATA**

Description	4000 Kelvin, 70CRI
Delivered Lumens	8596
Watts	71.6
Efficacy	120.1
IES Type	VS
BUG Rating	B3-U0-G1
Mounting Height	15 ft
Grid Scale	15 ft

**ZONAL LUMEN SUMMARY**

Zone	Lumens	% Luminaire
Downward Street Side	4298	50%
Downward House Side	4298	50%
Downward Total	8596	100%
Upward Street Side	0	0%
Upward House Side	0	0%
Upward Total	0	0%
Total Flux	8596	100%

**ISOFOOT CANDLE PLOT**



**UCM2-ANG-36L-615-4K7-5W**

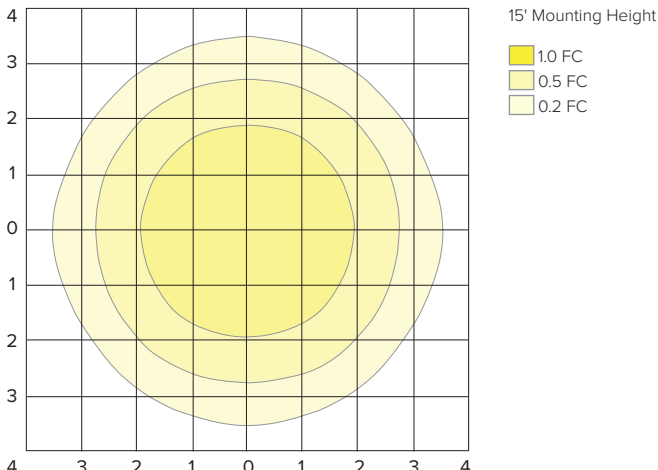
**LUMINAIRE DATA**

Description	4000 Kelvin, 70CRI
Delivered Lumens	8348
Watts	71.6
Efficacy	116.6
IES Type	VS
BUG Rating	B3-U0-G2
Mounting Height	15 ft
Grid Scale	15 ft

**ZONAL LUMEN SUMMARY**

Zone	Lumens	% Luminaire
Downward Street Side	4174	50%
Downward House Side	4174	50%
Downward Total	8348	100%
Upward Street Side	0	0%
Upward House Side	0	0%
Upward Total	0	0%
Total Flux	8348	100%

**ISOFOOT CANDLE PLOT**



**PHOTOMETRY**

**UCM2-ANG-36L-615-4K7-1**

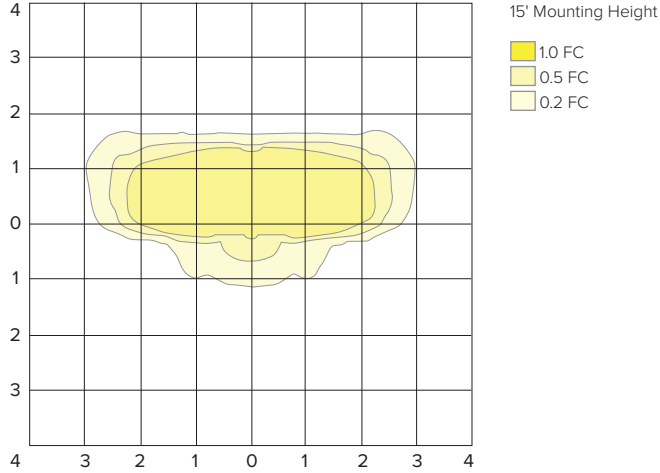
**LUMINAIRE DATA**

Description	<b>4000 Kelvin, 70CRI</b>
Delivered Lumens	<b>8954</b>
Watts	<b>71.59</b>
Efficacy	<b>125.1</b>
IES Type	<b>I</b>
BUG Rating	<b>B1-U0-G1</b>
Mounting Height	<b>15 ft</b>
Grid Scale	<b>15 ft</b>

**ZONAL LUMEN SUMMARY**

Zone	Lumens	% Luminaire
Downward Street Side	8046	90%
Downward House Side	908	10%
Downward Total	8954	100%
Upward Street Side	0	0%
Upward House Side	0	0%
Upward Total	0	0%
Total Flux	8954	100%

**ISOFOOT CANDLE PLOT**



**UCM2-ANG-36L-615-4K7-2**

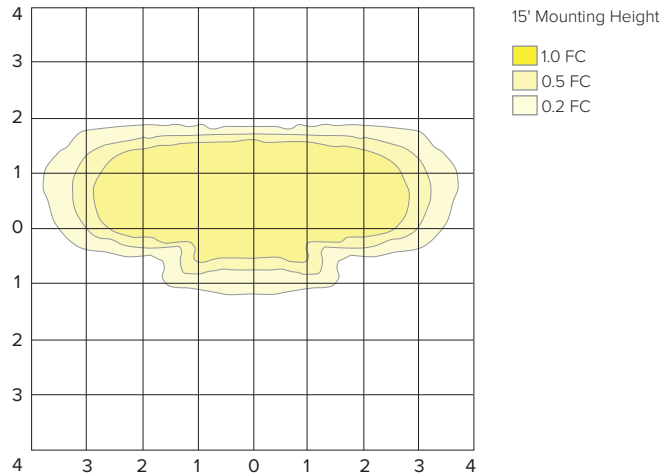
**LUMINAIRE DATA**

Description	<b>4000 Kelvin, 70CRI</b>
Delivered Lumens	<b>8274</b>
Watts	<b>71.59</b>
Efficacy	<b>115.6</b>
IES Type	<b>II</b>
BUG Rating	<b>B1-U0-G2</b>
Mounting Height	<b>15 ft</b>
Grid Scale	<b>15 ft</b>

**ZONAL LUMEN SUMMARY**

Zone	Lumens	% Luminaire
Downward Street Side	6942	84%
Downward House Side	1332	16%
Downward Total	8274	100%
Upward Street Side	0	0%
Upward House Side	0	0%
Upward Total	0	0%
Total Flux	8274	100%

**ISOFOOT CANDLE PLOT**



**UCM2-ANG-36L-615-4K7-3**

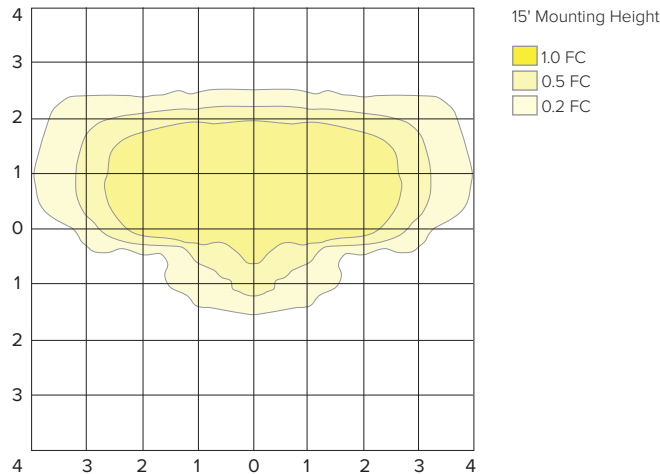
**LUMINAIRE DATA**

Description	<b>4000 Kelvin, 70CRI</b>
Delivered Lumens	<b>8099</b>
Watts	<b>71.59</b>
Efficacy	<b>113.1</b>
IES Type	<b>III</b>
BUG Rating	<b>B1-U0-G2</b>
Mounting Height	<b>15 ft</b>
Grid Scale	<b>15 ft</b>

**ZONAL LUMEN SUMMARY**

Zone	Lumens	% Luminaire
Downward Street Side	6800	84%
Downward House Side	1299	16%
Downward Total	8099	100%
Upward Street Side	0	0%
Upward House Side	0	0%
Upward Total	0	0%
Total Flux	8099	100%

**ISOFOOT CANDLE PLOT**



**PHOTOMETRY**

**UCM2-ANG-36L-615-4K7-4W**

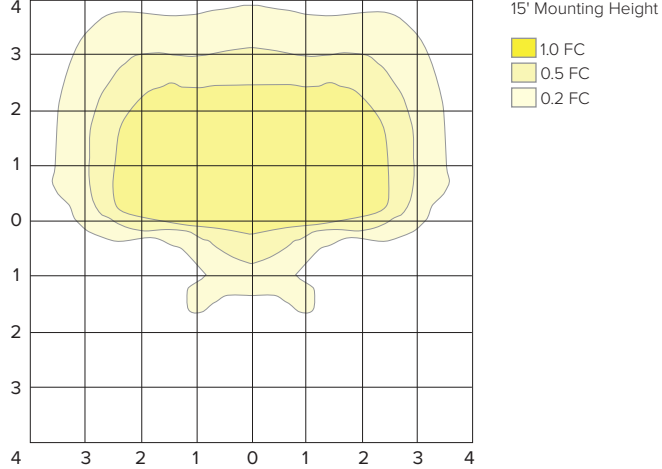
**LUMINAIRE DATA**

Description	4000 Kelvin, 70CRI
Delivered Lumens	8189
Watts	71.6
Efficacy	114.4
IES Type	IV Wide
BUG Rating	B1-U0-G3
Mounting Height	15 ft
Grid Scale	15 ft

**ZONAL LUMEN SUMMARY**

Zone	Lumens	% Luminaire
Downward Street Side	7339	90%
Downward House Side	850	10%
Downward Total	8189	100%
Upward Street Side	0	0%
Upward House Side	0	0%
Upward Total	0	0%
Total Flux	8189	100%

**ISOFOOT CANDLE PLOT**



**UCM2-ANG-36L-615-4K7-5Q**

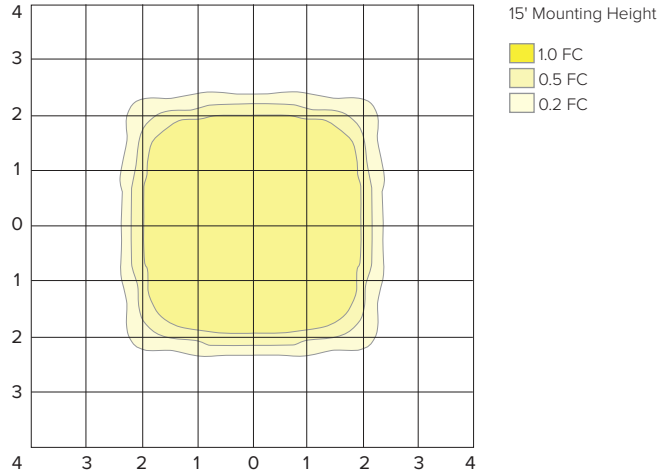
**LUMINAIRE DATA**

Description	4000 Kelvin, 70CRI
Delivered Lumens	8596
Watts	71.6
Efficacy	120.1
IES Type	VS
BUG Rating	B3-U0-G1
Mounting Height	15 ft
Grid Scale	15 ft

**ZONAL LUMEN SUMMARY**

Zone	Lumens	% Luminaire
Downward Street Side	4298	50%
Downward House Side	4298	50%
Downward Total	8596	100%
Upward Street Side	0	0%
Upward House Side	0	0%
Upward Total	0	0%
Total Flux	8596	100%

**ISOFOOT CANDLE PLOT**



**UCM2-ANG-36L-615-4K7-5W**

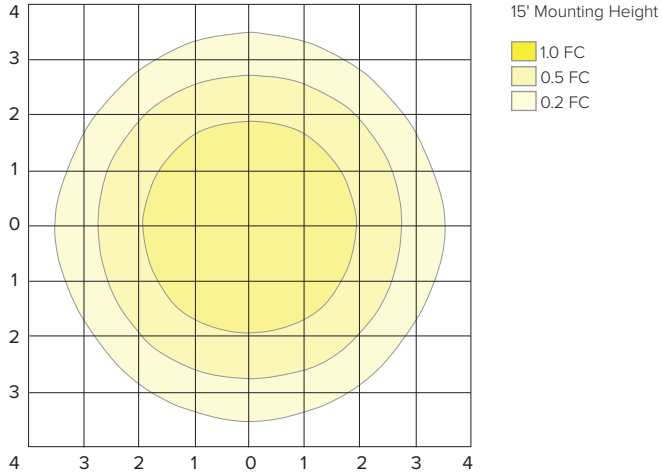
**LUMINAIRE DATA**

Description	4000 Kelvin, 70CRI
Delivered Lumens	8348
Watts	71.6
Efficacy	116.6
IES Type	VS
BUG Rating	B3-U0-G2
Mounting Height	15 ft
Grid Scale	15 ft

**ZONAL LUMEN SUMMARY**

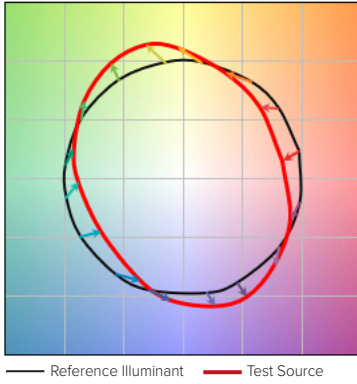
Zone	Lumens	% Luminaire
Downward Street Side	4174	50%
Downward House Side	4174	50%
Downward Total	8348	100%
Upward Street Side	0	0%
Upward House Side	0	0%
Upward Total	0	0%
Total Flux	8348	100%

**ISOFOOT CANDLE PLOT**



**TM-30 DATA**

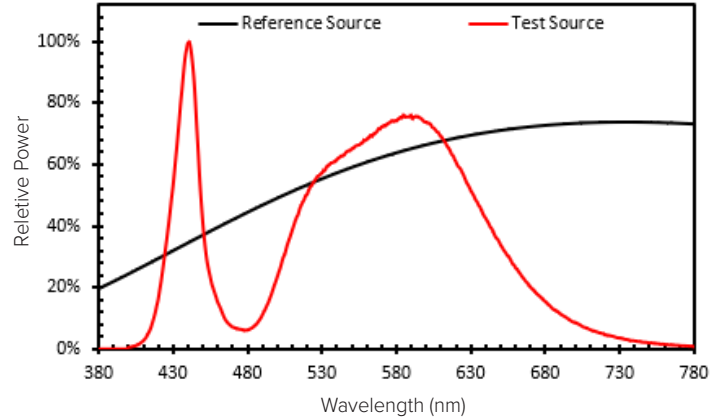
**COLOR VECTOR GRAPHIC**



**TEST SOURCE**

MBM TEST RESULTS	
CCT (K)	3947
CIE Ra	72
Duv	0.0004
x	0.3831
y	0.3793
Rf	68
Rg	99

**SPECTRAL POWER DISTRIBUTION COMPARISON**



**ELECTRICAL DATA**

Light Engine	System Current	System Watts	Electrical										Dimming				
			Line Voltage		Amps AC						Min. Power Factor	Max THD (%)	Dimming Range	Source current out of 0-10V		Absolute voltage range on 0-10V (+)	
			VAC	HZ	120	208	240	277	347	480				Min	Max	Min	Max
36L	260 mA	31.52	120-480	50/60	0.26	0.15	0.13	0.11	0.09	0.07	>0.9	20	10% to 100%	0mA	1mA	0V	10V
	325 mA	40			0.33	0.19	0.17	0.14	0.12	0.08							
	420 mA	49.82			0.42	0.24	0.21	0.18	0.14	0.10							
	460 mA	54.9			0.46	0.26	0.23	0.20	0.16	0.11							
	615 mA	71.6			0.60	0.34	0.30	0.26	0.21	0.15							

TM-21 LIFETIME CALCULATION - PROJECTED LUMEN MAINTENANCE (25°C / 77°F)						
HOURS	0	25,000	36,000	50,000	100,000	REPORTED L70
Projected Lumen Maintenance	100%	98.0%	96.9%	95.4%	90.5%	> 60,000

MULTIPLIER FOR AMBER LED		
CCT	WAVELENGTH	MULTIPLIER
Amber LED	580 - 590nm	0.255
Lens Multiplier for 80 & 90 CRI		
Scaling Factor should be applied to 5000K 70 CRI Data		
CCT	80 CRI	CRI 90
2700K	0.859	0.655
3000K	0.912	0.703
3500K	0.906	0.732
4000K	0.894	0.734
5000K	0.879	0.771
Lens Option Multiplier		
Multiplier to Estimate Light Loss with Lens		
CL	Clear Lens	0.913
DL	Diffused Lens	0.792



# CASCADE CHARTER TOWNSHIP

5920 Tahoe Drive SE Grand Rapids, Michigan 49546-7140

## REQUEST FOR BOARD ACTION

**MEETING DATE: April 22, 2026**

**ITEM: Consider Approval of the Purchase of Fire Department Staff Vehicle.**

**PRESENTER: Todd Pell, Fire Marshal**

**INDIVIDUALS PRESENT: Todd Pell, Adam Magers**

**EXECUTIVE SUMMARY:** The 2026-2031 Capital Improvement Plan, and the corresponding FY26 Fire Fund budget, include a new vehicle for the Deputy Chief. After reviewing operational needs, a “Special Service Vehicle” (public safety package) Chevrolet Tahoe was determined to be the best fit. A quote was solicited from Berger Chevrolet, a local vendor, through the State of Michigan MiDEAL program, for \$55,645.

Three vendors were contacted for vehicle “upfitting”, which is the addition of lights, sirens, consoles, radios, etc. Two of the vendors - Mark’s Auto Body and MacQueen - declined to bid. The \$15,586.92 bid submitted by 3<sup>rd</sup> Coast Upfitting is in line with pre-bid expectations.

Three vendors were also contacted for quotes to supply a rear cabinet system. The results are as follows (low bidder in **bold**):

Vendor	Quote
<b>Wholesale Public Safety</b>	\$5,890.47 shipping included
Rockland Custom Products	\$7,602.32 shipping included
Great Lakes Upfitting	\$7,834.40 shipping extra (undefined)

The total cost of the vehicle, upfitting, and cabinet would be \$77,132.29.

**STRATEGIC PLANS/GOALS:** Maintain operational readiness by following the vehicle replacement plan schedule.

**IMPLEMENTATION PLAN:** Upon approval of the purchase, a Purchase Order will be issued to Berger Chevrolet. Once delivered, the vehicle will be sent out for upfitting. When the new vehicle is entered into service, the current Deputy Chief vehicle will be handed down to the Fire inspector; his vehicle will become a Utility vehicle; and the current Utility vehicle will be sold at public auction.

**BUDGET IMPLICATIONS:** The total cost of the vehicle and upfitting is \$132.29 more than the

\$77,000 included for this purchase in the FY26 Fire Department budget. If needed, a single budget amendment will be proposed once other Fire capital projects (Station 2 generator; refurbish tender) are completed.

**DIRECTOR'S RECOMMENDATION:** Approval

**MANAGER'S RECOMMENDATION:** Approval

**ACTION REQUESTED:** Authorize the purchase of a 2026 Chevrolet Tahoe from Berger Chevrolet, in the amount of \$55,645. Further authorize the acceptance of the \$15,586.92 upfitting bid from 3<sup>rd</sup> Coast Upfitting. Finally, approve the purchase of a \$5,890.47 rear cabinet system, for a total vehicle cost not to exceed \$77,132.29.

**ATTACHMENTS:**

1. Berger Chevrolet Quote for 2026 Tahoe 4wd Special Service
2. 3<sup>rd</sup> Coast Upfitting Project Quote
3. Wholesale Public Safety Rear Cabinet System Quote

## BID PER ENCLOSED SPECIFICATIONS

Cost per vehicle \$55,645.00

Number of units 1

\$55,645.00

Vehicle Description:

Year 2026

Make Chevrolet

Model Tahoe 4wd  
Special Service

Vendor:

Berger Chevrolet Inc.

Address 2525 28th Street S.E.

Grand Rapids, MI 49512

Phone (616) 575-9629

Fax (616) 988-9178

Bid Prepared For :

Cascade Twp

Price includes title fee and delivery. Price based on  
Municipal discount in the State of Michigan.

Signature *Robert Evans*

Printed Signature Robert M. Evans

Date 4/2/2026



# Project Quote

<b>Quote Date</b>	<b>3/25/2026</b>
<b>Customer</b>	<b>Cascade - Todd</b>
<b>Quote/Order Number</b>	<b>Cascade Tahoe #2</b>
<b>Vehicle Information</b>	<b>MY25 Tahoe SSV</b>
<b>Projected Dates</b>	

<b>Lighting Package</b>	\$	8,288.50
<b>Interior Hardware Package</b>	\$	2,317.44
<b>Exterior Hardware Package</b>	\$	-
<b>Shop Supplies</b>	\$	660.98
<b>Labor</b>	\$	4,320.00

<b>Total Quote</b>	<b>\$</b>	<b>15,586.92</b>
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QUOTE IS VALID FOR 30 DAYS FROM SENT DATE
CONTINGENCY BUDGET IS FOR CHANGES OR ADDITIONS MADE. IF THAT BUDGET IS TO RUN OUT, CHANGE ORDERS WILL BE DOCUMENTED AND BILLED TO REFLECT THOSE CHANGES.
LIGHTING, INTERIOR HARDWARE AND EXTERIOR PACKAGES WILL BE BILLED ONCE ALL MATERIALS HAVE ARRIVED FOR THE BUILD AND ARE DUE ON RECEIPT.
REMAINDER OF THE BUILD WILL BE INVOICE ON COMPLETION AND WILL BE DUE 15 DAYS FROM DATE OF COMPLETION.
ANY VEHICLE NOT SSV/PPV WILL BE SUBJECT TO A 20% ADDITIONAL CHARGE ON THE FULL BUILD.

Approved By:

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Sign Print Date

# Estimate



P.O. #	Estimate #	Estimate Date
	EST-22470	4/9/2026
Payment Terms		

Wholesale Public Safety  
P.O. Box 70958  
Myrtle Beach SC 29572

**Bill To**  
Cascade Township Fire  
Department  
2865 Thornhills Ave Se  
Grand Rapids MI 49546-7195  
616-644-1430  
tstevenson@cascadetwp.com

**Ship Via LTL | FOB Origin**  
Cascade Township Fire  
Department  
2865 Thornhills Ave Se  
Grand Rapids MI 49546-7195  
616-644-1430  
tstevenson@cascadetwp.com

**Order Detail**  
Vehicle Desc. | 2026 Tahoe

Item #	MPN	Description	Qty	Unit Price	Extended Price
COMCAB-RKD- EVOGC-4335-GYC-CTAH21 +	FSEGL-CTAH21-C	Rockland Custom Products Cabinet Evolution, GearClear Tahoe Mounting Platform Electronics Drawer  Note: **Electronics Tray will not work if Cargo Barrier is Installed  ***Need to add on 30/45 min SCBA bracket option	1	\$5,466.95	\$5,466.95
SCBA- N-6 STANDARD SPRING CLIP	1060-100-000	SCBA Standard Spring Clip Cylinder Diameter 6.1 to 6.9" (Gear Clear)	1	\$33.00	\$33.00

<b>Est. Subtotal</b>	\$5,499.95
<b>Est. Shipping</b>	\$390.52
<b>Est. Tax Total (%)</b>	\$0.00
<b>Total</b>	\$5,890.47

## Terms and Conditions

**\*\*Special Order and Custom Items cannot be cancelled or returned.**

**\*25% Deposit Due at time of Order on all Custom Items.**

Freight charge shown is an estimate on inventory items only. Actual freight charge will be calculated at the time of shipment.

**Drop Ship items:** Freight is calculated by vendor at the time of shipment.

**Special Order Items:** Freight will be calculated by our warehouse at the time of shipment.

**Custom Items:** Shipping costs reflect the estimated freight quote we obtained when preparing your estimate. Actual freight charge will be calculated at the time of shipment. Any additional information obtained on shipping costs will be communicated back to the customer.

Thank you.



EST-22470

PHONE# - (631)391-6007



CUSTOM PRODUCTS™

PART NUMBER:

COMCAB-RKD-EVOGC-4335-GYC-CTAH21+

VEHICLE:

2021+ TAHOE

DATE:

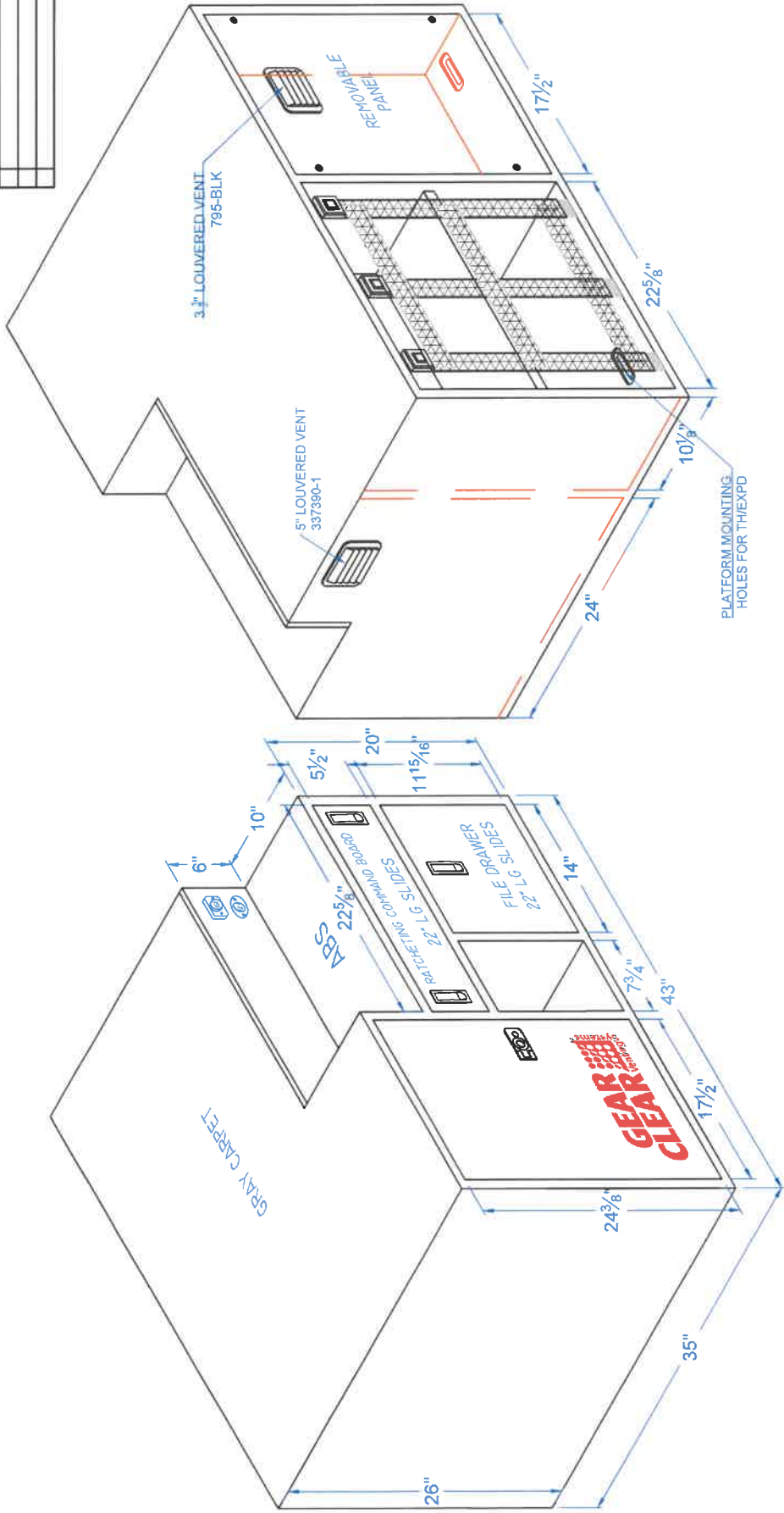
DRAWN BY:

B.G.

- A = ADJUSTABLE SHELF
- W/1" ALUMINUM ANGLE
- C = GRAY CARPET
- BC = BLACK CARPET
- BL = BLACK LAMINATE
- DPLS = DIAMOND PLATE LS

\*usable drawer space is smaller than drawer opening dimensions\*

REVISIONS

OVERALL CABINET DIMENSIONS MAY VARY (+/-) 1/4" BASED ON FINISHING MATERIALS AND COATINGS

BY APPROVING THESE CUSTOM PRODUCT SPECIFICATIONS YOU ACKNOWLEDGE THEM TO BE CORRECT. AUTHORIZE THE PRODUCTION OF THE UNIT(S), AND ASSUME ALL FINANCIAL RESPONSIBILITY FOR THIS ORDER

WHAT SIZE SCBA BRACKET IS NEEDED? 30 MIN 45 MIN 60 MIN  
SCBA BRACKET ONLY INCLUDED IF SHOWN OR NOTED  
SCBA BRACKET INCLUDED WITH ALL GEARCLEAR. 60 MIN NOT AVAILABLE FOR GEARCLEAR

THIS DRAWING IS THE PROPERTY OF ROCKLAND CUSTOM PRODUCTS. IT IS NOT TO BE REPRODUCED OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF ROCKLAND CUSTOM PRODUCTS.

APPROVED \_\_\_\_\_ DATE: \_\_\_\_\_ INITIALS: \_\_\_\_\_  
SIGN: \_\_\_\_\_

ALL ORDERS ARE NON-CANCELLABLE ONCE RELEASED TO PRODUCTION